



****Amended 12/9/21****
City of St. Helena
Special Planning Commission
Meeting
Thursday, December 9, 2021 @ 6:00pm

This meeting will be conducted pursuant to the provisions of Government Code Section 54953 (as amended by AB 361) which authorizes teleconferenced meetings under the Brown Act during certain proclaimed States of Emergency. The Governor of California proclaimed a State of Emergency related to COVID-19 on March 4, 2020. This teleconferenced meeting is necessary so that the city can conduct essential business and is permitted under Government Code 54953 in order to protect public health and safety of attendees.

Consistent with Government Code Section 54953, this Planning Commission Meeting will be held via teleconference only, and will not be physically open to the public. Commission members and staff will teleconference into the meeting by audio and/or video. The meeting will be conducted via Zoom Webinar.

The Planning Commission meeting will be live-streamed on Comcast Channel 28 and on the City's website, barring technical difficulties. Those members of the public wishing to participate must do so remotely via Zoom electronic meetings in the following ways; by either logging onto the Zoom link located on the meeting agenda (please download the app to your computer or mobile device) and enter the meeting ID or by calling a listed number and enter the meeting ID. Public comment for Planning Commission meetings will be accepted via email to publiccomment@cityofstheleena.org. All public comments must be emailed by 3:00 PM prior to the meeting. Emailed public comments will not be read out loud but will be publicly available and attached to the on-line Planning Commission agenda.

Please see the end of the agenda for detailed PUBLIC PARTICIPATION instructions. Spanish translation for this meeting will be offered. To access Spanish translation, you will need to join the meeting using the Zoom app from a computer, iPad or iPhone. You will see an icon on the screen that will allow you to choose Spanish translation. To learn how to use Zoom, please see the instructions below.

Please click the link below to join the meeting:

<https://us02web.zoom.us/j/83518193862>

Or One tap mobile :

US: +16699006833,,83518193862# or +12532158782,,83518193862#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799 or +1 301 715 8592 or +1 312 626 6799
or +1 929 205 6099

Meeting ID: 835 1819 3862

International numbers available: <https://us02web.zoom.us/j/83518193862>

PLEASE NOTE: Any person who wishes to speak regarding an item on the agenda or make a comment under the "Oral Communication" portion of the agenda may do so, but please observe the time limit of four minutes.

**Ciudad de Santa Helena
Reunión Especial del Comité de Planificación
9 de diciembre del 2021 @ 6:00 PM**

Esta reunión será realizada conforme a las provisiones del Código de Gobierno Sección 54953 (modificada por AB 361) la cual autoriza las reuniones de teleconferencia bajo el Brown Act durante ciertos Estados de Emergencia. El gobernador de California proclamó Estado de Emergencia relacionado con el COVID-19 el 4 de marzo del 2020. Esta reunión por teleconferencia es necesaria para que la ciudad pueda realizar deberes esenciales y es permitido bajo el Código de Gobierno 54953 en orden de proteger la salud pública y seguridad de los asistentes.

Consistente con el Código de Gobierno Sección 54953, esta reunión del Comité de Planificación será realizada via teleconferencia y **no será físicamente abierta al público.** Miembros del comité y personal atenderán la reunion por audio y/ o video. La reunion será transmitida via Zoom.

La reunión del Comité de Planificación de la Ciudad se transmitirá en vivo por el Canal 28 de Comcast y en el sitio web de la Ciudad, salvo dificultades técnicas. Aquellos miembros del público que deseen participar deben hacerlo de forma virtual a través de las reuniones electrónicas de Zoom de las siguientes maneras; iniciando sesión en el enlace Zoom ubicado en la agenda de la reunión (descargue la aplicación en su computadora o dispositivo móvil) e ingrese el ID de la reunión o llamando al número ubicado en la agenda e ingrese el ID de la reunión. Se aceptarán comentarios públicos para la reunión del Comisión de Planificación por correo electrónico a publiccomment@cityofsthelena.org. Todos los comentarios públicos se harán públicos y se adjuntarán a la agenda, pero no se leerán en voz alta. Todos los comentarios públicos que se reciban después de las 3:00 PM se adjuntarán a la agenda al día siguiente.

Consulte el final de la agenda para obtener instrucciones detalladas de PARTICIPACIÓN PÚBLICA.

Se ofrecerá traducción al español para esta reunión. Para acceder a la traducción al español, deberá unirse a la reunión utilizando la aplicación Zoom desde una computadora, iPad o iPhone. Verá un icono en la pantalla que le permitirá elegir la traducción al español. Para aprender como utilizar Zoom, consulte las instrucciones a continuación.

Haga clic en el enlace a continuación para participar en la reunión:

<https://us02web.zoom.us/j/83518193862>

O por iPhone one-tap:

US: +16699006833,,83518193862# or +12532158782,,83518193862#

O por telefono:

Marque (para mejor calidad de llamada, marque al numero basado en su localizacion actual):

US: +1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799 or +1 301 715 8592 or +1 312 626 6799 or +1 929 205 6099

ID de la Reunión: 835 1819 3862

Números Internacionales Disponibles: <https://us02web.zoom.us/j/83518193862>

TENGA EN CUENTA: Cualquier persona que desee hablar sobre un tema en la agenda o hacer un comentario en la sección de "comentario público" de la agenda puede hacerlo, pero por favor observe el límite de tiempo de cuarto minutos.

Page

1. PLEDGE OF ALLEGIANCE

2. CALL TO ORDER AND ROLL CALL

Chair: John Ponte

Vice Chair: Daniel Hale

Commissioners: Autumn Anderson, Rosaura Segura and Marika Rothfeld.

City staff present at the meeting will be noted in the minutes.

3. PUBLIC FORUM:

Under California law, public comments at special meetings are limited to subjects on the agenda only. Therefore public comment will take place during consideration of the item. Each person's comments shall be limited to 4 minutes.

4. CONSENT ITEMS

Members of the Commission or the public may ask that any items be considered individually for purposes of considering alternative action, for extended discussion, or for public comment. Unless that is done, one motion may be used to adopt all recommended actions. (Roll Call Vote)

4.1. **Approval of Minutes: November 2, 2021

9 - 11

[**Commission Minutes 11.02.21](#)

5. PUBLIC HEARINGS

6. NEW BUSINESS

7. SCHEDULED MATTERS

7.1. Request by Rifugio Holdings, LLC for Sign Permit approval in order to place new signage on the recently remodeled building on the property located at 1334 Vidovich in the Service Commercial (SC) zoning district.

13 - 42

CEQA Determination: This project is exempt from the requirements of CEQA pursuant to Section 15311, Class 11(a) of the CEQA Guidelines which exempts on-premise business signs.

Prepared By: Aaron Hecock, Senior Planner

Recommendation:

For the reasons described above, staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA pursuant to Section 15311 of the CEQA Guidelines; and
2. Approve the application for a Sign Permit at 1334 Vidovich Avenue permitting the signage described in this report in compliance with the attached resolution.

[1334 Vidovich - Staff Report](#)

8. DEPARTMENT REPORTS

This is an opportunity for staff to report on or update the Commission on any relevant matters.

8.1. Pop Up Permit Status Report

43 - 49

CEQA Determination: Not a CEQA project

CEQA Determination: Not a CEQA project

Prepared By: Maya DeRosa, Planning & Building Director

Recommendation:

Receive and File.

[Pop Up Permits - Staff Report
Presentation](#)

9. AGENDA FORCAST

Attached is a summary document of pending projects and up coming and items of priority and interest that will be placed on future agendas. This is also an opportunity for the Commission as a whole to request items be placed on future agendas for discussion. These items should be consistent with, and work to implement adopted Council Goals.

10. ADJOURNMENT

The next Regular Planning Commission meeting is scheduled for January 18, 2022 at 6:00 p.m.

I do hereby certify that a copy of the foregoing agenda was posted on the City website on November 30, 2021 and amended December 9, 2021.



Maya DeRosa, Planning & Building Director

Appeal. A person who is dissatisfied with a decision of the Planning Commission may appeal that decision to the City Council pursuant to Municipal Code Section 17.08.180, Appeal procedure. Actions of the Planning Commission will be listed on the City Council agenda the following Tuesday to give the City Council opportunity to review the Planning Commission's decision. Absent of an appeal by the City Council or by a citizen, the appeal period will terminate two weeks after the Planning Commission hearing.

Special Assistance for the Disabled. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please call the City Clerk's Office (707) 967-2792. Notification 48 hours prior to the meeting will enable City to make reasonable arrangements to ensure accessibility to this meeting (28 CFR35.102-35.104 ADA Title II). However, City staff will attempt to assist at any time with accessibility. The City Clerk has equipment to assist those with a hearing impairment.

PUBLIC TESTIMONY PROCEDURES

Pursuant to the Government Code Section 54954.3, the public may address the Commission on each agenda item during the Commission's consideration of that item. Each speaker has the option to state his or her name for the record before testifying. Depending on the number of speakers or the interest of the item, the Planning Commission Chairman may also restrict, at his/her discretion, the speaker's time to three minutes. The

Chairman may also restrict public comments if they become irrelevant to the agenda item or repetitious of prior comments. All persons interested may appear and be heard or submit written statements prior to the Planning Commission meeting. Please note that if you challenge the City's decision on any of these matters in court, you may be limited to raising only those issues you or someone else raised at the meeting or in written correspondence delivered to the City at, or prior to, the meeting.

CHALLENGING DECISIONS OF CITY ENTITIES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City of St. Helena is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision, including without limitation Government Code section 65009 applicable to many land use and zoning decisions, Government Code section 66499.37 applicable to the Subdivision Map Act, and Public Resources Code section 21167 applicable to the California Environmental Quality Act (CEQA). Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. Government Code section 65009 and 66499.37, and Public Resources Code section 21167, impose shorter limitations periods and requirements, including timely service in addition to filing.

If a person wishes to challenge the above actions in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of St. Helena, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Planning Commission regarding any item on this Agenda, after the posting of the Agenda, will be available for public review in the Planning Department's Office located at 1480 Main Street, St. Helena, California, during normal business hours. In addition, such writings or documents will be made available on the City's web site at <http://cityofsthenela.org> and will be available for public review at the respective meeting.

THE CITY OF ST. HELENA ENCOURAGES ONLINE PUBLIC PARTICIPATION IN VIRTUAL PLANNING COMMISSION MEETINGS

St. Helena, CA– The City of St. Helena is committed to public participation in City government in a manner that is consistent with guidance provided by the Napa County Public Health Official and Governor Newsom's Executive Order N-25-20. These guidelines relate to social distancing, and are intended to protect

everyone by limiting the spread of COVID-19 in our community. In adherence to these guidelines, the St. Helena Planning Commission will host a Virtual Planning Commission Meeting on Zoom; a free teleconferencing tool that enables users to watch and/or call into the meeting from their computers or phones. This meeting will be open to public and allows for live public comment. The meeting will also be recorded, livestreamed, and posted on the City's website after the adjournment of the meeting if technical difficulties occur: <https://sthelena.civicweb.net/Portal/>

The ZOOM web link, meeting ID, and phone number will be listed at the top of the Planning Commission Meeting Agenda. You will be required to enter the meeting ID, but there will be no password or participant ID.

How to Watch or Listen to Planning Commission Meetings:

1. Watch on Comcast Channel 28
2. Watch the livestreaming video on the City's website
3. Watch and Listen on Zoom.us by clicking on the link in the Planning Commission Agenda
4. Listen only by calling the Zoom number listed on the Planning Commission Agenda

Watch Planning Commission Meetings by Joining the Zoom Meeting:

1. By Computer, Tablet, or Smart Phone:

- a. Before joining the virtual Planning Commission Meeting, it is highly encouraged that you download the Zoom App. To sign up for your own free account, visit zoom.us/signup and enter your email address. You will receive an email from Zoom (no-reply@zoom.us). In this email, click Activate Account.
- b. If you are logged into your account, Enter the **Meeting ID** listed on the Planning Commission Agenda. If you have not created an account go to: <https://zoom.us/join> and enter the **Meeting ID**
- c. Select if you would like to connect audio and/or video and tap **Join Meeting**.
- d. For specific instructions for your device, go to: <https://support.zoom.us/hc/en-us/articles/201362193-Joining-a-Meeting>

1. Listen Only by Telephone:

- a. **Dial** the number listed on the Planning Commission Agenda.
- b. At the prompt, enter the **Meeting ID** provided on the top of the Planning Commission Meeting Agenda and **Press #**. **A participate ID is not required.**
- c. To disconnect from the meeting, hang up the phone.

