



****AMENDED 4/27/22****
City of St. Helena
Planning Commission
Regular Meeting
Tuesday, May 3, 2022 @ 6:00 PM

This meeting will be conducted pursuant to the provisions of Government Code Section 54953 (as amended by AB 361) which authorizes teleconferenced meetings under the Brown Act during certain proclaimed States of Emergency. The Governor of California proclaimed a State of Emergency related to COVID-19 on March 4, 2020. This teleconferenced meeting is necessary so that the city can conduct essential business and is permitted under Government Code 54953 in order to protect public health and safety of attendees.

Consistent with Government Code Section 54953, this Planning Commission Meeting will be held via teleconference only, and will not be physically open to the public. Commission members and staff will teleconference into the meeting by audio and/or video. The meeting will be conducted via Zoom Webinar.

The Planning Commission meeting will be live-streamed on Comcast Channel 28 and on the City's website, barring technical difficulties. Those members of the public wishing to participate must do so remotely via Zoom electronic meetings in the following ways; by either logging onto the Zoom link located on the meeting agenda (please download the app to your computer or mobile device) and enter the meeting ID or by calling a listed number and enter the meeting ID. Public comment for Planning Commission meetings will be accepted via email to publiccomment@cityofsthelena.org. All public comments must be emailed by 3:00 PM prior to the meeting. Emailed public comments will not be read out loud but will be publicly available and attached to the on-line Planning Commission agenda.

****NEW - Simultaneous Spanish interpretation services during meetings can be scheduled upon request. To ensure interpreters are available, requests must be made at least 72 hours in advance by calling the Office of the City Clerk at (707) 968-2640 or emailing cityclerk@cityofsthelena.org.**

The schedule of upcoming meetings and published meeting agendas can be found on the City of St. Helena website at <https://sthelena.civicweb.net/portal/>.

Please see the end of the agenda for detailed PUBLIC PARTICIPATION instructions.

Please click the link below to join the meeting:

<https://us02web.zoom.us/j/88672865728>

Or One tap mobile :

US: +16699006833,,88672865728# or +12532158782,,88672865728#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799 or +1 929 205 6099 or +1 301 715 8592
or +1 312 626 6799

Meeting ID: 886 7286 5728

International numbers available: <https://us02web.zoom.us/j/88672865728>

PLEASE NOTE: Any person who wishes to speak regarding an item on the agenda or make a comment under the "Oral Communication" portion of the agenda may do so, but please observe the time limit of four minutes.

**Ciudad de Santa Helena
Reunión del Comité de Planificación
3 de mayo @ 6:00 PM**

Esta reunión será realizada conforme a las provisiones del Código de Gobierno Sección 54953 (modificada por AB 361) la cual autoriza las reuniones de teleconferencia bajo el Brown Act durante ciertos Estados de Emergencia. El gobernador de California proclamó Estado de Emergencia relacionado con el COVID-19 el 4 de marzo del 2020. Esta reunión por teleconferencia es necesaria para que la ciudad pueda realizar deberes esenciales y es permitido bajo el Código de Gobierno 54953 en orden de proteger la salud pública y seguridad de los asistentes.

Consistente con el Código de Gobierno Sección 54953, esta reunión del Comité de Planificación será realizada via teleconferencia y no será físicamente abierta al público. Miembros del comité y personal atenderán la reunion por audio y/ o video. La reunion será transmitida via Zoom.

La reunión del Comité de Planificación de la Ciudad se transmitirá en vivo por el Canal 28 de Comcast y en el sitio web de la Ciudad, salvo dificultades técnicas. Aquellos miembros del público que deseen participar deben hacerlo de forma virtual a través de las reuniones electrónicas de Zoom de las siguientes maneras; iniciando sesión en el enlace Zoom ubicado en la agenda de la reunión (descargue la aplicación en su computadora o dispositivo móvil) e ingrese el ID de la reunión o llamando al número ubicado en la agenda e ingrese el ID de la reunión. Se aceptarán comentarios públicos para la reunión del Comité de Planificación por correo electrónico publiccomment@cityofsthelena.org. Todos los comentarios públicos se harán públicos y se adjuntarán a la agenda, pero no se leerán en voz alta. Todos los comentarios públicos que se reciban después de las 3:00 PM se adjuntarán a la agenda al día siguiente.

****NUEVO-** Servicios de interpretación en español durante la reunión pueden ser solicitados por el público. Para asegurar que los intérpretes estén disponibles, los servicios tienen que ser solicitados al menos 72 horas antes de la reunión llamando a la oficina de la Secretaria de la Ciudad al (707) 968-2640 o por correo electrónico a cityclerk@cityofsthelena.org . El horario de las reuniones publicadas y próximas puede ser localizado en el sitio de web de la Ciudad en <https://sthelena.civicweb.net/portal/>.

Consulte el final de la agenda para obtener instrucciones detalladas de PARTICIPACIÓN PÚBLICA.

Haga clic en el enlace a continuación para participar en la reunión:
<https://us02web.zoom.us/j/88672865728>

O por iPhone one-tap:
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O por telefono:
Marque (para mejor calidad de llamada, marque al numero basado en su localizacion actual):

US: 1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799 or +1 929 205 6099 or +1 301 715 8592
or +1 312 626 6799

ID de la Reunión: 886 7286 5728

Números Internacionales Disponibles: <https://us02web.zoom.us/j/kcsxvRfHoo>

TENGA EN CUENTA: Cualquier persona que desee hablar sobre un tema en la agenda o hacer un comentario en la sección de "comentario público" de la agenda puede hacerlo, pero por favor observe el límite de tiempo de cuarto minutos.

Page

1. PLEDGE OF ALLEGIANCE

2. CALL TO ORDER AND ROLL CALL

Chair: John Ponte

Vice Chair: Daniel Hale

Commissioners: Autumn Anderson, Rosaura Segura and Marika Rothfeld.

City staff present at the meeting will be noted in the minutes.

3. PUBLIC FORUM:

This is an opportunity for the public to address the Commission on items of interest to the public that are NOT listed on the agenda. Because of restrictions imposed by the Brown Act, the Commission may not engage in discussion nor take action on matters not described on the agenda. **Please observe the time limit of four minutes.**

4. CONSENT ITEMS

Members of the Commission or the public may ask that any items be considered individually for purposes of considering alternative action, for extended discussion, or for public comment. Unless that is done, one motion may be used to adopt all recommended actions. (Roll Call Vote)

4.1. Approval of Minutes: April 19, 2022

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[Planning Commission Minutes 04.19.22](#)

4.2. Request by Jennifer Porembski for adoption of a resolution granting a design review exemption in order to make exterior modifications to the existing single-family home located at 1227 Edwards Street in the Medium Density Residential zoning district.

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CEQA Determination: The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Sections 15301.

Prepared By: Aaron Hecock, Senior Planner

Recommendation:

For the reasons described above, staff recommends that the Planning Commission adopt a resolution finding that:

1. The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301; and
2. Accept the required findings and approve the attached resolution granting a design review exemption for the proposed exterior modifications to existing single-family

home located at 1227 Edwards Street in the Medium Density Residential zoning district.

[**Staff Report- 1227 Edwards St.](#)

5. PUBLIC HEARINGS

None.

6. SCHEDULED MATTERS

- 6.1. Consideration and proposed approval of a resolution determining that the FY 2022/23 Capital Improvement Program (CIP) is in conformance with the General Plan

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Prepared By: Martin Beltran, Management Analyst

Recommendation:

Adopt the attached resolution determining that Fiscal Year 2022/2023 Capital Improvement Program is in conformance with the General Plan.

[Staff Report- FY 2022/23 Capital Improvement Program \(CIP\)](#)

7. DEPARTMENT REPORTS

This is an opportunity for staff to report on or update the Commission on any relevant matters.

8. AGENDA FORCAST

Below is a link to a list of pending and upcoming projects which may be of interest to the community.

This is also an opportunity for the Commission as a whole to request items be placed on future agendas for discussion. These items should be consistent with, and work to implement adopted Council Goals.

A list of all current planning projects is available on our city website in the link below:

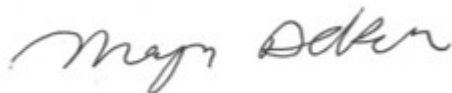
http://www.cityofsthelena.org/projects?term_node_tid_depth=21

Please contact the assigned project Planner for additional questions.

9. ADJOURNMENT

The next Regular Planning Commission meeting is scheduled for May 17, 2022 at 6:00 pm.

I do hereby certify that a copy of the foregoing agenda was posted on the City website on April 21, 2022.



Maya DeRosa, Planning & Building Director

Appeal. A person who is dissatisfied with a decision of the Planning Commission may appeal that decision to the City Council pursuant to Municipal Code Section 17.08.180, Appeal procedure. Actions of the Planning Commission will be listed on the City Council agenda the following Tuesday to give the City Council opportunity to review the Planning Commission's

decision. Absent of an appeal by the City Council or by a citizen, the appeal period will terminate two weeks after the Planning Commission hearing.

Special Assistance for the Disabled. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please call the City Clerk's Office (707) 967-2792. Notification 48 hours prior to the meeting will enable City to make reasonable arrangements to ensure accessibility to this meeting (28 CFR35.102-35.104 ADA Title II). However, City staff will attempt to assist at any time with accessibility. The City Clerk has equipment to assist those with a hearing impairment.

PUBLIC TESTIMONY PROCEDURES

Pursuant to the Government Code Section 54954.3, the public may address the Commission on each agenda item during the Commission's consideration of that item. Each speaker has the option to state his or her name for the record before testifying. Depending on the number of speakers or the interest of the item, the Planning Commission Chairman may also restrict, at his/her discretion, the speaker's time to three minutes. The Chairman may also restrict public comments if they become irrelevant to the agenda item or repetitious of prior comments. All persons interested may appear and be heard or submit written statements prior to the Planning Commission meeting. Please note that if you challenge the City's decision on any of these matters in court, you may be limited to raising only those issues you or someone else raised at the meeting or in written correspondence delivered to the City at, or prior to, the meeting.

CHALLENGING DECISIONS OF CITY ENTITIES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City of St. Helena is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision, including without limitation Government Code section 65009 applicable to many land use and zoning decisions, Government Code section 66499.37 applicable to the Subdivision Map Act, and Public Resources Code section 21167 applicable to the California Environmental Quality Act (CEQA). Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. Government Code section 65009 and 66499.37, and Public Resources Code section 21167, impose shorter limitations periods and requirements, including timely service in addition to filing.

If a person wishes to challenge the above actions in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of St. Helena, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Planning Commission regarding any item on this Agenda, after the posting of the Agenda,

will be available for public review in the Planning Department's Office located at 1480 Main Street, St. Helena, California, during normal business hours. In addition, such writings or documents will be made available on the City's web site at <http://cityofsthelena.org> and will be available for public review at the respective meeting.

THE CITY OF ST. HELENA ENCOURAGES ONLINE PUBLIC PARTICIPATION IN VIRTUAL PLANNING COMMISSION MEETINGS

St. Helena, CA– The City of St. Helena is committed to public participation in City government in a manner that is consistent with guidance provided by the Napa County Public Health Official and Governor Newsom's Executive Order N-25-20. These guidelines relate to social distancing, and are intended to protect everyone by limiting the spread of COVID-19 in our community. In adherence to these guidelines, the St. Helena Planning Commission will host a Virtual Planning Commission Meeting on Zoom; a free teleconferencing tool that enables users to watch and/or call into the meeting from their computers or phones. This meeting will be open to public and allows for live public comment. The meeting will also be recorded, livestreamed, and posted on the City's website after the adjournment of the meeting if technical difficulties occur: <https://sthelena.civicweb.net/Portal/>

The ZOOM web link, meeting ID, and phone number will be listed at the top of the Planning Commission Meeting Agenda. You will be required to enter the meeting ID, but there will be no password or participant ID.

How to Watch or Listen to Planning Commission Meetings:

1. Watch on Comcast Channel 28
2. Watch the livestreaming video on the City's website
3. Watch and Listen on Zoom.us by clicking on the link in the Planning Commission Agenda
4. Listen only by calling the Zoom number listed on the Planning Commission Agenda

Watch Planning Commission Meetings by Joining the Zoom Meeting:

1. By Computer, Tablet, or Smart Phone:

- a. Before joining the virtual Planning Commission Meeting, it is highly encouraged that you download the Zoom App. To sign up for your own free account, visit zoom.us/signup and enter your email address. You will receive an email from Zoom (no-reply@zoom.us). In this email, click Activate Account.
- b. If you are logged into your account, Enter the **Meeting ID** listed on the Planning Commission Agenda. If you have not created an account go to: <https://zoom.us/join> and enter the **Meeting ID**
- c. Select if you would like to connect audio and/or video and tap **Join Meeting**.
- d. For specific instructions for your device, go to: <https://support.zoom.us/hc/en-us/articles/201362193-Joining-a-Meeting>

1. Listen Only by Telephone:

- a. **Dial** the number listed on the Planning Commission Agenda.
- b. At the prompt, enter the **Meeting ID** provided on the top of the Planning Commission Meeting Agenda and **Press #. A participate ID is not required.**
- c. To disconnect from the meeting, hang up the phone.

Ways to Provide Public Comment:

While attending the virtual Planning Commission Meeting, the public will have the opportunity to provide live public comment during Public Forum and after each agenda item. When it is the appropriate time for public comment the Chair will verbally open public comment. At this time each individual is permitted 4 minutes to speak.

1. Send a Public Comment in by 4:00 PM Prior to the Meeting to: publiccomment@cityofsthelena.org

The easiest way to provide public comment is to email your public comment. Public comments may be emailed to publiccomment@cityofsthelena.org. Please include in the subject line "COMMENT TO PLANNING COMMISSION and the AGENDA ITEM". Any public comment is required to be submitted no later than 2 hours before the scheduled meeting and will be included as an attachment to the agenda. All public comments will be made publicly available and attached to the agenda item and will not be read out loud. All public comments that are received after 4:00 PM will be attached to the agenda the following day.

2. Provide Comment through Zoom meeting from a computer, tablet, or smart phone

This option allows the public to virtually attend the meeting as a muted 'attendee' with no video or screen sharing capabilities. You will be able to see and hear those participating in the meeting, but they will not be able to hear you until the host unmutes you.

If you wish to provide public comment during a specific agenda item or during public forum, you can use the "**raise hand**" feature located in the control panel at the bottom of your screen. The icon is a small blue hand. In Windows you can also use the Alt+Y keyboard shortcut to raise or lower your hand. In Mac you can also use the Option+Y keyboard shortcut to raise or lower your hand.

The host will be notified that you've raised your hand and you will be placed in a queue with all incoming requests.

When it is your turn to speak, you will be notified that the host has unmuted you. To be removed from the queue, just click the '**raise hand**' button again.

3. Call in to the ZOOM meeting from a cell phone or landline phone only

This option allows the member of the public with the opportunity to verbally participate in public comment.

If you wish to speak during public comment time dial ***9** on your telephone.

The host will be notified that you would like to speak and you will be placed in a queue with all incoming requests.

When it is your turn to speak, you will be notified that the host has unmuted you.
You may press ***9** again if you wish to be removed from the queue.

You will be notified at the end of your statement that you have been muted.

MINUTES
City of St. Helena
Planning Commission Meeting
Tuesday, April 19, 2022 @ 6:00 PM
Virtual Meeting

A complete video recording of this meeting, except for closed session, can be found at <https://sthelena.civicweb.net/Portal/> or by calling the City Clerk at (707) 967-2792. The Planning Commission video is the official record of the Planning Commission meeting.

Present: Chair John Ponte, Vice Chair Daniel Hale, Commissioner Autumn Anderson, and Commissioner Marika Rothfeld
Absent: Commissioner Rosaura Segura
Staff Present: Maya DeRosa, Planning & Building Director, Aaron Hecock, Senior Planner, and Xinia Gamero, Planning Commission Secretary

1. PLEDGE OF ALLEGIANCE

2. CALL TO ORDER AND ROLL CALL

3. PUBLIC FORUM:

No public comment received.

4. CONSENT ITEMS

4.1 Approval of Minutes: March 15, 2021

Commissioner Autumn Anderson moved to approve the minutes on the Consent Calendar. The motion was seconded by Vice-Chair Daniel Hale and on roll call carried by the following vote:

AYES: Daniel Hale, Autumn Anderson, John Ponte, and Marika Rothfeld

NOES: None

ABSENT: Rosaura Segura

ABSTAIN: None

RECUSE: None

5. PUBLIC HEARINGS

5.1 Request by Simon Bull for adoption of a resolution approving a use permit in order to permanently establish an art gallery in the Richie Building located at 1331 Main Street in the Central Business zoning district.

Prepared By: Aaron Hecock, Senior Planner

Chair Ponte opened the public comment.

Chair Ponte disclosed ex parte communication between himself and Mr. Armstrong who provided full support of the project as presented by staff.

Senior Planner Aaron Hecock reported on the item.

Applicant, Katherine Bull addressed the Planning Commission.

No public comment was received.

Chair Ponte closed the public hearing.

Commissioner Autumn Anderson moved to determine that the project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301; and accept the required findings and adopt the attached resolution granting use permit approval to establish an art gallery in the existing tenant space located at 1331 Main Street. The motion was seconded by Vice-Chair Daniel Hale and on roll call carried by the following vote:

AYES: Daniel Hale, Autumn Anderson, John Ponte, and Marika Rothfeld

NOES: None

ABSENT: Rosaura Segura

ABSTAIN: None

RECUSE: None

6. SCHEDULED MATTERS

None.

7. DEPARTMENT REPORTS

Planning and Building Director Maya DeRosa reported on the following:

- Hunter Project EIR- budget addendum to City Council in May, staff working on master responses and awaiting completion of sewer study.
- Zoning Code policy discussion related to the Parking Impact Overlay District- temporarily waive of in-lieu fees with no parking requirements but on-site parking must be maintained.
- Money from in-lieu fees parking fund to be used for a downtown parking study.
- Formula Businesses discussion at the City Council meeting next Tuesday.
- Housing Element- staff received administrative draft of Housing Needs Assessment.

8. AGENDA FORCAST

9. ADJOURNMENT

Chair Ponte adjourned the meeting at **6:32 p.m.**

The April 19, 2022 minutes were approved at the _____ Planning Commission meeting.

APPROVED:

ATTEST:

John Ponte, Planning Commission Chair

Maya DeRosa, AICP
Planning and Building Director



PLANNING COMMISSION REPORT

Planning Commission Meeting of May 3, 2022

FILE NUMBER: PL22-002

SUBJECT: Request by Jennifer Porembski for adoption of a resolution granting a design review exemption in order to make exterior modifications to the existing single-family home located at 1227 Edwards Street in the Medium Density Residential zoning district.

PREPARED BY: Aaron Hecock, Senior Planner

REVIEWED BY: Maya DeRosa, Planning & Building Director

APPROVED BY: Maya DeRosa, Planning & Building Director

APPLICATION FILED:02/07/22

ACCEPTED AS COMPLETE:03/04/22

LOCATION OF PROPERTY: 1227 Edwards Street

APN: 009-082-001

GENERAL PLAN/ZONING: Medium Density Residential (MR)

APPLICANT: Jennifer Porembski

PHONE: (707) 696-8636

BACKGROUND

This item has been recommended for consideration under the Consent Calendar

The following application has been reviewed by the Planning Department for compliance with Design Review regulations. The Planning Department is recommending that this project be found exempt from Design Review pursuant to Section 17.164.060 which states that whenever the city planner finds that a proposal raises no substantial design problems the planner shall place such an exemption recommendation on the Planning Commission's consent agenda.

On October 29, 2021, the applicant submitted a residential building permit application for a minor interior remodel along with several minor changes to the exterior including changing windows and doors as well as extending an existing porch. Upon review of the building permit application, the Planning Department notified the property owner that “the subject property is listed on the City of St. Helena’s Historic Resources Master List and the provided historic evaluation concluded that the building is still an eligible historic resource. As such, the proposed exterior modifications do not qualify for Administrative Design Review; the proposed changes must be approved through the Planning Commission Design Review process. Please either: 1. Eliminate exterior modifications and resubmit or 2. Apply for discretionary design review through the Planning Department.” After discussions with staff, the applicant subsequently submitted a design review exemption application on February 7, 2022.

PROJECT DESCRIPTION

The existing approximately 11,761 square foot (sf) parcel is currently developed with an approximately 3,818 sf (1,216 sf basement, 1,504 sf first floor, 1,098 sf second floor), 3-bedroom, 3-bathroom, historic home. The applicant is proposing to make interior changes on the first floor which consists of reconfiguring the kitchen, dining room, and living room in order to accommodate a new master bedroom, mudroom, and kitchen. As part of the renovation, the applicant has submitted a design review application in order to make minor changes to the exterior of the historic home including:

- Removing one exterior door and adding a window;
- Reducing the size of two windows;
- Replacing two sets of exterior doors and raising those headers;
- Extending the existing covered porch (to provide a landing for an existing exterior door); and
- Rebuilding the front and back steps to meet code

According to the applicant, the primary reason for the exterior modifications is to address safety concerns. The door that will be removed currently does not have an exterior landing; there is a drop of about 36”. Another door has a similar condition, which will be resolved by the porch extension. Each of these can be seen in the included site photos. The existing front and back steps are deteriorating and require replacement to meet code. The other exterior changes (adjusted window sizes) are necessary due to the interior renovation, particularly to provide privacy in the new Master Bathroom. No square footage will be added or removed as a part of this renovation. The area of work for the interior renovation will be 445 square feet, which occurs within the existing footprint of the first floor. No work will be done in the basement or on the second floor. The existing building height is approximately 30’ 1”. No landscaping, grading, fences, or other site work is proposed as a part of this project.

ANALYSIS**CEQA**

The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301, which exempts the minor alteration of existing private structures. The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA Section 15300.2. The project site is not located on or near an environmentally sensitive area, is not visible from a scenic highway, is not included on a hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts.