Ways to Provide Public Comment:

While attending the virtual Planning Commission Meeting, the public will have the opportunity to provide live public comment during Public Forum and after each agenda item. When it is the appropriate time for public comment the Chair will verbally open public comment. At this time each individual is permitted 4 minutes to speak.

1. Send a Public Comment in by 4:00 PM Prior to the Meeting to:
publiccomment@cityofsthelena.org

The easiest way to provide public comment is to email your public comment. Public comments may be emailed to publiccomment@cityofsthelena.org. Please include in the subject line "COMMENT TO PLANNING COMMISSION and the AGENDA ITEM". Any public comment is required to be submitted no later than 2 hours before the scheduled meeting and will be included as an attachment to the agenda. All public comments will be made publicly available and attached to the agenda item and will not be read out loud. All public comments that are received after 4:00 PM will be attached to the agenda the following day.

2. Provide Comment through Zoom meeting from a computer, tablet, or smart phone

This option allows the public to virtually attend the meeting as a muted 'attendee' with no video or screen sharing capabilities. You will be able to see and hear those participating in the meeting, but they will not be able to hear you until the host unmutes you.

If you wish to provide public comment during a specific agenda item or during public forum, you can use the "**raise hand**" feature located in the control panel at the bottom of your screen. The icon is a small blue hand. In Windows you can also use the Alt+Y keyboard shortcut to raise or lower your hand. In Mac you can also use the Option+Y keyboard shortcut to raise or lower your hand.

The host will be notified that you've raised your hand and you will be placed in a queue with all incoming requests.

When it is your turn to speak, you will be notified that the host has unmuted you. To be removed from the queue, just click the '**raise hand**' button again.

3. Call in to the ZOOM meeting from a cell phone or landline phone only

This option allows the member of the public with the opportunity to verbally participate in public comment.

If you wish to speak during public comment time dial ***9** on your telephone.

The host will be notified that you would like to speak and you will be placed in a queue with all incoming requests.

When it is your turn to speak, you will be notified that the host has unmuted you. You may press ***9** again if you wish to be removed from the queue.

You will be notified at the end of your statement that you have been muted.

MINUTES
City of St. Helena
Planning Commission Meeting
Tuesday, November 2, 2021 @ 6:00 PM
Virtual Meeting

A complete video recording of this meeting, except for closed session, can be found at <https://sthelena.civicweb.net/Portal/> or by calling the City Clerk at (707) 967-2792. The Planning Commission video is the official record of the Planning Commission meeting.

Present: Chair John Ponte, Vice Chair Daniel Hale, Commissioner Autumn Anderson, Commissioner Rosaura Segura, and Commissioner Marika Rothfeld
Absent: None
Staff Present: Maya DeRosa, Planning & Building Director, Xinia Gamero, Planning Commission Secretary, Eric Norris, City Project Manager and Planning Consultant- Interwest, Christine Kronenberg, EIR Consultant- Dudek, and John Wanger, Principal (Coastland Engineering)

1. PLEDGE OF ALLEGIANCE

2. CALL TO ORDER AND ROLL CALL

3. PUBLIC FORUM:

Nancy Dervin, Angela Zivkovic and Tracy McBride addressed the Planning Commission.

4. CONSENT ITEMS

4.1 Approval of Minutes: October 19, 2021

Commissioner Autumn Anderson moved to approve the minutes on the consent calendar. The motion was seconded by Commissioner Rosaura Segura and on roll call carried by the following vote:

AYES: Daniel Hale, Autumn Anderson, Rosaura Segura, John Ponte, and Marika Rothfeld
 NOES: None
 ABSENT: None
 ABSTAIN: None
 RECUSE: None

5. PUBLIC HEARINGS

5.1 Receiving Comments on the Draft Environmental Impact Report for the Hunter Subdivision Project

Maya DeRosa, Planning & Building Director addressed the Planning Commission.

Eric Norris, Project Manager and Planning Consultant showed a presentation of the Hunter Subdivision and EIR process and addressed the Planning Commission.

Chair Ponte opened the public hearing.

No ex parte communication was disclosed.

Angela Zivkovic, Greg Reynolds, Maria Villegas, Patrick Band, Tracy McBride, Elisabeth Alderman, Nancy Dervin, Marina Lavagnino and Ben Alderman addressed the Planning Commission regarding comments on the Hunter project.

Chair Ponte closed the public hearing.

Chair Ponte asked the Planning Commissioners for comments.

No comments were received from the Planning Commission.

Chair Ponte re-opened the public hearing.

Randy Hussong, Michael Mills, Maureen Lavandasky addressed the Planning Commission.

Chair Ponte closed the public hearing.

6. NEW BUSINESS

None.

7. SCHEDULED MATTERS

None.

8. DEPARTMENT REPORTS

Maya DeRosa, Planning and Building Director reported on the following:

- November 16, 2021 Planning Commission meeting is cancelled.

9. AGENDA FORCAST

10. ADJOURNMENT

Chair Ponte adjourned the meeting at **7:11 p.m.**

The November 2, 2021 minutes were approved at the _____ Special
Planning Commission meeting.

APPROVED:

ATTEST:

John Ponte, Planning Commission Chair

Maya DeRosa, AICP
Planning and Building Director



PLANNING COMMISSION REPORT

Planning Commission Meeting of December 9, 2021

FILE NUMBER: PL21-035

SUBJECT: Request by Rifugio Holdings, LLC for Sign Permit approval in order to place new signage on the recently remodeled building on the property located at 1334 Vidovich in the Service Commercial (SC) zoning district.

PREPARED BY: Aaron Hecock, Senior Planner

REVIEWED BY: Maya DeRosa, Planning & Building Director

APPROVED BY: Maya DeRosa, Planning & Building Director

APPLICATION FILED:08/26/21

ACCEPTED AS COMPLETE:11/01/21

LOCATION OF PROPERTY: 1334 Vidovich Avenue

APN: 009-180-040

GENERAL PLAN/ZONING: Mixed-Use (MU) / Service Commercial (SC)

APPLICANT: Cliff Family Winery

PHONE: (707) 477-2425

BACKGROUND

The existing 4,950 square foot (sf) building at 1334 Vidovich Avenue is located toward the rear of a 1.65 acre commercially zoned property. The property is home to several other buildings including La Azteca and Clif Family Winery. In April 2019, the Planning Commission approved a 16-seat wine tasting room within the building (Resolution PC2019-007 is attached to this report).

On April 6, 2021 the St. Helena Planning Commission granted the applicant design review approval in order to accommodate exterior modifications and site improvements to the subject building at 1334 Vidovich Avenue (Resolution PC2021-004 is attached to this report). This design review approval did not include approval of new signage on-site.

PROJECT DESCRIPTION

The applicant is requesting approval of a Sign Permit in order to place new signage on the recently remodeled building. Specifically, the applicant is proposing the following signage, the details of which are provided in the attached plan set:

East Elevation (front of building):

- A backlit metal logo containing the letters 'C' and 'F' inside a gear is proposed. The gear framing the letters has a circumference of 3'6" or approximately 9 ½ square feet and would be painted red. The larger letter 'C' would be 2'4" tall and 1'10 ¾" wide while the smaller letter 'F' would be 1'5" tall and 11" wide; these letters would be painted white.
- A backlit metal sign reading 'CLIF FAMILY' is proposed adjacent the logo referenced above. The lettering would be 11" tall and 9'4 ¾" long or approximately 9 square feet total (calculated by multiplying the overall length and width of the message). The metal lettering would be painted black with a clear lexan back.

Lighting:**'CF' Logo lighting:**

The location of backlighting LEDs on the 'CF' logo are called out on sheet A2.2 and the LED specs are shown on sheet A2.4. The LEDs are not individual lights but a continuous, linear strip light. Per the specifications, the LED is 266 Lumens/ft. At approximately 9' of sign circumference, approximately 2,394 total Lumens would be distributed behind/around logo. Additionally, there is an external down-shielded LED light affixed to the building above the sign which will produce approximately 1,390 Lumens.

Clif Family Letter lighting:

The location of backlighting LEDs for the lettering are shown on sheet A2.3 and the LED specs are again shown on sheet A2.4. The LEDs on the lettering are modules of 3 diodes each. Per the specifications, the modules are 52.8 Lumens per module. With 8 modules are used per letter, each letter would be approximately 422 Lumens. The 10 Letters comprising the sign would be approximately 4,220 Lumens total, distributed across all lettering.

For reference, one 75 watt light bulb is approximately 1,100 lumens and one 100 watt light bulb is approximately 1,600 lumens. Therefore, total lighting associated with the project signage is the equivalent of approximately five 100-watt light bulbs.

ANALYSIS**CEQA**

This project is exempt from the requirements of CEQA pursuant to Section 15311, Class 11(a) of the CEQA Guidelines which exempts on-premise business signs. The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA Section 15300.2. The project site is not located on or near an environmentally sensitive area, is not visible from a scenic highway, is not included on a

hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts.

GENERAL PLAN

The subject property has a General Plan land use designation of Mixed-Use (MU). The MU land use designation allows medium to high-density residential mixed with retail, office, restaurant, or other commercial uses. The maximum allowable residential density in MU areas is 20 dwelling units per acre. The intent of this land use designation is to protect the Urban Limit Line by encouraging a mix of uses at infill locations and reduce greenhouse gas emissions by locating housing opportunities within close proximity to commercial and retail. General Plan Update 2040 policies applicable to the proposed project include:

- **LU1.6** - Support the redevelopment of vacant and underutilized sites within the downtown area with mixed-use development opportunities. Encouraging infill development with a mix of uses will support a pedestrian-oriented, vibrant retail and commercial district that is centrally located and easily accessible to residents and neighborhoods.
- **LU3.1** - Strengthen the downtown as the City's social and cultural core, and as the primary center of retail services. Facilitate a healthy mix of retail and commercial uses, residential development, entertainment, and lodging.
- **LU3.5** - Ensure that new retail and commercial development is compatible with and complementary to St. Helena's small-town image.

Staff Response: Staff finds that the proposed signs are consistent with the General Plan in that they promote additional commercial activity and opportunity in the City's Service Commercial district.

ZONING

The project site is zoned Service Commercial (SC). The SC designation provides for service and retail uses, restaurants, service stations, motels, public and quasi-public uses, and similar and compatible uses. The designation is intended primarily for service and retail uses that are automobile-oriented or whose operational characteristics and space needs are not considered appropriate for the Central Business District. Signs are regulated by St. Helena Municipal Code (SHMC) Section 17.148. Planning commission approval must be obtained for all signs not permitted with an administrative sign permit as described in SHMC Section 17.148.040. The purpose of the planning commission sign permit is to allow the consideration of illuminated signs, signs that are larger, or signs in addition to those permitted with an administrative sign permit. The planning commission shall consider the compatibility of the sign to the site, the appropriateness of the materials and colors in relation to the project, the compatibility of the sign to the small town character of St. Helena, and the impact the sign may have on surrounding properties. The commission shall not approve signs which obscure or detract from the architecture of a historic building or structure.

Staff Response: Proposed signage associated with this application is in compliance with the restrictions and prohibitions detailed in SHMC Section 17.148. Staff's opinion is that the proposed signs are compatible with the site and appropriate to the building and its surroundings. Furthermore, the building is located toward the rear of a long parcel and is not readily visible from Main Street.

ISSUES

Staff has not identified additional issues related to this application that require additional discussion.

CORRESPONDENCE

As of the completion of this report staff had received no correspondence related to this application.

STAFF RECOMMENDATION

For the reasons described above, staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA pursuant to Section 15311 of the CEQA Guidelines; and
2. Approve the application for a Sign Permit at 1334 Vidovich Avenue permitting the signage described in this report in compliance with the attached resolution.

ATTACHMENTS

[Resolution](#)

[APN + Aerial](#)

[REVISED Sign Plans 11.01.21](#)

[Site Photo](#)

[Resolution PC2019-007](#)

[Resolution PC2021-004](#)

**CITY OF ST. HELENA PLANNING COMMISSION
RESOLUTION NO.
GRANTING SIGN PERMIT APPROVAL TO
1334 VIDOVICH AVENUE (PL21-035)**

PROPERTY OWNER: Rifugio Holdings, LLC

APN: 009-180-040

RECITALS

1. The applicant submitted an application for a sign permit on August 26, 2021 in order to place new signage on the existing commercial building located at 1334 Vidovich Avenue in the Service Commercial (SC) zoning district;
2. The Planning Commission of the City of St. Helena, State of California, considered the signs, staff report, and all testimony, written and spoken, at a hearing on December 9, 2021; and
3. Now, therefore let it be found that, the Planning Commission approves the sign permit and authorizes the modifications contained in said plans based on the findings below and subject to the conditions of approval enumerated herein.

RESOLUTION

- A. In making the findings in this Resolution, the Planning Commission relied upon and hereby incorporates by reference all of the documents referenced in this Resolution and the associated staff reports, City files for this matter, correspondence, presentations and other materials.
- B. The Planning Commission hereby finds that this project is exempt from the California Environmental Quality Act pursuant to Section 15311, Class 11 (a), which exempts installation of on premise signs.
- C. The Planning Commission further finds that the proposed signs are in compliance with the requirements of Municipal Code Section 17.148 relating to the placement of signs within the Service Commercial zoning district.
- D. The Sign Permit for the above described is granted subject to compliance with the following conditions. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed:
 1. The permit shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of a building permit should one be required.
 2. This permit shall be vested within one (1) year from the date of approval. However, the permit may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.130, Extension of Permits and Approvals. Any request for an extension of the Sign Permit must be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.

*1334 Vidovich Avenue
Sign Permit
December 9, 2021*

3. This permit will expire if the use is discontinued pursuant to existing ordinances and regulations.
4. In any action or proceeding to attack, challenge, invalidate, set aside, void or annul the City's approval of applicant's Project, in whole or in part, applicant shall defend, at its own expense and without any cost to the City, and with counsel acceptable to the City, and shall fully and completely indemnify and hold the City, its agents, officers, and employees harmless from and against any and all claims, causes of action, damages, costs, attorney's fees and liability of any kind, so long as the City reasonably promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
5. This sign permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.
6. The signs authorized by this sign permit shall conform to the details and dimensions shown on the Exhibits which were reviewed and approved by the Planning Commission at their December 9, 2021. Total approved signage totals approximately 18 ½ square feet.
7. No internal illumination of signs is permitted. Internally illuminated means a sign which is illuminated from a lighting source within the internal structure of the sign which illuminates the entire face of the sign (does not include neon signs or halo illuminated signs)
8. An Encroachment Permit shall be obtained by the applicant prior to installation of the signs if work involves locating of any person or structure on public property, such as a sidewalk, driveway, or street, if necessary.
9. Provided they are in general compliance with the Sign Ordinance, minor modifications may be approved by the Planning Director.

I HEREBY CERTIFY that the foregoing sign permit was duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on December 9, 2021 by the following roll call vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

APPROVED:

ATTEST:

*1334 Vidovich Avenue
Sign Permit
December 9, 2021*

John Ponte
Chair, Planning Commission

Maya DeRosa, AICP
Planning and Building Director



1334 Vidovich Avenue



Legend

- Addresses
- ▣ Downtown Parking
- ▣ Parcels St. Helena
- ▣ Urban Limit Boundary
- ▣ Parcels
- ▣ County Boundary

376.2 0 188.08 376.2 Feet

Disclaimer: This map was prepared for informational purposes only.
No liability is assumed for the accuracy of the data delineated hereon.

This map was printed on 3/16/2021

Notes

GENERAL CONSTRUCTION NOTES

- 1 SCOPE

All work on this project provided by the general contractor (GC) shall conform to the contract documents which include the drawings, specifications, all addenda and modifications issued by the architect.

These contract documents intend to describe a finished project ready for legal use. the GC shall furnish and install all required elements for a complete operating system.
- 2 STANDARDS

The project shall be constructed according to the locally adopted edition of the uniform buildingcode, the State of California, local municipality amendments and all other applicable codes. Governing authorities and codes take precedence over drawings and specifications. The GC shall report all discrepancies to the architect immediately.

The GC shall maintain a current copy of the 2019 CBC on site at all times.

The GC shall install all materials and products in strict accordance with manufacturers' recommendations, all manufacturers' articles, materials and equipment shall be applied installed, connected, erected, cleaned, and conditioned as per the manufacturers' instructions and applicable icbo reports.

All materials shall be new unless otherwise noted and like materials shall be consistent in appearance unless specified otherwise

The GC and all subcontractors shall provide a one-year guarantee after project completion for all materials and workmanship.

Mechanics, craftsmen, and workers skilled and experienced in the fabrication and installation of the work involved shall perform shop and fieldwork. all work on this project shall be performed in accordance with the best-accepted practices of the respective trades involved and in accordance with the drawings, submitted shop drawings, and these specifications.
- 3 DIMENSIONS

Written dimensions on drawings shall take precedence over scaled drawings. Do not scale drawings at any time. Walls and partitions shown in plan or section are to face of finish material unless otherwise. Interior elevation and cabinet dimensions are to face of finish material.
- 4 FIELD CONDITIONS

The GC shall verify dimensions against field conditions. construction documents are based on observation and documentation by the architect and his documents provided by the owner. The architect makes no claim to the accuracy of hidden conditions or conditions inaccessible from direct observation. should the GC encounter field conditions that vary from these construction documents and that effect the intent of these drawings or the contract/ subcontract sum, the architect shall be notified immediately.

Exterior dimensions are to face of CMU or plywood where applicable, u.o.n. Interior dimensions are to face of stud u.o.n.
- 5 CONFLICTS

The GC shall become familiar with the existing conditions of the site and project prior to commencing work and in the case of conflict with the documents, shall notify the architect immediately for clarification.

The architect shall be notified immediately in the case of conflict between project documents and consultants', manufacturers' or other documents or recommendations.

Should conflicts occur between drawings and specifications, drawings shall govern in matters of dimension or quantity. Specifications shall govern in matters of materials or finishes.
- 6 SCHEDULE

All work shall be performed during regular business hours, as permitted by local agencies. work involving excessive noise or dust, or which would otherwise interfere with the normal operation of the building, site or neighboring sites shall be coordinated with the owner.

The GC shall coordinate all work, including scheduling times and locations for deliveries, building access, etc...

The commencement of work shall be deemed as an acknowledgement by the GC that all work of the project shall be completed in conformance with the contract documents and schedule.
- 7 REVISIONS AND CHANGES

Revisions, and changes must be submitted to the architect for review in the form of a change order, prior to the purchase, fabrication, or installationof the work in question.

Any change, modification, or interpretation of the scope or requirements of these documents undertaken without consultation of the architect shall be the responsibility of the GC.

The owner may order extra work or make changes by altering, adding to, or deducting from the work, the contract sum shall be adjusted accordingly.
- 8 UTILITIES

The architect does not assume responsibility for underground utilities or the existence of other buried objects. The locations of existing underground utilities and or facilities as shown on the drawings are approximate only. the gc shall contact the respective utility company and provide utility location services as required to obtain the exact depth of burial and horizontal location of utility lines, conduits, piping, etc... prior to performing underground construction the gc shall make necessary probes and explorations to identify areas of possible.

The GC shall inspect, test, and disconnect utility services at the main source or main branch. The GC shall securely cap and/or valve-off utility service behind final finished surfaces of intended construction or, when noted, at finished face of exist. construction prior to demolition. utility service shall be defined as plumbing, hvac, electric, and fire protection.

Adhesives, sealants and cauks shall be complaint with VOC and other toxic compound limits.
- 9 PERMITS

The GC shall arrange for all inspections and permits necessary to obtain a certificate of occupancy and or final permit signoff & inspection
- 10 EXISTING CONDITIONS

Access panels, clean outs, and the like shall be maintained for existing building systems,the GC shall verify that existing walls and floors to remain are within expected tolerances. The GC shall report to the architect any variations in floor levels greater than 1/4" in 10'-0". The GC shall inform the architect of any existing threshold elevation variations greater than 1/2".
- 11 DEFINITIONS

"Align" shall be defined as the accurate location of finish faces in the same plane. "Typical" or "typ." shall be defined as conditions which are representative of similar conditons throughout. unless otherwise noted, details are usually keyed and noted. "Typ." only once, when they first occur. "similar" or "sim." shall be defined as conditions which are comparable in characteristics for the conditons noted. verify dimensions and orientation on plans and elevations. "gc" refers to the general contractor, his agents and subcontractors. "architect" refers to the architect of record or his agent.
- 12 MATERIALS STORAGE AND PROTECTION OF WORK

Improvements on the site, work in progress, stored materials on property shall be protected by the GC from damage arising during the work. all items damaged due to insufficient protection or otherwise shall be fully restored by the gc to their prior condition at no cost to the owner. no part of the structure shall be overloaded beyond its safe carrying capacity at any time.
- 13 SECURITY

The GC shall be responsible for securing the site during the course ofthe project. if the site is unattended at any time, it shall be locked.
- 14 TOXIC MATERIALS

Any materials of unknown constitution uncovered during the course of construction shall be left untouched and immediately brought to the attention of the owner for testing.
- 15 CLEAN UP

The site shall be kept broom clean and free of debris during the course of construction. At the completion of the work the GC shall clean the project and the surrounding area, remove all waste materials and rubbish from the project as well as tools, construction equipment, machinery and surplus materials, the gc shall remove caulk, putty, and paint from glass and mirrors and wash and polish the same. clean and remove all labels, grease, dirt, stains, etc. from finished surfaces and equipment to the extent required restoring the intended finish.

Planters and landscape areas shall be cleaned of debris and rough grading shall be completed.
- 16 COMMISSIONING

Commissioning, Testing and Adjusting, shall be included in the design and by the GC during construction of the project to verify that the building systems and components meet the owner's project requirements.
- 17 PROTECTION OF DUCT OPENINGS AND MECHANICAL EQUIPMENT DURING CONSTRUCTION

The GC shall provide protection for ducts, duct openings, permanent and construction mechanical equipment at the time of rough installation, storage, and until completion of construction, using materials or methods acceptable to local enforcing agencies in order to reduce dust and debris that may collect in building systems.
- 18 BUILDING MAINTENANCE AND OPERATION

At the time of final inspection, the GC shall provide a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes an operation and maintenance manual as outlined in CGBC Section 5.410.

19 MOISTURE CONTENT OF BUILDING MATERIALS

Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be measured, verified, and documented in accordance with CGBC Section 5.505.

20 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL

Where outdoor areas are provided for smoking, smoking shall be prohibited 25 feet of building entries, outdoor intakes and operable windows and within the building as prohibited by other laws or regulation per CBC Title 24, Part 11 5.504.7

21 GENERAL DOOR NOTES

Verify Rough Openings w/ Manufacturer.

Provide Panic Hardware or Use Approved Locking and/or Non-Latching Hardware per Plan.

Provide Sign Adjacent to Exit Doors That Reads "This door to remain unlocked when building is occupied". as per CBC 2016 section 1008.1.9.3. See 5/A0.05 for Occupancy Load Sign Details.

Maximum effort to operate doors shall not exceed 5 lbs. For exterior and interior doors, such pull or push effort being applied at right angles to hinged doors and at the center plane of sliding or folding doors. Compensating devices or automatic door operators may be utilized to meet the above standards. When ire doors are required, the maximum allowable by the appropriate administrative authority, not to exceed 15 lbs.

The bottom 10" of all doors except automatic and sliding shall have a smooth, uninterrupted surface to allow the door to be opened by a wheelchair footrest without creating a trap or hazardous condition. Where narrow frame doors are used, a 10" high smooth panel shall be installed on the push side of the door, which will allow the door to be opened by a wheelchair footrest without creating a trap or hazardous condition.