GENERAL PLAN

The subject property has a General Plan Land Use designation of Medium Density Residential (MDR). The MDR land use designation provides for single-family detached and attached homes, secondary residential units, and similar compatible uses. The MDR designation is the predominant residential designation occurring throughout large areas of the City and is intended to maintain a development pattern in higher density areas of the City that is consistent with historic development patterns exhibited by St. Helena's established neighborhoods. The 2040 St. Helena General Plan and 2015-2023 Housing Element Update Goals, Policies, and Eight-Year Action Plan include the following policies that are relevant to the proposed project:

- LU1.4 - In order to minimize and postpone the need for expansion of the Urban Limit Line, encourage infill development within currently developed areas.
- LU2.1 - Promote a mix of housing types and price ranges that are consistent with the Housing Element RHNA categories of housing affordability.
- LU2.2 - Encourage new residential development that is consistent in design, size, color, and floor area ratio (FAR) with the older residences in the neighborhood.
- CD3.1 - Limit building envelope sizes and require adequate side and rear set-backs to preserve the character of existing residential areas and to avoid over-built lots. Require future development to conform to the pattern and density of the neighboring areas. In order to complement existing town character and protect against incursion into vineyard agricultural areas.
- CD3.2 - Ensure that new residential designs contribute positively to existing neighborhoods by complementing character and incorporating design features, such as front porches, façade articulation and stepbacks.
- HE1.5 - Encourage innovative housing types and designs.
- HE2.6 - Promote a balance of types of housing throughout the whole community.

Staff Response: Staff believes that the proposed project is consistent with the General Plan policies listed above in that maintenance and rehabilitation of the existing historical home keeps a long-term housing opportunity viable within the City and also helps keep the City's architectural past alive for future generations to see and appreciate.

ZONING

Consistent with the General Plan land use designation described above, the subject property has a zoning designation of Medium Density Residential (MR). The MR zoning designation allows for single-family detached homes, accessory dwelling units, limited agricultural use and other compatible uses. The remodeling of an existing single-family home is a permitted use in the MR district however because the home is listed on the Historic Resources Master List it is subject to design review approval. The property and home's compliance with the development standards prescribed by SHMC §17.40.060 is summarized below:

STANDARD	MAXIMUM	EXISTING	PROPOSED
Lot Coverage	45%	17.8%	19.1%
Height of Main Building	30 feet	30' 1"	No change
Building Width	60%	58%	No Change
SIZE/SETBACKS	MINIMUM	EXISTING	PROPOSED
Lot Area	7,000 sf	11,761 sf	No change
Lot Width	70 feet	77.5 feet*	No change
Front Setback (Hunt)**	30 feet	± 70 feet	No change
Side Setback (Edwards)	30 feet	13' 8"	No change
Side yard Setback	15 feet	15 feet	No change
Rear Setback	30 feet	23' 6"***	No change
Density	5.1 du/acre = 1 unit	1 unit	1 unit (no change)

**The existing parcel is approximately 65 feet at the front property line and approximately 90 feet at the rear property line for an average width of 77.5 feet. No changes are being proposed to the parcel configuration.*

***While the address of the home is on Edwards Street, the home and front door actually front Hunt Avenue. The SHMC states that "in the case of a corner lot, the front line is the shorter of any two adjacent street lot lines", which in this case is also Hunt Avenue.*

****The existing rear staircase extends approximately 5 feet farther into the rear setback than the existing house.*

As far as the Floor Area Ratio (F.A.R.) is concerned, a 11,761-sf parcel has a maximum F.A.R. of .292. This would allow up to approximately 3,434-sf of floor area (excluding any applicable F.A.R. exemptions). As detailed below, the home as proposed has a F.A.R. of .221 which is below maximum allowed on the site.

EXISTING FLOOR AREA (NO CHANGE):

Basement (exempt)*	1,216 SF
1st Floor	1,504 SF

2nd Floor 1,098 SF

TOTAL 2,602 SF

FLOOR AREA RATIO: 2,602 / 11,761 = .221

**Per SHMC Section 17.40.070(C), a non-habitable basement is exempt from FAR limitations if it meets the following definition: any floor level below the first story in a building in which the finished floor level directly above is less than four feet above finished grade on all sides. The existing home's basement ceiling is 2' 10" above grade making the average grade to finished first floor 3' 7".*

Staff Response: While the existing home has non-conforming setbacks on two sides, the home was originally constructed in the 1800's long before our existing standards were in place and is permitted to remain in its non-conforming condition. Furthermore, only minor modifications are being made to the exterior of the home and no new square footage is being added.

HISTORIC RESOURCES

According to the historical evaluation prepared by Brunzell Historical dated July 17, 2021, and attached to this report, the existing home was likely constructed sometime between 1870 and 1886. The home is listed on the City's Historical Resources Master List.

Staff Response: As described in the attached historical evaluation, available materials demonstrate that substantial alterations have been performed over time. The property nevertheless retains sufficient integrity to qualify as a historical resource. The current project will not affect the historic character of the property; character-defining features will be retained and preserved. The proposed porch addition is modest in size and scope; it will not destroy historic materials, features, and spatial relationships that characterize the property and is compatible with historic materials, features, size, scale and proportion, and massing. For these reasons, the proposed project will not negatively impact the historic integrity of the existing home.

WATER

Chapter 13.12.030 of the SHMC requires mandatory water efficiency measures and water demand offset requirements for new construction. Among these provisions is the requirement that any "new development" (i.e. construction that would introduce any freestanding building that contains water-using fixtures, any floor area additions to existing nonresidential structures, or any residential additions or remodeling that increases the number of independent living units) offset new water demand by an amount equal to the new demand placed on the city water system (i.e., it must be water neutral). The offset must be clearly demonstrated to the satisfaction of the Public Works Department.

Staff Response: A Water Use Analysis prepared by Zeitgeist Sonoma dated January 31, 2022 and attached to this report concluded that the proposed project would result in a reduction of water use on-site. The proposed home would use less water due to the

required use of modern water efficient fixtures and appliances. The water neutrality requirement has been demonstrated to the satisfaction of the Public Works Department and conditions of approval have been provided by them.

PARKING

SHMC Section 17.124.030 "Minimum On-site Parking Requirements", requires that residential uses provide two parking spaces for the main dwelling unit, one of which shall be contained within a garage or carport.

Staff Response: As shown on the attached site plan and property photos, there is no covered parking onsite. The existing historic home was likely constructed between 1870 and 1886; long before current code requirements for covered parking and is permitted to remain in its existing legal non-conforming condition as it relates to covered parking.

DESIGN REVIEW

SHMC Section 17.164.050 requires design review approval for exterior modifications to designated historic structures. The purpose of design review is to, among other things, promote the qualities that bring value to the community and foster attractiveness and functional utility of the community as a place to live and work. The Planning Commission must find that the project takes reasonable account of the design criteria prescribed in SHMC Section 17.164.030 (listed below) in review of this application:

1. Consistency and compatibility with applicable elements of the general plan;
2. Compatibility of design with the immediate environment of the site;
3. Relationship of the design to the site;
4. Determination that the design is compatible in areas considered by the board as having a unified design or historical character;
5. Whether the design promotes harmonious transition in scale and character in areas between different designated land uses;
6. Compatibility with future construction both on and off the site;
7. Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;
8. Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;
9. Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;
10. Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;
11. Whether natural features and vegetation are appropriately preserved and integrated with the project;
12. Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structures and functions;
13. Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors,

create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site; and

14. Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.

Staff Response: The proposed modifications to the existing historical home are minor in nature and would not negatively impact the architectural or historical integrity of home. No square footage is being added and no other changes are being made to the property. Additionally, the rehabilitation and maintenance being carried out by the homeowners will help keep this home livable and part of St. Helena's visible architectural history for years to come. For these reasons, staff believes that the proposed project is consistent with the required design review criteria listed above. Per SHMC Section 17.164.040(C), only the proponent's failure to take reasonable account of the items discussed in Sections 17.164.010 through 17.164.030 shall justify the Commission's disapproving a proposal solely on the basis of design.

ISSUES

Staff has not identified any outstanding issues that require additional discussion in relation to this application.

CORRESPONDENCE

At the time of packet distribution staff had not received any correspondence related to this application.

STAFF RECOMMENDATION

For the reasons described above, staff recommends that the Planning Commission adopt a resolution finding that:

1. The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301; and
2. Accept the required findings and approve the attached resolution granting a design review exemption for the proposed exterior modifications to existing single-family home located at 1227 Edwards Street in the Medium Density Residential zoning district.

ATTACHMENTS

[**Resolution](#)

[APN Map](#)

[Aerial Image](#)

[Site Photos](#)

[Plan Set](#)

[Applicant Statement](#)

[Historic Evaluation](#)

[Water Use Analysis](#)

**CITY OF ST. HELENA PLANNING COMMISSION
RESOLUTION NO.
GRANTING DESIGN REVIEW EXEMPTION APPROVAL TO
1227 EDWARDS STREET (File No. PL22-002)**

PROPERTY OWNER: Jennifer & Mark Porembski

APN: 009-082-001

Recitals

1. On February 7, 2022, Jennifer and Mark Porembski submitted an application for a design review exemption in order to make exterior modifications to the existing historic home located at 1227 Edwards Street in the Medium Density Residential District; and
2. The Planning Commission of the City of St. Helena, State of California, considered the project and staff report on May 3, 2022; and
3. Now, therefore let it be found that, the Planning Commission approves a Design Review Exemption thereby authorizing the modifications contained described in the staff report and the reviewed plans based on the findings below and subject to the conditions of approval enumerated herein.

Resolution

- A. In making the findings in this Resolution, the Planning Commission relied upon and hereby incorporates by reference all of the documents referenced in this Resolution and the associated staff reports, City files for this matter, correspondence, presentations and other materials.
- B. The Planning Commission hereby finds that the project is exempt from the requirements of CEQA pursuant to Section 15301, which exempts the minor alteration of existing private structures.
- C. In accordance with the design review criteria identified in Municipal Code Section 17.164.030, the Planning Commission finds that the project demonstrates the following:
 1. *Consistency and compatibility with applicable elements of the general plan in that the proposed exterior modifications are consistent with the intent of applicable General Plan policies pertaining to development in the Medium Density Residential District.*
 2. *Compatibility of design with the immediate environment of the site in that the proposed exterior modifications have been designed by professionals to suite the site and the immediately surrounding area.*
 3. *Relationship of the design to the site is found to be consistent in that the project has been designed to be compatible with the site and the surrounding area.*
 4. *That the design is compatible in areas considered by the board as having a unified design or historical character in that the project has been designed to retain the historical integrity of the structure and to be compatible with the site and the surrounding area.*

5. *That the design promotes harmonious transition in scale and character in areas between different designated land uses in that the project consists of minor exterior changes to an existing single-family home on a residentially zoned property.*
6. *Compatibility with future construction both on and off the site in that the proposed site improvements will be compatible with existing and future construction in the immediate vicinity.*
7. *That the architectural design of structures and their materials and colors are appropriate to the function of the project in that the project has been professionally designed to suit the site and its surroundings.*
8. *That the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community in that the improvements have been designed to be compatible with the site and its surroundings.*
9. *That the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures in that landscaping and open space will enhance the overall appearance of the property and general vicinity.*
10. *That access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles in that access to the site will remain via Edwards Street and Hunt Avenue.*
11. *That natural features are appropriately preserved and integrated with the project in that the project has been designed to be compatible with the site and its surroundings.*
12. *That the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions in that the proposed materials are consistent and compatible with surrounding design.*
13. *That the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site in that the project consists of minor exterior modifications to an existing historic home.*
14. *That sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials in that project related construction is required to meet all California Building Codes and City of St. Helena development standards.*

Planning Department Conditions of Approval

- D. The Planning Commission approves a design review exemption for the above-described project with the following conditions of approval. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.

1. The project shall be in conformance with all city ordinances, rules, regulations and policies in effect at the time of issuance of a building permit.
2. This approval shall be vested within one (1) year from the date of final action. A building permit for the use allowed under this approval shall have been submitted within one (1) year from the effective date of this action or the approval shall expire, provided however that the approval may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.130, Extension of Permits and Approvals.
3. Any request for an extension of this approval shall be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.
4. The approvals shall not become effective until fourteen (14) calendar days after approval, providing that the action is not appealed by the City Council or any other interested party within that 14-day period.
5. All required fees, including planning fees, development impact fees, residential in-lieu housing fees, building fees, toilet retrofit fees, and St. Helena Unified School District fees shall be paid prior to issuance of a building permit. Fees shall be those in effect at the time of the issuance of the building permit.
6. Pursuant to City Council Resolution 2003-65, the owner and applicant are informed of the following:

In recognition of the need for additional affordable housing, and to mitigate the effects of this development on the supply and demand of affordable housing, the permittee shall be subject to a Housing Impact Fee, an inclusionary requirement, an in-lieu fee, and/or similar fair and appropriate mechanisms, to provide funds for or to develop additional affordable housing. This fee must be paid prior to a certificate of occupancy being issued.
7. Compliance with all permit conditions shall occur in accordance with specific regulations but in all cases no later than prior to occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
8. In any action or proceeding to attack, challenge, invalidate, set aside, void or annul the City's approval of applicant's Project, in whole or in part, applicant shall defend, at its own expense and without any cost to the City, and with counsel acceptable to the City, and shall fully and completely indemnify and hold the City, its agents, officers, and employees harmless from and against any and all claims, causes of action, damages, costs, attorney's fees and liability of any kind, so long as the City reasonably promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
9. Provided they are in general compliance with this approval, minor modifications may be approved by the Planning Director.
10. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The property owners or their designee shall be responsible for meeting with the Building Official, Fire Inspector and or Public Works Department to review

compliance with Building Codes, Fire Codes and specific Public Works Standards including fire protection systems and any applicable accessibility standards of Title 24.

11. Construction shall be in compliance with plans submitted and reviewed by the Planning Commission on May 3, 2022, except as modified herein.
12. Alterations and additions to the home shall be in compliance with the recommendations made in the Historical Evaluation prepared by Brunzell Historical dated July 17, 2021.
13. Replacement of historic materials shall be done where original material has been broken, lost or weathered to an extent making repair infeasible. Replacement features shall match the old in design, color, texture, visual qualities, and material.
14. Exterior lighting shall be directed or shielded to prevent glare onto the public roadway or adjacent properties.
15. To reduce disturbance of residents in the project vicinity, construction activities which generate noise that can be heard at the property line of any parcel of real property within the City limits shall be limited to 8:00 a.m. to 5:00 p.m. Monday through Saturday. Delivery of materials/equipment and cleaning and servicing of machines/equipment shall be limited to 7:00 a.m. to 6:00 p.m. Exceptions to these time restrictions may be granted by the Public Works Director for one of the following reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The City Engineer must be notified and give approval in advance of such work. No construction activities shall occur on Sundays or federal or local holidays that generate noise that can be heard at the property line of any parcel of real property within the City limits.

Public Works Department Conditions of Approval

16. The Applicant shall be responsible for all City plan check and inspection costs.
17. All improvements shall be designed in accordance with the City of St. Helena's Construction Standards. Approvals depicting improvements that do not conform to the City Standards do not constitute approval of an exceptions to this requirement unless explicitly authorized herein or in another City resolution.
18. An Encroachment Permit shall be required for any work performed in the public right of way.
19. The Applicant shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period, as is found necessary by the Public Works Director.
20. If any hazardous material is encountered during the construction of this project, all work shall be immediately stopped and the Fire Department, Napa County Department of Environmental Services or other designated agency, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.

21. All streets, curbs, gutters, sidewalks, or other public facilities damaged in the course of construction associated with this Project shall be the responsibility of the Applicant and shall be repaired to the satisfaction of the City at the Applicant's expense.
22. During construction, dust control must be maintained to the City's satisfaction.

Building Department Conditions of Approval

23. Prior to any proposed onsite demolition, tenant improvements, construction and/or change of occupancy, an approved demolition and/or building permit shall be issued by the City of St. Helena Building Department.
24. The applicant will be required to comply with the codes adopted at the time the applicant applies for a building permit. At this time the City of St. Helena utilizes the 2019 Title 24 codes.
25. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.
26. The applicant shall provide a construction waste management plan with the building permit application.
27. The plans for construction shall include a checklist for compliance with the California Green Buildings Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.
28. When submitting plans, the title page shall include all information referenced on the building permit application checklist Title Page requirements.
29. Building Permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application. Any deferral of the required submittal items shall have prior approval of the Building Official however deferral of fire sprinkler design is not allowed.

Fire Department Conditions of Approval

30. Plans submitted for building permit shall exhibit compliance with the current St. Helena Fire Code, as adopted and codified in St. Helena Municipal Code Chapter 15.36.
31. One hour minimum fire-resistant construction on all exterior walls within 10' of property boundary is required.

I HEREBY CERTIFY that the foregoing design review exemption application was duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on May 3, 2022 by the following roll call vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

APPROVED:

ATTEST:

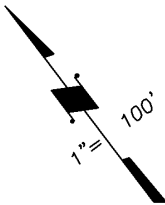
John Ponte
Chair, Planning Commission

Maya DeRosa, AICP
Planning and Building Director

POR. RANCHO CARNE HUMANA
R.M. Bk. D of Patents, Pg. 127

Tax Area Code
3002

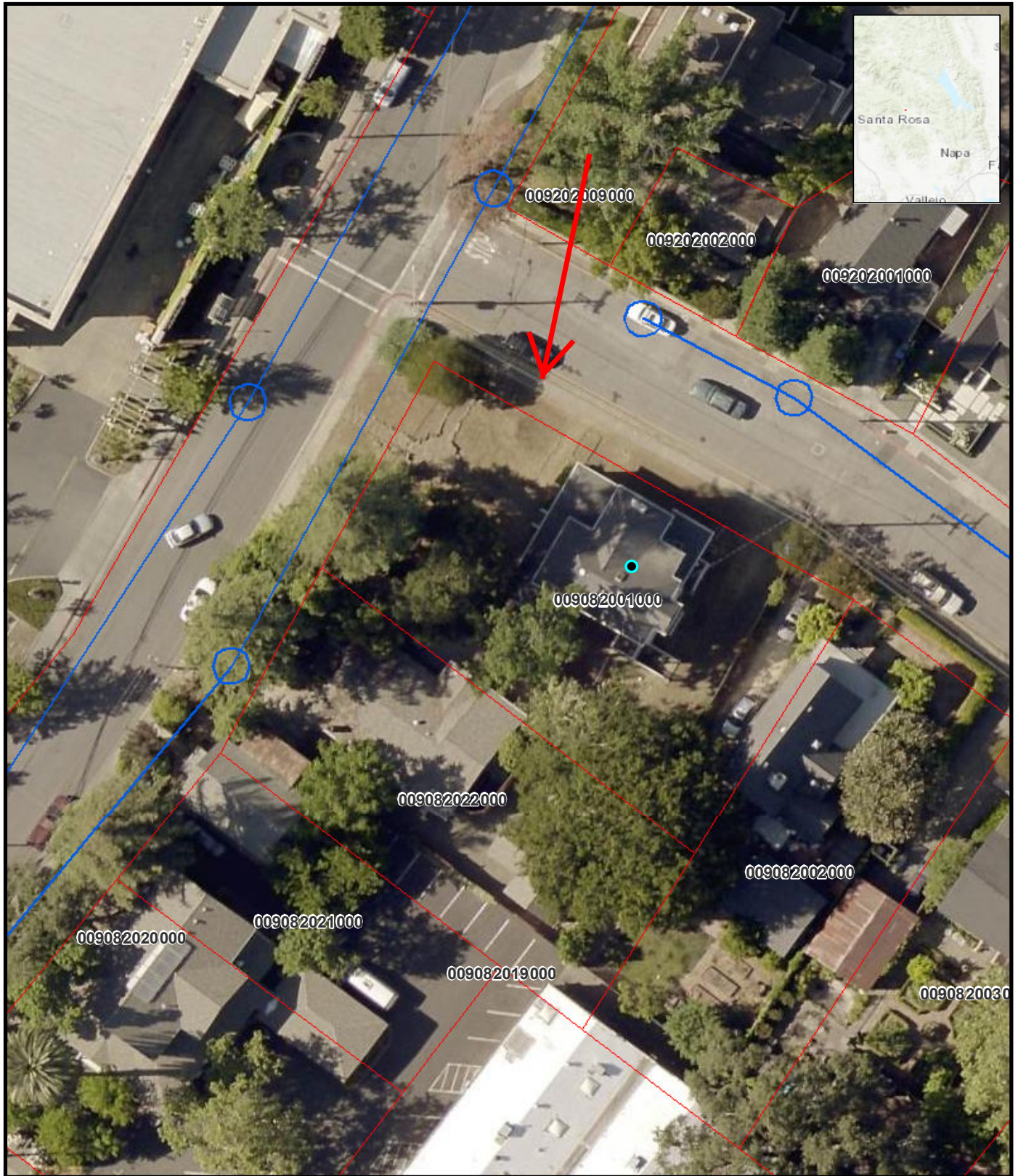
9-08



NOTE: This Map Was Prepared For Assessment Purposes Only , No Liability Is Assumed For The Accuracy Of The Data Delineated Hereon.

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	10-26-89
082-20 RS	4-17-02
081-08 & 09 RS	2-1-06
REVISION	DATE

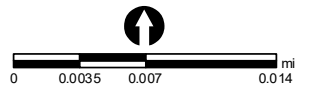
CITY OF ST. HELENA
Assessor's Map Bk. 9 -Pg.08
County of Napa, Calif.
1954-60-61



County of Napa | ITS Dept

1227 Edwards

Printed On: 3/29/2022



Disclaimer: This map was prepared for informational purposes only. No liability is assumed for the accuracy of the data delineated hereon.



1227 Edwards Street | West Elevation | Front of House, viewed from Hunt Avenue

Proposed work: front steps to be rebuilt.

Z ZEITGEIST SONOMA
architecture + interior design
723 Humboldt Street, Santa Rosa, California 95404
www.zeitgeistsonoma.com

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1227 Edwards Street | North Elevation | Side of House, viewed from Edwards Street

Proposed work: one window to be reduced in size (see elevations).