Per Section 11B-404.2.10 swinging door and gate surfaces within 10" of finish floor or ground measured vertically shall have smooth surface on the push side extending the full width of the door or gate. Parts that create horizontal or vertical joints in these surfaces shall be within 1/16" of the same plane and be free of sharp or abraissive edges. Cavities created by added kick plates shall be capped.

Hand-activated door opening hardware shall be installed min. 34" and max. 48" above the floor per section 1008.9.2 of 2019 CBC. Latching and locking doors that are hand-activated and which are in a path of travel shall be operable with a single effort by lever-type hardware, panic bars push-pull activating bars, or other hardware designed to provide passage without requiring the ability to grasp the opening hardware. Locked exit doors shall operate as above in egress direction.

"C" or "U" Shaped handle on both sides of the door with a clear space between the inside of handle to door surface. Pocket doors must have an internal stop installed to stop the door and provide a min. 1.5' space from handle to trim work around door. 5 lbs max opening force.

Per CBC Section 2406.4.1 all glazing in fixed and operable panels of swinging, sliding, and bifold doors shall be cosidered hazardous. Therefore safety glass should be installed in accordance to Section 2406, manufacturer to provide designation specifying who applied the designation and the standard with which it complies as well as information in Section 2403.

22 CONSTRUCTION WASTE MANAGEMENT

Recycle and/or salvage for reuse a minimum of 66% of the non-hazardous construction and demolition waste or meet a local construction and demolition waste management ordinance, whichever is more stringent. Where local jurisdictions do not have a construction and demolition waste management ordinance, submit a construction waste management plan that: Identifies the construction and demolition waste materials to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use of sale; determines if construction and demolition waste materials will be sorted on-site or bulk mixed; identifies diversion facilities where construction and demolition waste material collected will be taken; specifies that the amount of construction and demolition waste materials diverted shall be 1 andfill complies with this section.

23 TEMPORARY VENTILATION

If necessary, to condition the building or areas of the building during construction, and when the permanent HVAC cannot be used, temporary mechanical ventilation may be installed and maintained. All temporary mechanical ventilation must use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8 or an average efficiency of 30%.

23 LIGHT POLLUTION REDUCTION

Outdoor lighting systems shall be designed and installed to comply with the minimum requirements in the California Energy Code for Lighting Zones 1-4 as defined in Chapter 10 of the California Administrative code; and backlight, uplight and glare (BUG) ratings as defined in IES TM-15-11; and allowable BUG ratings not exceeding those shown in Table 5.106.8, or comply with a local ordinance lawfully enacted pursuant to Section 1017.7, whichever is more stringent.

24 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS

Plumbing fixtures and fittings shall be installed in accordance with the most recent published California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the CPC and in Chapter 6 of the CBC.

END OF GENERAL NOTES
- SHEET INDEX
- ARCHITECTURAL:

 - A0.0 Cover Sheet
 - A1.0 Site Plan
 - A2.1 Building Elevation
 - A2.2 Sign Details
 - A2.3 Sign Details
 - A2.4 Sign Lighting Spec
- PROJECT TEAM
- OWNER:
Ritugo Holdings
Scott Gay, Owner Representative
1334 Vidovich Avenue,
St. Helena, CA 94574
t: 707.477.2425
e: scott@scottgay.com

ARCHITECT:
MH Architects
Matt Hollis, Principal
Kelly Heath, Project Manager
2325 Third Street Studio 426,
San Francisco, CA 94107
t: 415.977.0194
f: 415.977.0194e: matt@matthollis.com
e: kelly@matthollis.com
- PROJECT SUMMARY
- Signage at the exterior of a commercial building undergoing a renovation for office spaces and a small hospitality space. Main logo sign to be internally lit and back lit. Secondary name sign to be back lit. Permit for Building Signage Only; All Other Exterior Facade Work Approved Under Separate Design Review. PL 20-045 on 04/2/21

All work shall comply with 2019 versions of California Building Code (CBC), California Residential Code (CRC), California Plumbing Code (CPC), California Mechanical Code (CMC), California Electrical Code (CEC), California Energy Code, California Green Building Standards Code (CGSB), California Fire Code (CFC, if applicable), 2019 California Energy Efficiency Standards (CEES), and applicable St. Helena City and County codes.
- BUILDING INFORMATION
- Site Address: 1334 Vidovich Avenue, St. Helena, CA 94574

APN #: 009-180-040

Flood Zone: Zone X, Low Hazard / Map No. 06055C0377E

Wildland Urban Interface: No

Zoning District: Service Commercial

Use Group / Occupancy: Business

Lot Size: 1.65 Acres

Building Type: Type III, Type V

Building Footprint: 5,092 sf

Building Area: 4,327 sf

Building Height: Single Story Building, Approx. 15'

Fire Suppression: Equipped w/ Automatic Fire Sprinkler System
Designed and installed to NFPA 13 - 2019 standards.
- LOCATION MAP
-
- SYMBOL LEGEND
- Elevation Reference
 - Section Reference
 - Vantage Point Reference
 - Structural Grid Line
 - Detail Reference
 - Datum or Spot Elevation Point
 - Elevation or Section Datum
 - Room Name
 - Room Number or Space Allocation ID
 - Door Symbol
 - Window Symbol
 - Louver Symbol
 - Wall Tag
 - Hose Bib Connection
-
- MH ARCHITECTS**
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- REVISED**
5:15 pm, Nov 01, 2021
-
- VIDOVICH**
1334 VIDOVICH, ST. HELENA, CA 94574
- APN 009-180-040
- | REV | DATE |
|----------------------------|----------|
| Signage Permit | 07.29.21 |
| Signage Permit Resubmittal | 10.12.21 |

Date:	07.29.21
Drawn By:	KH
Project No.:	
Scale:	As Noted
- Cover Sheet
- SHEET NO. :
A0.00
- Agenda Item #7.1.



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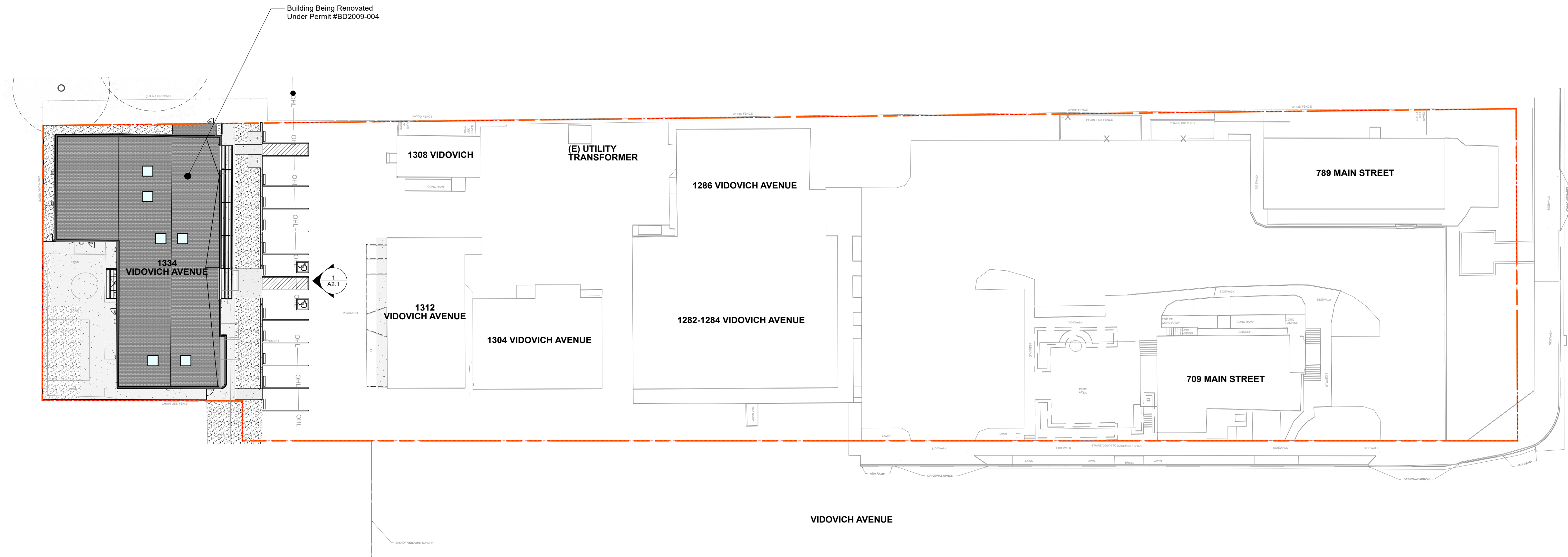
APN 009-180-040

REV	DATE
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Signage Permit Resubmittal	10.12.21

Date: 07.29.21
Drawn By: KH
Project No.: KH
Scale: As Noted

Site Plan

SHEET NO.:
A1.0



1 Site Plan
Scale: 1:250



MAIN STREET (ST. HELENA HWY 29)

VIDOVICH AVENUE



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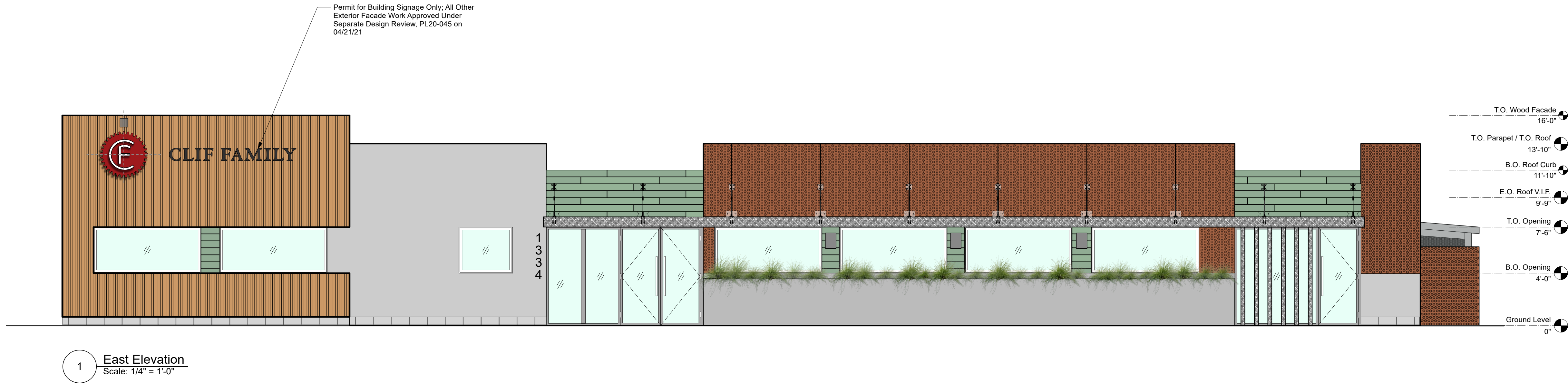
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Drawn By: KH
Project No.: KH
Scale: As Noted