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1227 Edwards Street | Northeast Corner | Back of house, viewed from Edwards Street

Proposed work: one window to be reduced in size (see elevations). Back steps to be rebuilt.



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1227 Edwards Street | Southeast Corner | Side of house, viewed from backyard

Proposed work: remove single door with no landing, and add window (see elevations).
Replace French doors and raise headers. Extend porch to provide landing for French doors.



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SITE PLAN GENERAL NOTES

1. THIS IS NOT A RECORD OF SURVEY.
2. SEE A-0.2 FOR ABBREVIATIONS, GENERAL NOTES, AND CALGREEN STANDARDS.
3. NO SITEWORK, GRADING, OR LANDSCAPING WORK IS PROPOSED IN THIS SUBMITTAL.
4. SEPTIC/SEWER WORK IS NOT A PART OF THIS SUBMITTAL.
5. FIELD-VERIFY ALL CONDITIONS PERTAINING TO THE SCOPE OF THIS PROJECT, AND NOTIFY DESIGNER AND / OR ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF THE WORK.
6. ALL FIRE SAFETY REQUIREMENTS ARE TO BE ADDRESSED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. ALL CHANGES TO THESE PLANS ARE TO BE APPROVED BY THE DESIGNER PRIOR TO THE COMMENCEMENT OF THE WORK.

SITE PLAN KEYNOTES

- ① EXISTING DRIVEWAY
- ② EXISTING SIDEWALK
- ③ EXISTING COVERED PORCH
- ④ AREA OF COVERED PORCH ADDITION
- ⑤ EXISTING FENCE
- ⑥ EXISTING OVERHEAD POWER LINE
- ⑦ EXISTING 200A ELECTRICAL PANEL
- ⑧ EXISTING GAS METER
- ⑨ EXISTING AC CONDENSER
- ⑩ WATER METER
- ⑪ (E) STEPS TO BE REPLACED
- ⑫ APPROX. PATH OF (E) WATER LATERAL (VIF)
- ⑬ APPROX. PATH OF (E) SEWER LATERAL (VIF)

SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK/EASEMENT
- FENCE
- OVERHEAD ELEC.
- UNDERGROUND
- EXISTING TREE
- AREA OF ADDITION

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SONOMA

Porembski
Residence
1227 Edwards St.
St. Helena, CA

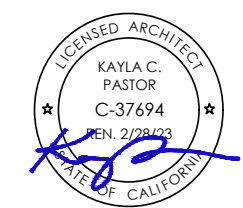
Issues + Revisions
DESIGN REVIEW
1-25-2022

PRELIMINARY!
NOT FOR
CONSTRUCTION

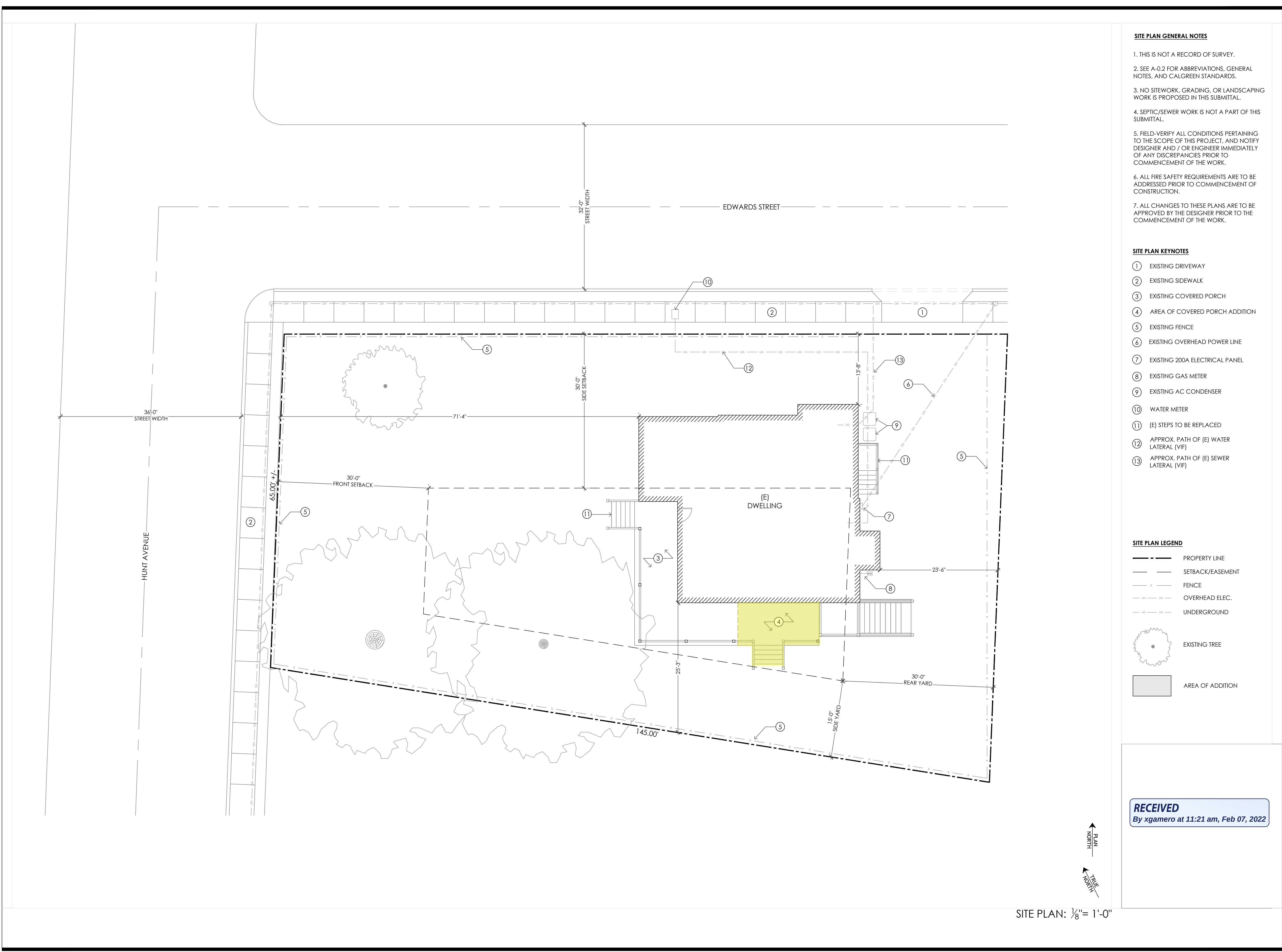
AP#: 009-082-001

PARCEL PLAN &
SITE PLAN

January 25, 2022
Scale: As noted
Drawn by: KP



A-1.1



PLAN
NORTH
TRUE
NORTH

SITE PLAN: 1/8" = 1'-0"

EXISTING/DEMO PLAN GENERAL NOTES

1. SEE A-0.2 FOR ABBREVIATIONS, GENERAL NOTES, AND CALGREEN STANDARDS.

2. SEE SHEET A-2.2 FOR PROPOSED WORK.

3. ALL (E) FLOOR FINISHES TO REMAIN U.N.O. REPAIR WHERE NEEDED TO MATCH EXISTING.

4. SEE A-2.3 FOR PROPOSED LIGHTING LAYOUT AND REMOVE EXISTING WHERE NEW IS SHOWN.

5. DIVERT A MINIMUM OF 50% OF WASTE TO RE-CYCLE. RE-USE. CONSULT WITH OWNER REGARDING RE-USE OF REMOVED MATERIALS / ITEMS.

6. DIVERT 100% OF CONCRETE AND ASPHALT AND AT LEAST 65% OF ALL OTHER CONSTRUCTION WASTE OUT OF LANDFILL. BUILDER MUST SUBMIT PRE-CONSTRUCTION DIVERSION PLAN AND POST-CONSTRUCTION DOCUMENTATION OF RESULTS TABULATED IN TONS OR CUBIC YARDS OF ALL DEBRIS REMOVED FROM SITE.

7. EXISTING DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS TO REMAIN SHALL BE COVERED DURING DEMOLITION AND CONSTRUCTION.

EXISTING/DEMO PLAN KEYNOTES
NOT ALL KEYNOTES MAY BE USED ON ALL SHEETS

① EQUIPMENT TO REMAIN

② REMOVE (E) GUARD RAIL FOR COVERED PORCH EXTENSION

③ (N) OPENING FOR WINDOW/DOOR

④ REMOVE WINDOW/DOOR AND CLOSE IN EXISTING OPENING

⑤ WINDOW/DOOR TO BE REPLACED, OPENING TO BE REFRAMED; SEE WINDOW AND DOOR SCHEDULES

⑥ REMOVE EXISTING DOOR AND ENLARGE OPENING

⑦ REMOVE (E) CABINERY, FIXTURES, AND FINISHES

⑧ REMOVE (E) CHASE

⑨ REPLACE OR REUSE (E) DOOR

⑩ NO WORK ON THIS LEVEL

⑪ REMOVE HEARTH

⑫ (E) ROOF; SEE A-2.4 FOR ROOF PLAN

⑬ PROPOSED ROOF OVER COVERED PORCH; SEE A-2.4 FOR ROOF PLAN

⑭ (E) STAIRS; NO WORK

⑮ (E) ROOF LINE DASHED ABOVE, TYP.

⑯ REPLACE (E) STEPS AND RAILING

⑰ (E) PORCH

⑱ (E) GAS FIREPLACE, NO WORK

⑲ NEW CHASE FOR RANGE HOOD VENT FROM KITCHEN BELOW. LOCATE CHASE IN CORNER OF CLOSET OR VENT THROUGH EAST EXTERIOR WALL IF FEASIBLE. V.I.F.