Building Elevations

SHEET NO.:
A2.1





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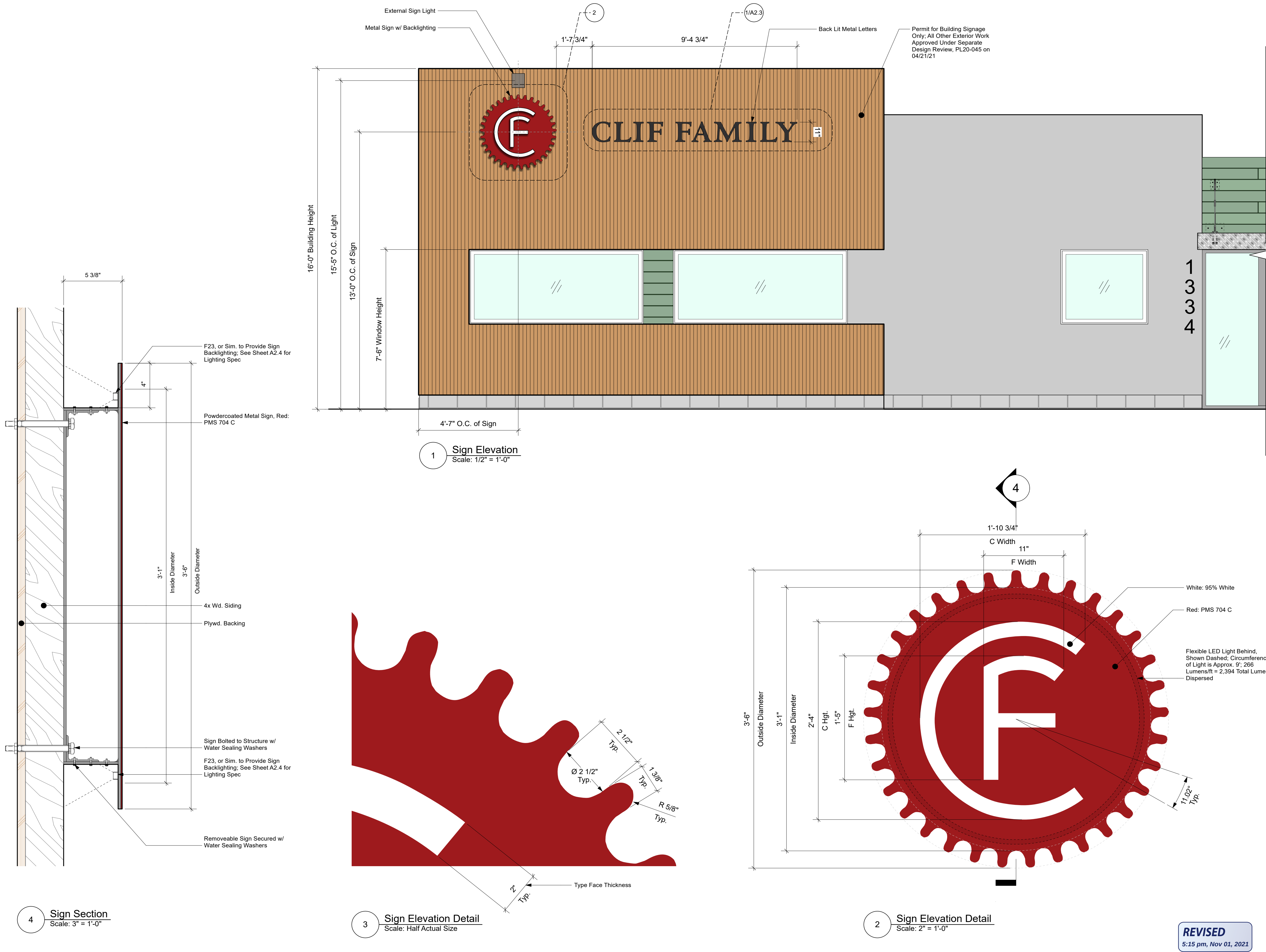
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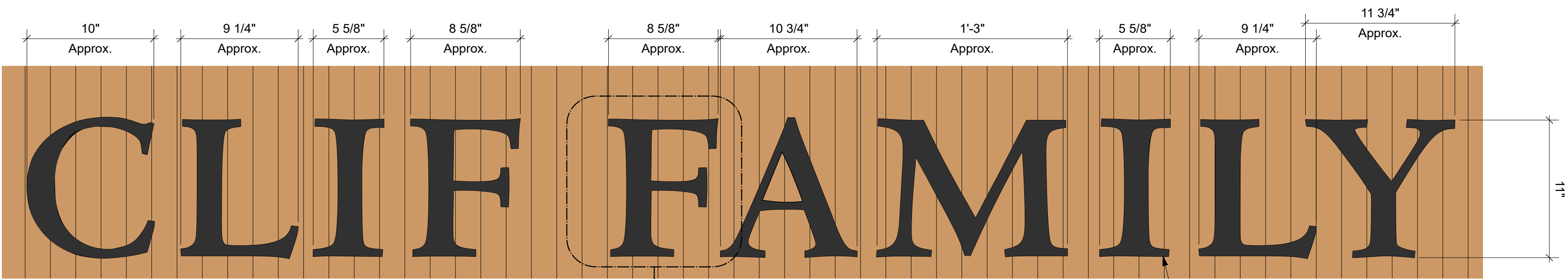
Date:	07.29.21
Drawn By:	KH
Project No.:	
Scale:	As Noted

Sign Details

SHEET NO.:
A2.2



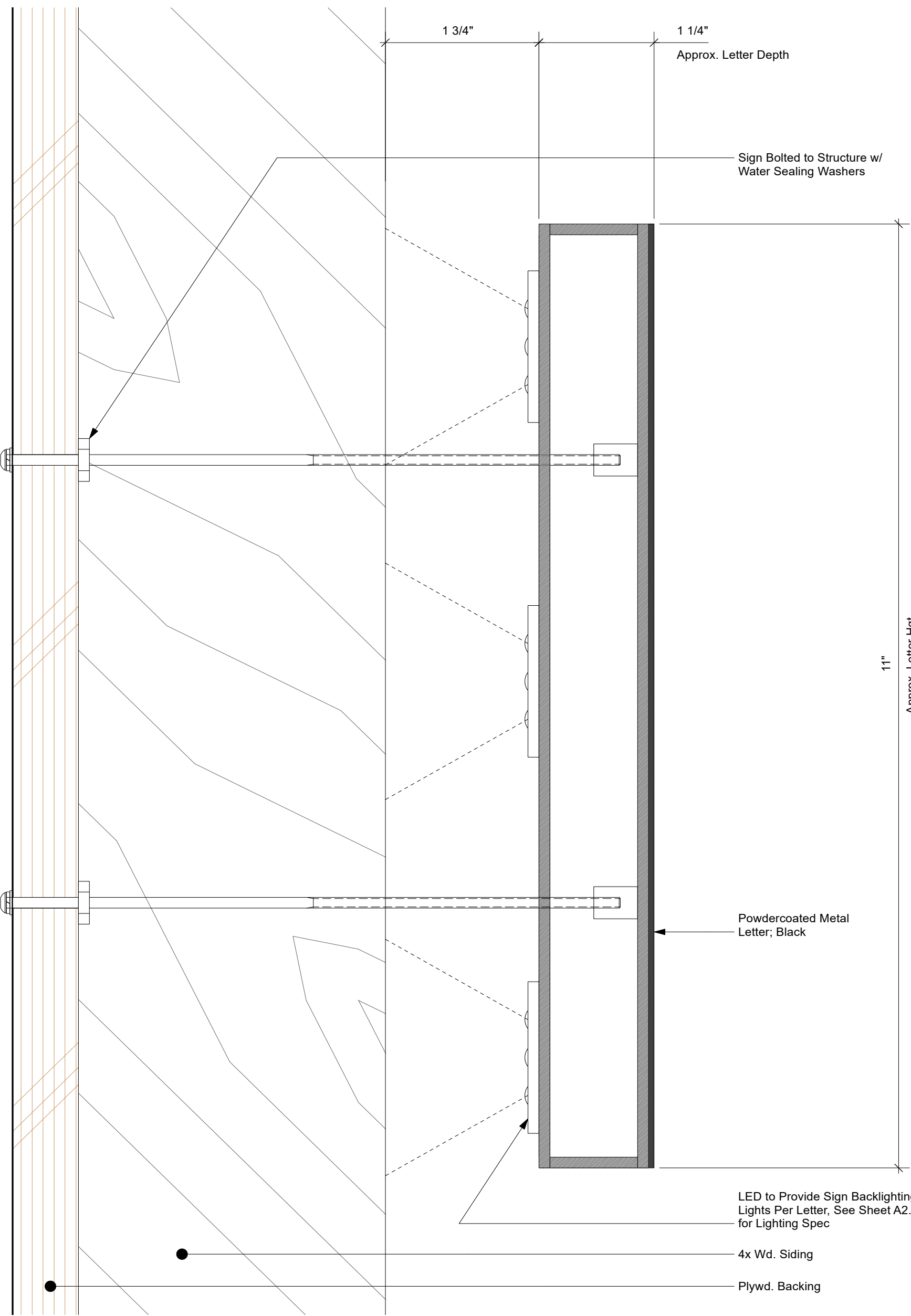
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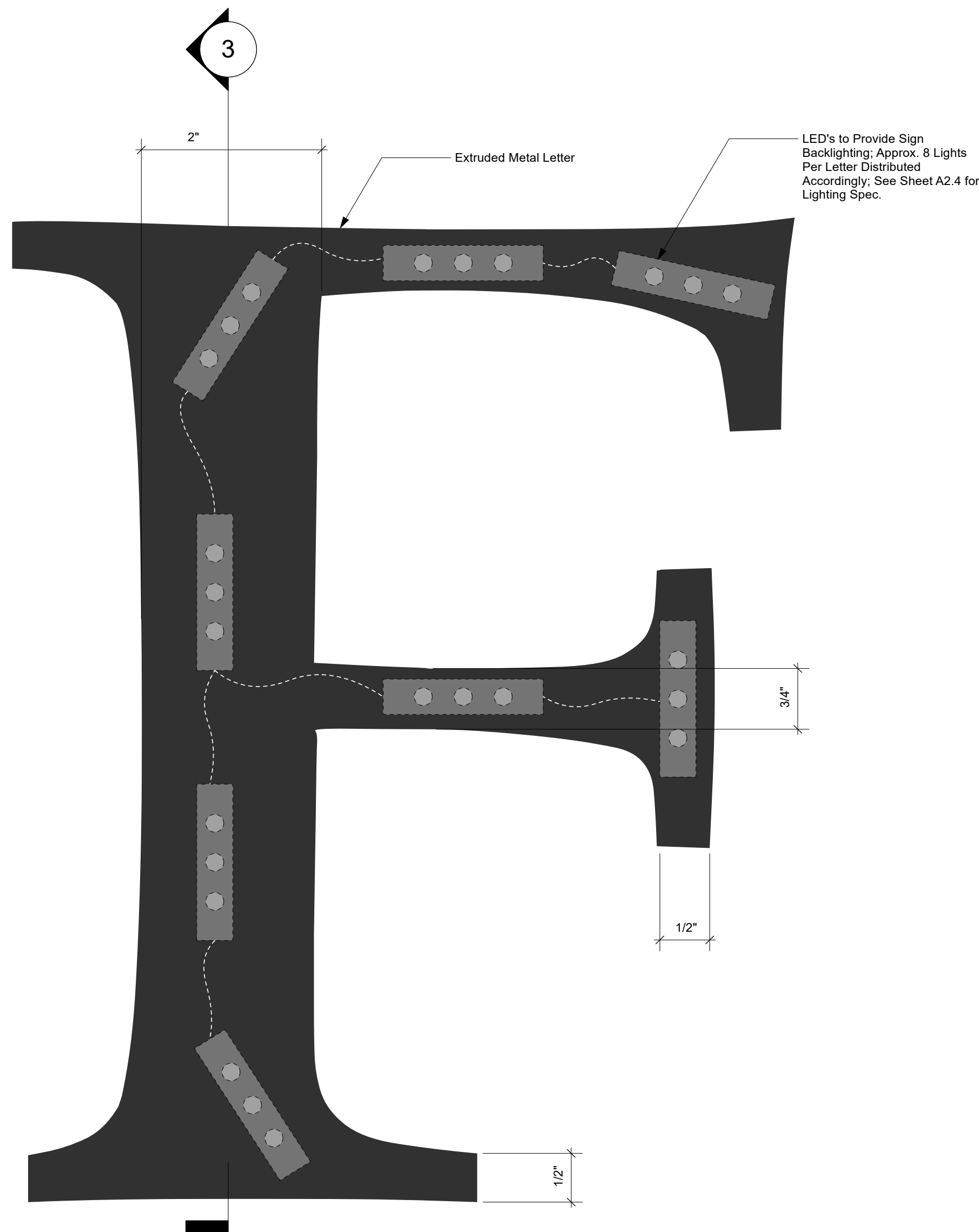
1 Sign Elevation
Scale: 2" = 1'-0"

2

Back Lit Metal Letters



3 Letter Section
Scale: Actual Size



2 Letter Details
Scale: Actual Size



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APN 009-180-040

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Project No.:	KH
Scale:	As Noted

Sign Details

SHEET NO.:
A2.3

Letter Lighting:

GEMINI LED SIGNAGE LIGHTING

SPECIFICATIONS

LED Signage Lighting Modules

0810031, 0810033, 0810035, 0810046, 0810048, 0810050

High-efficiency, ultra-bright LED lighting

Versatile Gemini LEDs offer high performance, consistent brightness, long life and energy efficiency.

Linear, 3 pcs 2835 SMD LED

1.77" x 0.43" x 0.378" (45mm x 11mm x 9.6mm)

160° beam angle

12Vdc, 0.48W, single chip 9V/30mA beads

UL

CE

RoHS

IP68

UV RESISTANT

22,000 HOURS

12 VOLT DC

5 YEARS

22,000 HOURS

12 VOLT DC

FEATURES

Constant current LED with low attenuation and long life

Maximum cascading quantity – single-ended up to 50 pcs. – double-ended up to 100 pcs.

Equipped with integrated optical device

Can be cut between every unit

UL , CE, RoHS compliant

PRODUCT DATA

Luminous Flux	53 lm/W @ 6500K
Luminous Efficacy	110 lm/W @ 6500K
Beam Angle	160°
Wattage per Module	0.48 W Nominal
Input Voltage	12.0 Vdc
Input Current	40 mA / module
Ingress Protection	IP68
Operating Temperature	-13°F to +140°F (-25°C to +60°C)
Life and Warranty	22,000 hours or 5 years (limited)

OPTICAL AND ELECTRICAL PARAMETERS

Gemini Part No.	LEDs per Module	Color / CCT (K)	Module Spacing Wire Length
0810031	3	WHITE / 6500K	2.2"
0810033	3	WHITE / 9000K	2.2"
0810035	3	WHITE / 3000K	2.2"
0810046	3	BLUE	2.2"
0810048	3	RED	2.2"
0810050	3	GREEN	2.2"

Applications

Halo and face backlighting

Channel letters

Light box depth: 1.5" to 15.75" (4~40cm) bottom-lit

Notes:

1) Testing environment temperature: 25±2°C [77±3.6°F]

2) The actual data of each single product may differ from above typical data which are subject to change without prior notice

PROFILE

140±[5.51±0.12]

2.2"

128±[315.04±0.12]

8522[335.51]

8802[346.54]

45±0.2[1.77±0.008]

21[0.84]

11±0.2[0.43±0.008]

9.6±0.2[0.38±0.008]

21.1[0.83]

Ø2.5[0.1]

Made True.

GEMINI

©2018 Gemini, Inc.

Logo Lighting:

DL diode led®

a division of elemental LED

ALPHATECH® X LINEAR LED LIGHTING

SPECIFICATION SHEET

DATE

PROJECT NOTES

Full diffusion, precision light quality, and physical durability for every application. Buy American Act compliant and Made in the USA.

Tight binning for objectively superior CRI, Gamut, and Fidelity

Seamless end-to-end mounting for limitless linear runs

Top-bending and side-bending options with multiple output levels

UV stabilized for outdoor use

IP69 for submersible applications

UL676 listed for pools, spas, saunas and steam rooms

NSF component approved

5-year warranty

Reference Source

Test Source

Diode LED	Voltage	Bend Style	Model	Lumens / Ft.	CCT
DI	24V	*TE - Top Bend *SE - Side Bend	ATX	250* 400*	2400K 2700K 3000K *Special order CCTs *3500K *4000K

*Side Bend (SE) - 225 Lumens

*Top Bend (TE) - 400 Lumens

Example: DI-24V-TE-ATX-250-2700K

	250 (SE)	400 (TE)
Lumen Output	250 Lm/ft.	400 Lm/ft.
Wattage	5.6W/ft.	4.6W/ft.
2400K	248Lm/ft.	380 Lm/ft.
2700K	266Lm/ft.	409 Lm/ft.
3000K	314Lm/ft.	393 Lm/ft.
*3500K	-	410 Lm/ft. special order
*4000K	-	422 Lm/ft. special order
Max Run	20 ft.	30 ft.
Input Voltage	24VDC	
Factory Built	Fully Custom Lengths	
Dimmable	Dim to dark — see driver options	
Field Cuttable	No	
Bend Radius	6 in.	
Environment	Indoor / Outdoor, IP69, Sauna	
Certification	UL 2108, UL 676, NSF	
Warranty	5 Years, 2 Years Sauna, 2 Years Deep Cold	

*Special Order CCTs are subject to extended lead times

Toll Free: 877.817.6028 | Fax: 415.592.1596 | www.DiodeLED.com | info@DiodeLED.com

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SPEC SHEET | ALPHATECH® X LINEAR LIGHTING | Last Modified: 052621-5.0 | 1 OF 5

REVISED

5:16 pm, Nov 01, 2021

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Date: 07.29.21
Drawn By: KH
Project No.: KH
Scale: As Noted

Signage
Lighting Spec
SHEET NO.:
A2.4

Page 26 of 49

Agenda Item #7.1.

Site Photo



RECEIVED
By xgamero at 11:56 am, Aug 25, 2021

CITY OF ST. HELENA PLANNING COMMISSION

RESOLUTION PC2019-007

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ST. HELENA
GRANTING APPROVAL OF A USE PERMIT TO ALLOW A 16-SEAT WINE TASTING
ROOM FOR THE CLIFF BAR FAMILY WINERY & FARM LOCATED AT 1334
VIDOVICH AVE. (File No. PL 18-080)**

PROPERTY OWNER: Rifugio Holdings

APN: 009-180-040

Recitals

1. On November 28, 2018, Cliff Bar Family Winery and Farm submitted an application for a Use Permit to establish a wine tasting room at 1334 Vidovich Avenue SC - Service Commercial in the District; and
2. On (date) a public notice of hearing before the Planning Commission was published in the St. Helena Star/Napa Valley Register and mailed to all property owners and occupants within 300 feet of the subject property; and
3. A staff report dated April 2, 2019 and incorporated herein by reference analyzed the projects consistency with the Use Permit Criteria enumerated in Section 17.168.050 of the Municipal Code, and
4. On April 2, 2019 the Planning Commission of the City of St. Helena, State of California, considered the project, staff report, and all testimony, written and spoken, at a duly noticed public hearing.
5. Now, therefore let it be found that, the Planning Commission approves the requested Use Permit on the following basis:

Resolution

- A. The project is categorically exempt from the requirements of CEQA pursuant to Section 15303 (c), which exempts New Construction or Conversion of Small Structures. The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA Section 15300.2. The project site is not located on or near an environmentally sensitive area, is not visible from a scenic highway, is not included on a hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts
- B. Let it be further resolved that the Planning Commission has considered the findings identified in Municipal Code Section 17.168.050 to support the motion to approve the Use Permit given that the project has been found to demonstrate:

1284 and 1334 Vidovich Avenue
Use Permit 2018-80
April 2, 2019

- A. That the proposed use would not generate odors, fumes, light, glare, radiation or refuse that would be injurious to surrounding uses or to the community;
 - B. That the proposed use would not generate levels of noise that adversely affect the health, safety or welfare of neighboring properties or uses;
 - C. That the proposed use would not generate traffic noise in excess of the normally acceptable range identified in the General Plan;
 - D. That the proposed use would not make excessive demands on the provision of public services including water supply, sewer capacity, energy supply, communication facilities, police protection and fire protection;
 - E. That the proposed use would provide adequate ingress and egress to and from the proposed location;
 - F. That allowing the proposed use would not conflict with the City's goal of maintaining the economic viability of a local-serving economy;
 - G. That the proposed use would be compatible with surrounding land uses and would not conflict with the purpose established for the district within which it would be located;
 - H. That the proposed use would not be in conflict with the City's General Plan;
 - I. That the proposed use would not be injurious to public health, safety or welfare;
 - J. That granting the Use Permit would not set a precedent for the approval of similar uses whose incremental effect would be detrimental to the city or would be in conflict with the General Plan;
 - K. That, as demonstrated on a detailed plan submitted by the applicant, adequate off-street parking to accommodate the long-term parking needs of employees and business owners and customers is available;
 - L. That the capacity of surrounding streets is adequate to serve the automobile and delivery truck traffic generated by the proposed use.
- C. Now therefore be it further resolved that a Use Permit for the above described project is granted subject to compliance with all applicable provisions of the Zoning Code subject to each of the following conditions. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.

Conditions of Approval

1. Permit shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of a building permit.

1284 and 1334 Vidovich Avenue
Use Permit 2018-80
April 2, 2019

2. The Use Permit shall be vested within one (1) year from the date of approval. A building permit for the use allowed under this approval shall have been obtained within one (1) year from the effective date of the Use Permit decision or these approvals shall expire; provided however that the approved Use Permit may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.030, Extension of Permits and Approvals.
3. This permit is valid for this use only. New permits must be applied for any change in use. These permits will expire if the use is discontinued pursuant to then existing ordinances and regulations.
4. The Use Permit shall not become effective until fourteen (14) calendar days after approval, providing that the action is not appealed by the City Council or any other interested party within that 14 day period.
5. Any request for an extension of the Use Permit must be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.
6. All required fees, including planning fees, development impact fees, building fees, retrofit fees, and St. Helena Unified School District fees shall be paid prior to issuance of building permit.
7. Pursuant to City Council Resolution 2003-65, the owner and applicant are informed of the following:

In recognition of the need for additional affordable housing, and to mitigate the effects of this development on the supply and demand of affordable housing, the permittee shall be subject to a Housing Impact Fee, an inclusionary requirement, an in-lieu fee, and/or similar fair and appropriate mechanisms, to provide funds for or to develop additional affordable housing.

8. Compliance with all permit conditions shall be clearly identified on all plans submitted for building permit approval, shall occur in accordance with specific regulations but in all cases no later than prior to occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
9. In any action or proceeding to attack, challenge, invalidate, set aside, void or annul the City's approval of applicant's Project, in whole or in part, applicant shall defend, at its own expense and without any cost to the City, and with counsel acceptable to the City, and shall fully and completely indemnify and hold the City, its agents, officers, and employees harmless from and against any and all claims, causes of action, damages, costs, attorney's fees and liability of any kind, so long as the City reasonably promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.

1284 and 1334 Vidovich Avenue
Use Permit 2018-80
April 2, 2019

10. Provided they are in general compliance with the approved Use Permit, minor modifications found to be in substantial conformance with the approved use may be approved by the Planning Director.
11. This Use Permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.
12. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The owner/applicant is responsible for meeting with the Building Official / Fire Inspector to review compliance with Building and Fire Codes, including fire protection systems and the accessibility standards of Title 24.
13. Construction documents shall be in compliance with approved plans and exhibits.
14. A business license is required for any new business or relocation of an existing business.
15. All conditions of approval shall be clearly identified and included on all plans submitted for building permit review and issuance.
16. Where the SC – Service Commercial District adjoins agricultural districts, there exists a right-to-farm the adjoining property. There is a good faith expectation that no complaints will occur regarding legal, normal agricultural activities on the adjacent land. Such activities may include day or night disbursement of chemicals, and creation of dust, noise, or fumes.
17. Exterior lighting shall be directed or shielded to prevent glare onto the public roadway or adjacent properties.
18. To reduce disturbance of residents in the project vicinity, construction activities which generate noise that can be heard at the property line of any parcel of real property within the City limits shall be limited to 8:00 a.m. to 5:00 p.m. Monday through Saturday. Delivery of materials/equipment and cleaning and servicing of machines/equipment shall be limited to 7:00 a.m. to 6:00 p.m. Exceptions to these time restrictions may be granted by the Public Works Director for one of the following reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The City Engineer must be notified and give approval in advance of such work. No construction activities shall occur on Sundays or federal or local holidays that generate noise that can be heard at the property line of any parcel of real property within the City limits.

Fire Department Conditions of Approval

19. The applicant shall be required to install an approved interior fire sprinkler system, unless waived by the Fire Chief.

Building Department Conditions of Approval

20. A building permit is required for all onsite demolition, construction and/or change of occupancy.
21. The applicant will be required to comply with the codes adopted at the time the applicant applies for a building permit. At this time the City of St. Helena utilizes the 2016 Title 24 codes.
22. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.
23. The applicant shall provide a construction waste management plan with the building permit application.
24. The plans for construction shall include a checklist for compliance with the California Green Buildings Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.
25. When submitting plans, the title page shall include all information referenced on the building permit application checklist Title Page requirements.
26. Building Permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application. Any deferral of the required submittal items shall have prior approval of the Building Official however deferral of fire sprinkler design is not allowed.
27. Properties which are on septic systems and proposing substantial renovations may require approval from the Napa County Environmental Health Department. Applicants are encouraged to engage with the County early in the building permit review process to reduce the potential for delay.
28. Building Permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application. Any deferral of the required submittal items shall have prior approval of the Building Official however deferral of fire sprinkler design is not allowed.