⑳ (E) SKYLIGHT

㉑ (E) 24" x 48" ATTIC ACCESS

㉒ (E) ELECTRIC CLOTHES DRYER

㉓ (E) GAS FAU IN ATTIC ABOVE (APPROXIMATE LOCATION)

LEGEND

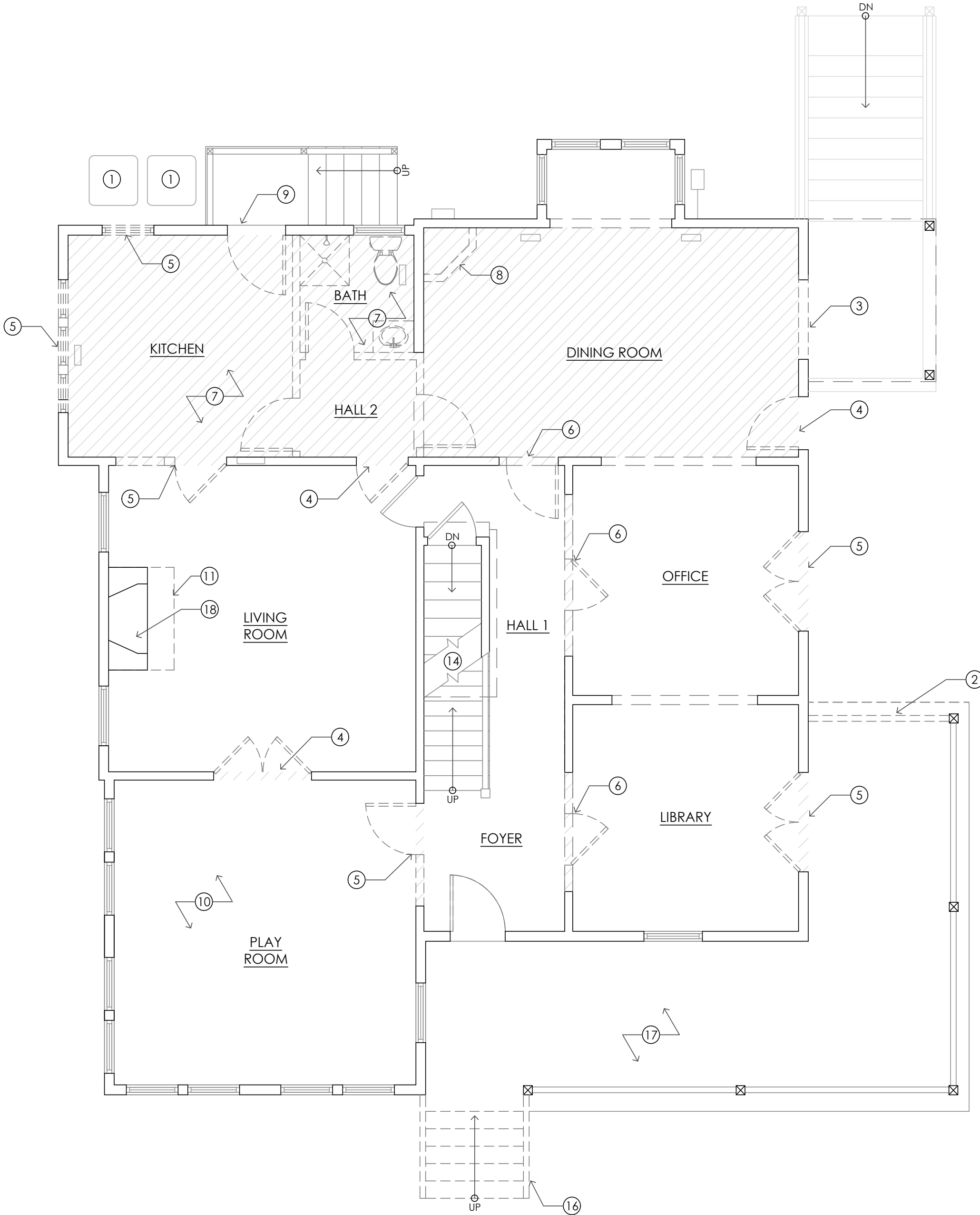
— EXISTING WALL

- - - WALL TO BE DEMOLISHED

- - - BEAM/SOFFIT/SKYLIGHT ABOVE

▨ AREA OF WORK

▨ ROOF SHINGLE



PLAN NORTH
TRUE NORTH

DEMOLITION FLOOR PLAN: 1/4"= 1'-0"

RECEIVED
By xgamero at 11:21 am, Feb 07, 2022

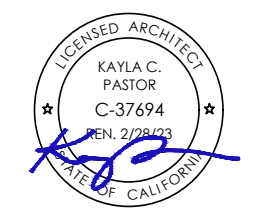
ZEITGEIST
SONOMA

**Porembski
Residence**
1227 Edwards St.
St. Helena, CA

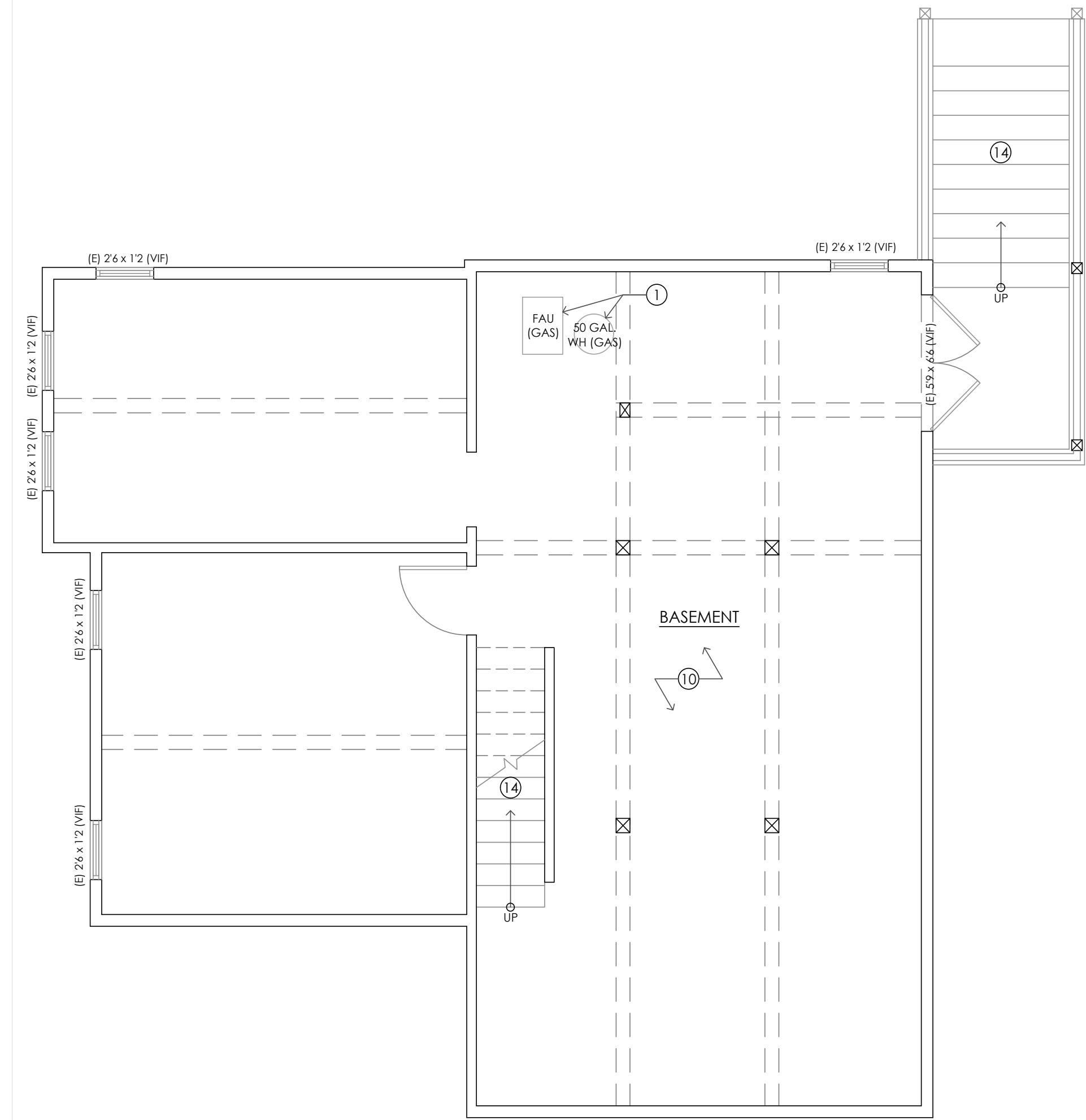
Issues + Revisions
DESIGN REVIEW
1-25-2022
PRELIMINARY!
NOT FOR
CONSTRUCTION
APP: 009-082-001

**EXISTING/DEMOLITION
FLOOR PLAN: MAIN FLOOR**

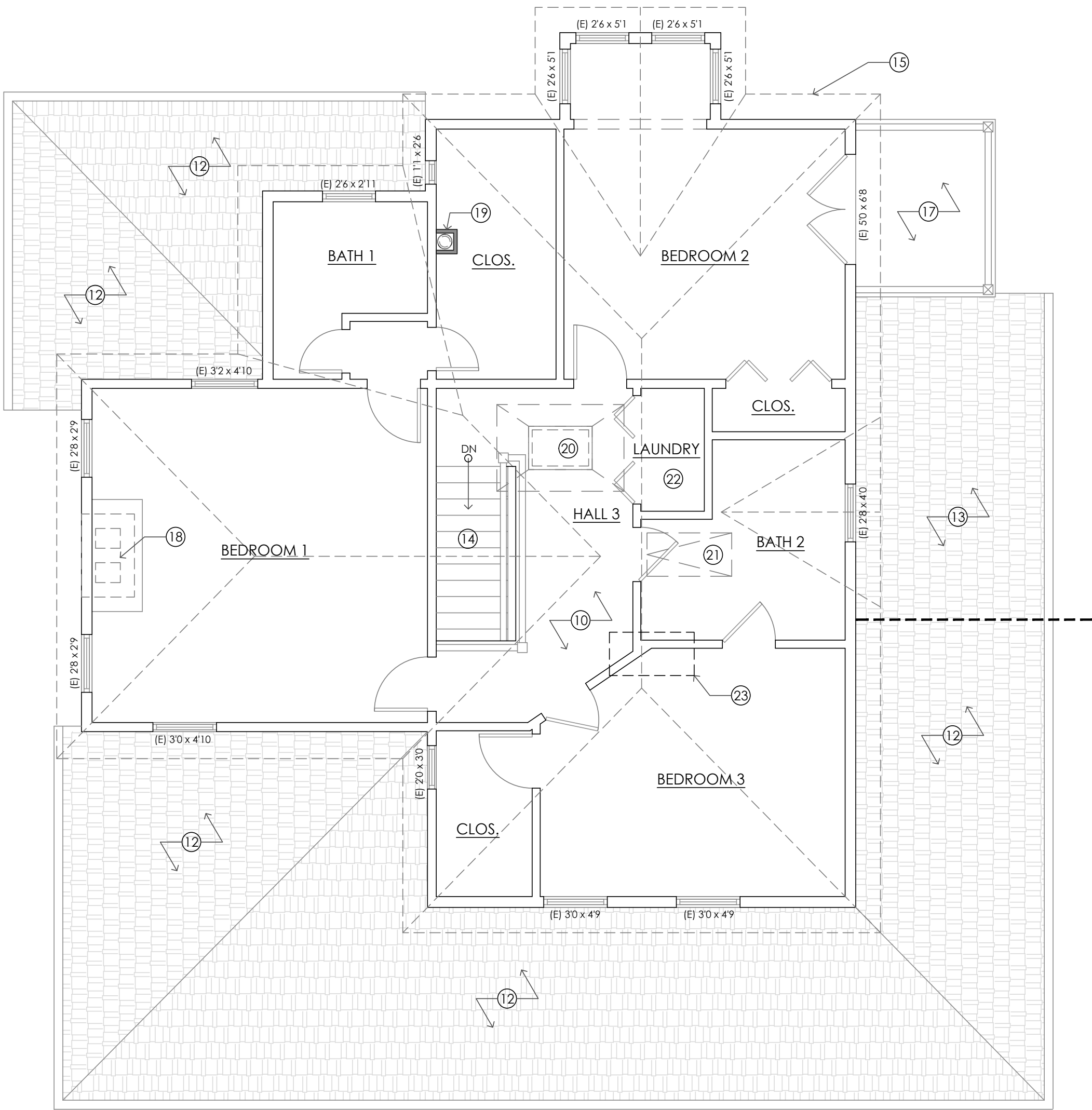
January 25, 2022
Scale: As noted
Drawn by: KP



A-2.0



BASEMENT FLOOR PLAN: 1/4"= 1'-0"



SECOND FLOOR PLAN: 1/4"= 1'-0"

- EXISTING/DEMO PLAN GENERAL NOTES**
1. SEE A-0.2 FOR ABBREVIATIONS, GENERAL NOTES, AND CALGREEN STANDARDS.
 2. SEE SHEET A-2.2 FOR PROPOSED WORK.
 3. ALL (E) FLOOR FINISHES TO REMAIN U.N.O. REPAIR WHERE NEEDED TO MATCH EXISTING.
 4. SEE A-2.3 FOR PROPOSED LIGHTING LAYOUT AND REMOVE EXISTING WHERE NEW IS SHOWN.
 5. DIVERT A MINIMUM OF 50% OF WASTE TO RE-CYCLE, RE-USE. CONSULT WITH OWNER REGARDING RE-USE OF REMOVED MATERIALS / ITEMS.
 6. DIVERT 100% OF CONCRETE AND ASPHALT AND AT LEAST 65% OF ALL OTHER CONSTRUCTION WASTE OUT OF LANDFILL. BUILDER MUST SUBMIT PRE-CONSTRUCTION DIVERSION PLAN AND POST-CONSTRUCTION DOCUMENTATION OF RESULTS TABULATED IN TONS OR CUBIC YARDS OF ALL DEBRIS REMOVED FROM SITE.
 7. EXISTING DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS TO REMAIN SHALL BE COVERED DURING DEMOLITION AND CONSTRUCTION.