1284 and 1334 Vidovich Avenue
Use Permit 2018-80
April 2, 2019

29. Submittal of a sign permit is required for any proposed signage and must be received and approved prior to the issuance of any building permits to implement the approved use.

Public Works Department Conditions

30. Approval of this project shall be subject to the requirements of, and all improvements shall be designed and constructed in accordance with, the most current version at the time of improvement plan submittal, Caltrans Standards and Specifications, the City of St. Helena Municipal Code, the St. Helena Water and Sewer Standards, the St. Helena Street, Storm Drain and Sidewalk Standards, and all current federal, state and county codes governing such improvements.
31. The applicant shall repair all public improvements that are damaged by the construction process in accordance with the City Water/Sewer/Street/Storm Drain/Sidewalk Standards prior to Certificate of Occupancy.
32. An encroachment permit shall be required for any work performed in the public right of way.
33. The applicant shall be required to submit to the requirements for annual inspections of food/beverage service establishments and businesses that handle hazardous wastes for illicit stormwater discharges as required by the State National Pollutant Discharge Elimination System (NPDES) General Permit for Storm Water Discharged. The annual stormwater illicit discharge inspections are performed and invoiced by the Napa County Department of Environmental Management.
34. Any new and modified existing water laterals, meters and backflow prevention devices shall be required and constructed in accordance with the requirements of the City of St. Helena's Water Standards.
35. All wastewater lines of the proposed development must be connected to the St. Helena sewer system and designed in accordance with the City sewer system standards. Any new fixture units added to the existing building will require upgrade of the sewer lateral to the building, including a sewer cleanout at the property line.
36. Wastewater discharged is subject to all of the requirements and limitations set forth in Chapter 13.20, Sewer Service System, of the St. Helena Municipal Code.
37. Trash areas, dumpsters and recycling containers shall be enclosed and roofed per State and County standards to prevent water run-on to the trash area and water runoff from the area, to contain litter and trash so that it is not dispersed by the wind or run-off during waste removal. In the event that wine or food is disposed in these areas, they shall drain to the sanitary sewer system. An area drain connected to the sanitary sewer shall be installed in the enclosure area and a structural control such as an oil/water separator or sand filter shall be included. No other area shall drain

1284 and 1334 Vidovich Avenue
Use Permit 2018-80
April 2, 2019

into the trash enclosure. A sign shall be posted prohibiting the dumping of hazardous materials into the sanitary sewer.

38. Where applicable, deteriorating or broken curb, gutter and/or sidewalk along the project frontage shall be replaced per City specifications, extent to be determined by the Public Works Department.
39. Existing streets being cut by new services will require edge grinding and an A.C. overlay per City standards, extent to be determined by the Public Works Department.
40. The applicant shall repair all public improvements that are damaged by the construction process in accordance with Caltrans Standards and Specifications and the City Water/Sewer/Street/Storm Drain/Sidewalk Standards.

I HEREBY CERTIFY that the foregoing Use Permit and Design Review was duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on April 2, 2019 by the following roll call vote:

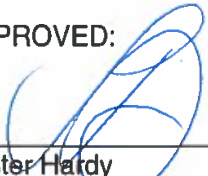
AYES: Commissioners Hale, Monnette, Ponte, Anderson and Hardy

NOES: None

ABSENT: None

ABSTAIN: None

APPROVED:



Lester Hardy
Chair, Planning Commission

ATTEST:



Noah Housh,
Planning and Community
Improvement Director

CITY OF ST. HELENA PLANNING COMMISSION

RESOLUTION NO. PC2021-004

**APPROVING DESIGN REVIEW FOR MODIFICATIONS TO THE EXISTING BUILDING
LOCATED AT 1334 VIDOVICH AVENUE IN THE CITY OF ST. HELENA, CALIFORNIA**

PROPERTY OWNER: Rifugio Holdings, LLC

APN: 009-180-040

Recitals

1. On October 28, 2020, the applicant submitted an application for Design Review approval in order to make exterior modifications to the existing building on the property located at 1334 Vidovich in the Service Commercial (SC) zoning district.
2. A public notice was published in the Napa Valley Register and mailed to residents and occupants within 300 feet of the project site in compliance with state and local law; and
3. The Planning Commission of the City of St. Helena, State of California, considered the project, staff report, and all testimony, written and spoken, at a duly noticed public hearing on April 6, 2021; and
4. Now, therefore let it be found that the Planning Commission approves the requested design review thereby authorizing the modifications contained in said plans based on the findings below and subject to the conditions of approval enumerated herein.

Resolution

- A. In reviewing the findings in this Resolution, the Planning Commission relied upon and hereby incorporates by reference all of the documents referenced in this Resolution and the associated staff reports, City files for this matter, correspondence, presentations and other materials.
- B. The Planning Commission hereby finds that the project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301, which exempts the minor alteration of existing private structures including exterior alterations and Section 15302, which exempts the replacement or reconstruction of a commercial structure of substantially the same size and purpose.
- C. In accordance with the design review criteria identified in SHMC Section 17.164.030, in making their recommendation the Planning Commission finds that the project demonstrates the following:
 1. *Consistency and compatibility with applicable elements of the general plan in that the proposed structural changes are consistent with the intent of applicable General Plan policies pertaining to development in the Service Commercial District.*
 2. *Compatibility of design with the immediate environment of the site in that the project has been designed to be compatible with the surrounding environment.*

3. *Relationship of the design to the site is found to be consistent in that the project has been designed to be compatible with the site and the surrounding area.*
4. *That the design is compatible in areas considered by the board as having a unified design or historical character in that the area does not have a unified design or historical character and the project has been designed to be compatible with the site and the surrounding area.*
5. *That the design promotes harmonious transition in scale and character in areas between different designated land uses in that the project would result in a modernized and improved commercial structure in an existing commercial area near existing vineyards.*
6. *Compatibility with future construction both on and off the site in that the proposed structural modifications will blend in with existing and future construction in the immediate vicinity.*
7. *That the architectural design of structures and their materials and colors are appropriate to the function of the project in that the project has been professionally designed to suit the site and its surroundings.*
8. *That the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community in that the improvements will enhance the aesthetics of the existing commercial parcel and its surroundings.*
9. *That the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures in that new landscaping will enhance the overall appearance of the property and general vicinity.*
10. *That access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles in that access to the site will remain via Vidovich Avenue. No changes are proposed that would impact access to the site.*
11. *That natural features are appropriately preserved and integrated with the project in that the project has been designed to be compatible with the site and its surroundings. A condition of approval has been added below requiring that onsite landscaping be preserved and maintained.*
12. *That the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions in that the proposed siding, colors, and roofing materials are consistent with the site context and compatible with surrounding design.*
13. *That the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site in that project new landscaping will enhance the project site and its surroundings.*
14. *That sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape*

materials in that project related construction is required to meet all California Building Codes and City of St. Helena development standards.

Planning Department Conditions of Approval

- D. The Planning Commission recommends approval of design review for the above-described project with the following conditions of approval. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.
 1. The project shall be in conformance with all city ordinances, rules, regulations and policies in effect at the time of issuance of a building permit.
 2. This approval shall be vested within one (1) year from the date of final action. A building permit application for the use allowed under this approval shall have been submitted within one (1) year from the effective date of this action or the approval shall expire, provided however that the approval may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.130, Extension of Permits and Approvals.
 3. Any request for an extension of this approval shall be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.
 4. The approvals shall not become effective until fourteen (14) calendar days after approval, providing that the action is not appealed by the City Council or any other interested party within that 14-day period.
 5. All required fees, including planning fees, development impact fees, residential in-lieu housing fees, building fees, toilet retrofit fees, and St. Helena Unified School District fees shall be paid prior to issuance of a building permit. Fees shall be those in effect at the time of the issuance of the building permit.
 6. Pursuant to City Council Resolution 2003-65, the owner and applicant are informed of the following:

In recognition of the need for additional affordable housing, and to mitigate the effects of this development on the supply and demand of affordable housing, the permittee shall be subject to a Housing Impact Fee, an inclusionary requirement, an in-lieu fee, and/or similar fair and appropriate mechanisms, to provide funds for or to develop additional affordable housing. This fee must be paid prior to a certificate of occupancy being issued.
 7. Compliance with all permit conditions shall occur in accordance with specific regulations but in all cases no later than prior to occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
 8. In any action or proceeding to attack, challenge, invalidate, set aside, void or annul the City's approval of applicant's Project, in whole or in part, applicant shall defend, at its own expense and without any cost to the City, and with counsel acceptable to the City, and shall fully and completely indemnify and hold the City, its agents, officers, and employees harmless from and against any and all claims, causes of action, damages, costs, attorney's fees and liability of any kind, so long as the City reasonably promptly

notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.

9. Pursuant to St. Helena Municipal Code Section 17.08.110, this permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.
10. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The property owners or their designee shall be responsible for meeting with the Building Official, Fire Inspector and or Public Works Department to review compliance with Building Codes, Fire Codes and specific Public Works Standards including fire protection systems and any applicable accessibility standards of Title 24.
11. No signage is approved as part of this design review; any new signage requires approval of a sign permit.
12. Construction shall be in compliance with plans submitted and reviewed by the Planning Commission on April 6, 2021, except as modified herein.
13. Provided they are in general compliance with this approval, minor modifications may be approved by the Planning Director.
14. On-site landscaping must be maintained and shall be kept in a weed-free condition.
15. Planters and tree wells may have a width of less than five feet.
16. Exterior lighting shall be directed or shielded to prevent glare onto the public roadway or adjacent properties. Fixtures shall be shaded to direct light downward. Lenses shall be equipped with cut-off devices to further limit spillover of unwanted lights.
17. Except as required for public safety, exterior lighting shall be turned off during non-business hours.
18. If necessary for public health, safety or welfare, the City may require that lighting levels on-site be reduced.
19. No expansion of the 16-seat wine tasting use approved by Resolution #PC2019-007 is permitted and all on-site operations shall continue to comply with the conditions of approval of approved use permits.
20. During construction, the areas under construction on project site shall be adequately fenced and secured to prevent trespassing.
21. Property owners within the SC district shall recognize that there is a right to farm within the district and in the vicinity of the district. There is a good faith expectation that no complaints will occur regarding legal normal agricultural activities on properties in the district or in the vicinity of the district. Such activities may include day or night disbursement of chemicals, and creation of dust, noise or fumes.
22. To reduce disturbance of residents in the project vicinity, construction activities which generate noise that can be heard at the property line of any parcel of real property within the City limits shall be limited to 8:00 a.m. to 5:00 p.m. Monday through Saturday. Delivery of materials/equipment and cleaning and servicing of machines/equipment shall be limited to 7:00 a.m. to 6:00 p.m. Exceptions to these time restrictions may be granted by the Public Works Director for one of the following reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if

work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The City Engineer must be notified and give approval in advance of such work. No construction activities shall occur on Sundays or federal or local holidays that generate noise that can be heard at the property line of any parcel of real property within the City limits.

Public Works Department Conditions of Approval

23. Approval of this project shall be subject to the requirements of, and all improvements shall be designed and constructed in accordance with, the most current version at the time of improvement plan submittal, Caltrans Standards and Specifications, the City of St. Helena Municipal Code, the St. Helena Water and Sewer Standards, the St. Helena Street, Storm Drain and Sidewalk Standards, and all current federal, state and county codes governing such improvements.
24. The applicant shall repair all public improvements that are damaged by the construction process in accordance with the City Water/Sewer/Street/Storm Drain/Sidewalk Standards prior to Certificate of Occupancy.
25. Drainage needs to be routed to prevent inundation of neighboring properties. Grading and/or site improvement plans shall show how 2-year and 10-year storm flows shall be infiltrated on site and/or diverted at the property lines to prevent inundation of neighboring properties.
26. The Developer shall install storm drain detention system improvements as required to maintain post development 2-year and 10-year runoff from the pre-development levels.
27. If the project includes 500 square feet or more of new landscaping and/or 2,500 square feet or more of rehabilitated landscape, the proposed landscaping submittal items must comply with the State's Model Water Efficient Landscape Ordinance (MWELO). Please complete and submit the MWELO water budget calculator available on the Department of Water Resources website: www.water.ca.gov/wateruseefficiency/landscapeordinance
28. The Bay Area Stormwater Management Agencies Association (BASMAA) requires a Stormwater Control Plan for any projects that create and/or replace 5,000 square feet or more of impervious surface (i.e. a "Regulated Project" under Provision E.12 of the State's Phase II Small MS4 General Permit). Please submit a preliminary Stormwater Control Plan in accordance with BASMAA requirements. Please note that per BASMAA requirements when a project results in an increase of more than 50% of the impervious area of a previously existing development, runoff from new, replaced, and previously existing impervious surfaces must be included in the Stormwater Control Plan. The BASMAA Post-Construction Manual available from the Public Work Department website at: http://cityofsthenana.org/sites/default/files/fileattachments/public_works/page/2491/basmaa_post-construction_manual.pdf
29. The Applicant shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period, as is found necessary by the City Engineer.

30. The applicant shall be required to submit to the requirements for annual inspections of food/beverage service establishments and businesses that handle hazardous wastes for illicit stormwater discharges as required by the State National Pollutant Discharge Elimination System (NPDES) General Permit for Storm Water Discharged. The annual stormwater illicit discharge inspections are performed and invoiced by the Napa County Department of Environmental Management.
31. Any new and modified existing water laterals, meters and backflow prevention devices shall be required and constructed in accordance with the requirements of the City of St. Helena's Water Standards.
32. All wastewater lines of the proposed development must be connected to the St. Helena sewer system and designed in accordance with the City sewer system standards. Any new fixture units added to the existing building will require upgrade of the sewer lateral to the building, including a sewer cleanout at the property line.
33. Wastewater discharged is subject to all of the requirements and limitations set forth in Chapter 13.20, Sewer Service System, of the St. Helena Municipal Code.
34. Trash areas, dumpsters and recycling containers shall be enclosed and roofed per State and County standards to prevent water run-on to the trash area and water runoff from the area, to contain litter and trash so that it is not dispersed by the wind or run-off during waste removal. In the event that wine or food is disposed in these areas, they shall drain to the sanitary sewer system. An area drain connected to the sanitary sewer shall be installed in the enclosure area and a structural control such as an oil/water separator or sand filter shall be included. No other area shall drain into the trash enclosure. A sign shall be posted prohibiting the dumping of hazardous materials into the sanitary sewer.
35. Where applicable, deteriorating or broken curb, gutter and/or sidewalk along the project frontage shall be replaced per City specifications, extent to be determined by the Public Works Department.
36. Existing streets being cut by new services will require edge grinding and an A.C. overlay per City standards, extent to be determined by the Public Works Department.
37. The applicant shall repair all public improvements that are damaged by the construction process in accordance with Caltrans Standards and Specifications and the City Water/Sewer/Street/Storm Drain/Sidewalk Standards.
38. An encroachment permit shall be required for any work performed in the public right of way.

Building Department Conditions of Approval

39. A building permit is required for all onsite demolition, construction and/or change of occupancy.
40. The applicant will be required to comply with the codes adopted at the time the applicant applies for a building permit. At this time the City of St. Helena utilizes the 2019 Title 24 codes.
41. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.

42. The applicant shall provide a construction waste management plan with the building permit application.
43. The plans for construction shall include a checklist for compliance with the California Green Buildings Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.
44. When submitting plans, the title page shall include all information referenced on the building permit application checklist Title Page requirements.
45. Building Permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application. Any deferral of the required submittal items shall have prior approval of the Building Official however deferral of fire sprinkler design is not allowed.
46. Properties which are on septic systems and proposing substantial renovations may require approval from the Napa County Environmental Health Department. Applicants are encouraged to engage with the County early in the building permit review process to reduce the potential for delay.

Fire Department Conditions of Approval

47. Plans submitted for building permit shall exhibit compliance with the current St. Helena Fire Code, as adopted and codified in St. Helena Municipal Code Chapter 15.36.
48. Fire sprinklers and fire hydrants shall be installed as required by Fire Code and the Fire Department.
49. One hour minimum fire-resistant construction on all exterior walls within 10' of property boundary is required. Fire resistant construction of interior walls shall be determined by type of occupancy.
50. Any gates installed to control vehicular access to a property are required to be setback 30-feet from the property line and/or edge of pavement, whichever is greater. No vehicle gates may be installed without Fire Department and Public Works Department review and explicit approval.

I HEREBY CERTIFY that the City of St. Helena Planning Commission approved the foregoing design review application at a regular meeting of said Planning Commission held on April 6, 2021 by the following roll call vote:

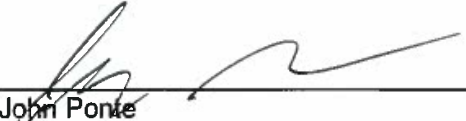
AYES: Commissioners Segura, Hale, Rothfeld, Anderson and Ponte

NOES: None

ABSENT: None

ABSTAIN: None

APPROVED:



John Ponte
Chair, Planning Commission

ATTEST:



Maya DeRosa, AICP
Planning and Building Director

MEMORANDUM



DATE: November 30, 2021

TO: Planning Commission

FROM: Maya DeRosa, AICP, Planning and Building Director

RE: Pop Up Permits Status Report

In 2018, the City Council approved an ordinance amendment allowing businesses to apply for an administratively approved use permit for temporary activities lasting one year or less. The impetus for this code change was feedback from the business community that the use permit process was too cumbersome, lengthy, and costly; particularly for businesses that desired to open quickly. To aid in the economic development recovery downtown, the "pop up" or temporary use permit ordinance administered through Section 17.135.50 of the Zoning Code has responded to this need.

Temporary use permits are not subject to Design Review or parking requirements. This memo serves as a summary of pop up permit activity to date since the new regulations went into effect.

DISCUSSION

Since the creation of the pop up ordinance in 2018, the City has received and processed a total of 21 temporary use permits (Attachment). The number of temporary use permits issued has grown year over year since inception. Two of the 21 approved permits later applied for a permanent use permit (Gregory Lang Art Gallery and Lang and Reed Tasting Room with administrative offices). Additionally, eight of the 21 permits were for shorter term (lasting days or weeks) type of enterprises such as a community wall art project, anniversary party, drive in theatre (two permits), campaign office, pumpkin patch, gratitude wall, and Purfresh Clean event. The remaining 13 permits were for brick and mortar type commercial businesses that wanted to benefit from a quick approval and reduced cost (\$500) to open their operations. All temporary use permits are issued with conditions of approval stating that the permit expires after 12 months, unless the application includes an earlier end date for the activity in which case that end date is incorporated in the conditions of approval.

As a result of this reporting, it came to staff's attention that one of the temporary use permits approved in 2019 has continued to operate without requesting a permanent use permit approval from the Planning Commission. Staff is following up with this business to bring them into compliance.

It is staff's conclusion that the initiation of the pop up permit has been a business friendly zoning code change by reducing costs, processing time, and uncertainty in the development review process. It fosters creative entrepreneurs to open their business with minimal delay as the typical pop up permit is processed and approved within 7-14 days. The temporary use permit regulations are incorporated into the new draft zoning code.

Temporary Use Permits				
Year	Project Number	Description	Address	Permanent Use Permit
2018 (January 1, 2018)				
	PL18-081	Wish Pop-Up Store	1320 Main St.	No (This use is allowed in the CB zone by right)
2019				
	PL19-052	Community Art Wall Project	1377 Main St.	No
	PL19-034	St. Helena Boutique	1239 Main St.	No
	PL19-030	Jewelry Store/ Wine Tasting	1269 Main St.	No
				No (This is currently operating without a valid use permit-a courtesy letter is being sent to the business owner to apply for Use Permit)
	PL19-037	Meuse Art Gallery	1331 Main St.	
	PL19-026	Gotts Anniversary Party	933 Main St.	No
2020				
	PL20-022	Cameo Cinema Drive-In	931 Main St.	No
	PL20-040	Peter White Campaign Office	1380 Main St.	No
	PL20-042	Pumpkin Patch	009-470-024	TUP expired on 9/29/21 (It appears this business plans to operate again this year and staff is contacting the owner to apply for a new TUP)
	PL20-001	Gregory Lang Art Gallery	1309 Main St. Ste. 5	Yes
	PL20-048	Wine Shop, Espresso Bar & More	929 Main St.	TUP expires on 1/12/22
	PL20-047	Gratitude Wall @ Hunt Ave. Hub	1234 Main St.	No
	PL20-043	Vine Star Wine Bar	929 Main St.	TUP expires on 10/20/21 (Business has vacated)
2021				

(August 25, 2021)	PL21-007	Erosion Wine	1234 Main St.	TUP expires on 3/19/22
	PL21-016	Carolina's Champagne Lounge & Live Music	1414 Main St.	TUP expires on 5/6/22
	PL21-005	Lang & Reed Tasting Room w/ Administrative Offices	1244 Spring St.	Yes
	PL21-026	Halloram & Sons Antiques	1220 Adams St.	TUP expires on 5/28/22
	PL21-002	Splendore Studio Aesthetics	200 Main St.	TUP expires on 1/19/22
	PL21-025	Purfresh Clean Event	905 Main St.	TUP expires on 5/28/22
	PL21-013	Cameo Cinema & Charles Krug Drive-In	2800 Main St.	TUP expires on 4/13/22
	PL21-022	Crisp Kitchen & Juice	1111 Main St. Ste. B	TUP expires on 5/19/22

One-Time event held on 6/10/21
Summer event 5/2021 to 9/2021



Planning Commission Meeting

12-9-2021

Pop-Up Permits Status



Pop Up Permits Summary of Findings

- 21 Temporary Use Permits total issued to date
- Increase year over year in number of permits issued
- 2 of 21 permits resulted in an application for permanent use permit (Gregory Lang Art Gallery and Lang and Reed Tasting Room with administrative offices)
- 8 of 21 permits were temporary in nature -community wall art project, anniversary party, drive in theatre (two permits), campaign office, pumpkin patch, gratitude wall, and Purfresh Clean event
- 13 of 21 permits were for brick and mortar type establishments
- One of permits approved in 2019 has continued to operate without requesting a permanent use permit approval from the Planning Commission. Staff is following up with this business to bring them into compliance



2018-2021 Pop Up Permits

Temporary Use Permits				
Year	Project Number	Description	Address	Permanent Use Permit
2018 (January 1, 2018)	PL18-081	Wish Pop-Up Store	1320 Main St.	No (This use is allowed in the CB zone by right)
2019	PL19-052	Community Art Wall Project	1377 Main St.	No
	PL19-034	St. Helena Boutique	1239 Main St.	No
	PL19-030	Jewelry Store/ Wine Tasting	1269 Main St.	No
				No (This is currently operating without a valid use permit-a courtesy letter is being sent to the business owner to apply for Use Permit)
	PL19-037	Meuse Art Gallery	1331 Main St.	
	PL19-026	Gotts Anniversary Party	933 Main St.	No
2020				
	PL20-022	Cameo Cinema Drive-In	931 Main St.	No
	PL20-040	Peter White Campaign Office	1380 Main St.	No
				TUP expired on 9/29/21 (It appears this business plans to operate again this year and staff is contacting the owner to apply for a new TUP)
	PL20-042	Pumpkin Patch	009-470-024	
	PL20-001	Gregory Lang Art Gallery	1309 Main St. Ste. 5	Yes
	PL20-048	Wine Shop, Espresso Bar & More	929 Main St.	TUP expires on 1/12/22
	PL20-047	Gratitude Wall @ Hunt Ave. Hub	1234 Main St.	No
2021 (August 25, 2021)	PL20-043	Vine Star Wine Bar	929 Main St.	TUP expires on 10/20/21 (Business has vacated)
	PL21-007	Erosion Wine	1234 Main St.	TUP expires on 3/19/22
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