- EXISTING/DEMO PLAN KEYNOTES**
NOT ALL KEYNOTES MAY BE USED ON ALL SHEETS
- ① EQUIPMENT TO REMAIN
 - ② REMOVE (E) GUARD RAIL FOR COVERED PORCH EXTENSION
 - ③ (N) OPENING FOR WINDOW/DOOR
 - ④ REMOVE WINDOW/DOOR AND CLOSE IN EXISTING OPENING
 - ⑤ WINDOW/DOOR TO BE REPLACED, OPENING TO BE REFRAMED; SEE WINDOW AND DOOR SCHEDULES
 - ⑥ REMOVE EXISTING DOOR AND ENLARGE OPENING
 - ⑦ REMOVE (E) CABINERY, FIXTURES, AND FINISHES
 - ⑧ REMOVE (E) CHASE
 - ⑨ REPLACE OR REUSE (E) DOOR
 - ⑩ NO WORK ON THIS LEVEL
 - ⑪ REMOVE HEARTH
 - ⑫ (E) ROOF; SEE A-2.4 FOR ROOF PLAN
 - ⑬ PROPOSED ROOF OVER COVERED PORCH; SEE A-2.4 FOR ROOF PLAN
 - ⑭ (E) STAIRS; NO WORK
 - ⑮ (E) ROOF LINE DASHED ABOVE, TYP.
 - ⑯ REPLACE (E) STEPS AND RAILING
 - ⑰ (E) PORCH
 - ⑱ (E) GAS FIREPLACE, NO WORK
 - ⑲ NEW CHASE FOR RANGE HOOD VENT FROM KITCHEN BELOW. LOCATE CHASE IN CORNER OF CLOSET OR VENT THROUGH EAST EXTERIOR WALL IF FEASIBLE. V.I.F.
 - ⑳ (E) SKYLIGHT
 - ㉑ (E) 24" x 48" ATTIC ACCESS
 - ㉒ (E) ELECTRIC CLOTHES DRYER
 - ㉓ (E) GAS FAU IN ATTIC ABOVE (APPROXIMATE LOCATION)

- LEGEND**
- EXISTING WALL
 - - - - WALL TO BE DEMOLISHED
 - - - - BEAM/SOFFIT/SKYLIGHT ABOVE
 - ▨ AREA OF WORK
 - ▨ ROOF SHINGLE

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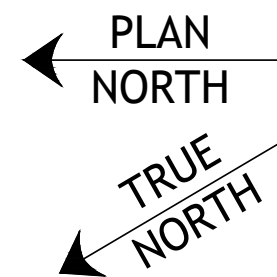
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1-25-2022**
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AP#: 009-082-001

EXISTING FLOOR PLAN BASEMENT + SECOND FLOOR

January 25, 2022
Scale: As noted
Drawn by: KP



A-2.1

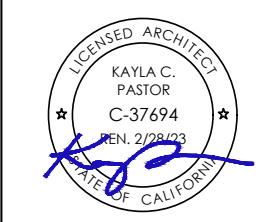


 EXISTING WALL TO REMAIN
 NEW WALL
 BEAM/SOFFIT/SKYLIGHT ABOVE
 WINDOW KEY, SEE WINDOW SCHEDULE
 DOOR KEY, SEE DOOR SCHEDULE
 (E) ELECTRICAL PANEL
 (E) GAS METER

A-2.2

PROPOSED ROOF PLAN

January 25, 2022
Scale: As noted
Drawn by: KP



A-2.4

ROOF DRAINAGE PLAN GENERAL NOTES

1. SEE SHEET A-0.2 FOR ABBREVIATIONS, GENERAL NOTES, AND CALGREEN STANDARDS.
2. SEE SHEET A-1.1 FOR SITE INFORMATION.
3. ALL ELEMENTS EXISTING UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS SHOWN TO FACE OF STRUCTURE U.N.O.
5. MATCH EXISTING EXTERIOR FINISHES.
6. ROOF VENTING SHALL HAVE INTEGRAL INSECT SCREENING. A MIN. 2" SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING AT VENT LOCATIONS.
7. VERIFY ALL EXISTING ROOF SLOPES IN FIELD.

ROOF DRAINAGE PLAN KEYNOTES

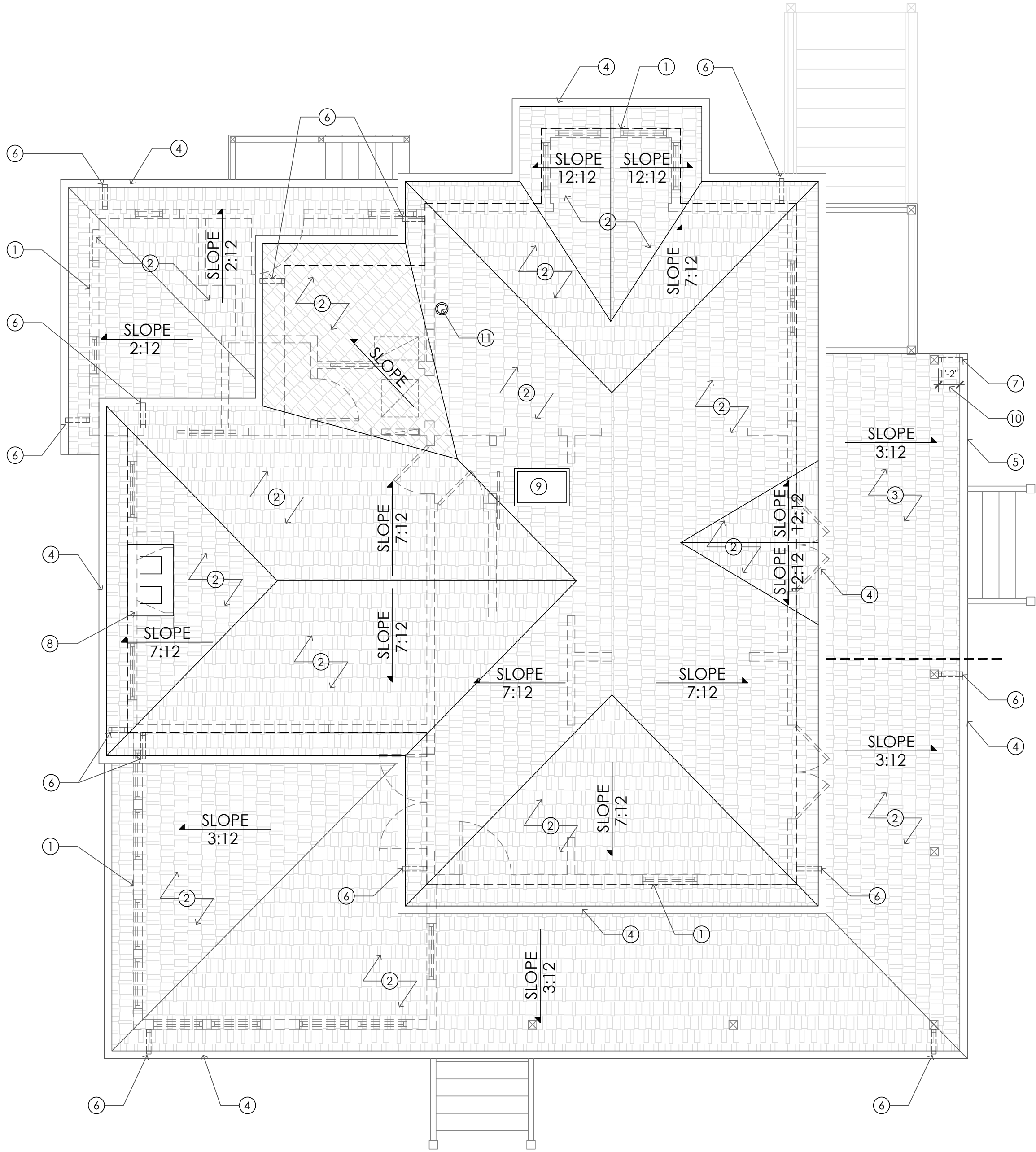
NOT ALL KEYNOTES MAY BE USED ON ALL SHEETS

- ① (E) WALLS BELOW, TYP.
- ② (E) ROOFING SHINGLE, TYP.
- ③ (N) CLASS "A" ROOFING SHINGLE AND UNDERLAYMENT; MATCH EXISTING
- ④ (E) GUTTER
- ⑤ (N) GUTTER TO MATCH EXISTING
- ⑥ (E) DOWNSPOUT
- ⑦ (N) DOWNSPOUT TO MATCH EXISTING
- ⑧ (E) CHIMNEY
- ⑨ (E) SKYLIGHT
- ⑩ EAVES AT (N) COVERED PORCH ADDITION TO MATCH (E) IN DIMENSION AND STYLE (VIF)
- ⑪ NEW RANGE HOOD VENT

ROOF DRAINAGE PLAN LEGEND

- WALLS AND STRUCTURE BELOW
[Hatched Box] ROOF SHINGLE

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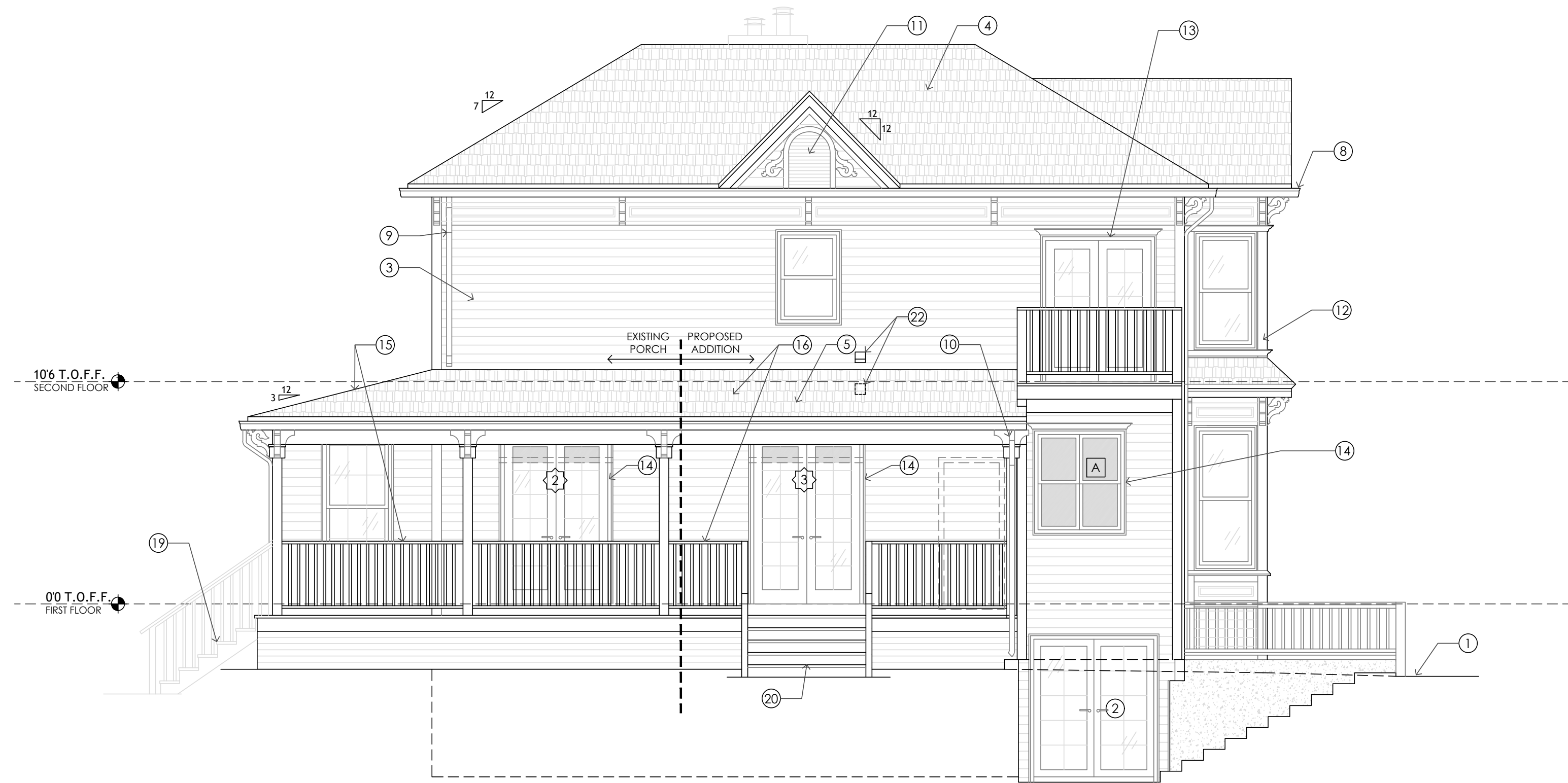


PLAN
NORTH
TRUE
NORTH

ROOF DRAINAGE PLAN: 1/4" = 1'-0"



WEST ELEVATION: 1/4"= 1'-0"



SOUTH ELEVATION: 1/4"= 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

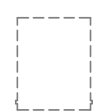
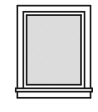
1. SEE SHEET A-0.2 FOR ABBREVIATIONS, GENERAL NOTES, AND CALGREEN STANDARDS.
2. SEE SHEET A-2.2 FOR PROPOSED WORK.
3. SEE SHEET A-3.1 FOR GLAZING, DOOR, AND WINDOW INFORMATION.
4. HEADERS OF NEW WINDOWS AND DOORS TO ALIGN WITH EXISTING.
5. MATCH NEW PORCH TO EXISTING IN APPEARANCE AND COLOR. MATCH NEW EAVE DIMENSIONS AND DETAILING TO EXISTING.
6. MATCH NEW DOOR AND WINDOW TRIM AND CROWN DETAILING TO EXISTING ADJACENT OPENINGS IN APPEARANCE AND COLOR.
7. PROVIDE MIN. 18" x 24" ACCESS TO ALL CRAWLSPACE AREAS.

EXTERIOR ELEVATION KEYNOTES

NOT ALL KEYNOTES MAY BE USED ON ALL SHEETS

- ① EXISTING GRADE AT PERIMETER OF STRUCTURE
- ② EXISTING BASEMENT ACCESS
- ③ (E) SIDING, TYP.
- ④ (E) ROOFING SHINGLE, TYP.
- ⑤ (N) CLASS "A" ROOFING SHINGLE; MATCH EXISTING
- ⑥ (E) SKYLIGHT
- ⑦ (E) CHIMNEY
- ⑧ (E) GUTTER, TYP.
- ⑨ (E) DOWNSPOUT, TYP.
- ⑩ (N) DOWNSPOUT
- ⑪ (E) GABLE VENT
- ⑫ (E) CORNER TRIM, TYP.
- ⑬ (E) DOOR AND WINDOW TRIM, TYP.
- ⑭ MATCH (E) WOODEN DOOR AND WINDOW TRIM DIMENSIONS AND STYLE
- ⑮ (E) COVERED PORCH & GUARD RAIL
- ⑯ PROPOSED COVERED PORCH & GUARD RAIL ADDITION
- ⑰ (E) ELEC METER
- ⑱ (E) GAS METER
- ⑲ PROPOSED STEPS TO REPLACE (E)
- ⑳ PROPOSED (N) STEPS AT COVERED PORCH ADDITION
- ㉑ (E) STEPS TO BE REPLACED (SHOWN DASHED)
- ㉒ RAISE (E) DRYER VENT ABOVE PROPOSED COVERED PORCH ROOF
- ㉓ NEW GUARD RAIL TO BE HALF WALL WITH CLAPBOARD SIDING TO MATCH EXISTING EXTERIOR SIDING

EXTERIOR ELEVATION LEGEND

-  EXISTING OPENING TO BE FILLED
-  NEW OPENING
-  EXISTING OPENING TO REMAIN

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**DESIGN REVIEW
1-25-2022**

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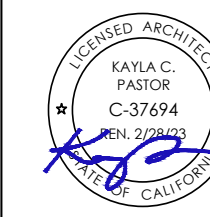
APP: 009-082-001

**PROPOSED
EXTERIOR ELEVATIONS**

January 25, 2022

Scale: As noted

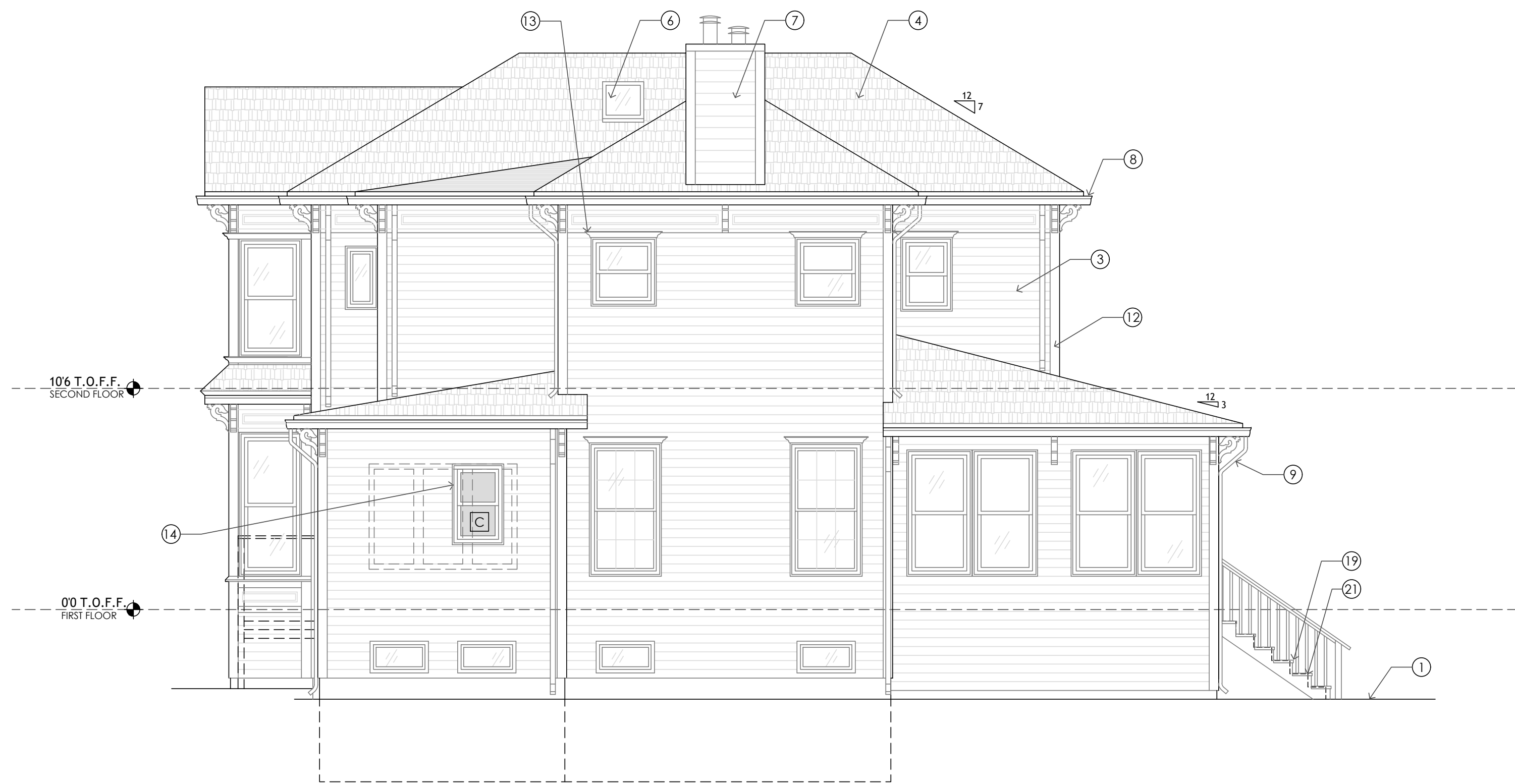
Drawn by: KP



A-4.1



EAST ELEVATION: 1/4" = 1'-0"



NORTH ELEVATION: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

1. SEE SHEET A-0.2 FOR ABBREVIATIONS, GENERAL NOTES, AND CALGREEN STANDARDS.
2. SEE SHEET A-2.2 FOR PROPOSED WORK.
3. SEE SHEET A-3.1 FOR GLAZING, DOOR, AND WINDOW INFORMATION.
4. HEADERS OF NEW WINDOWS AND DOORS TO ALIGN WITH EXISTING.
5. MATCH NEW PORCH TO EXISTING IN APPEARANCE AND COLOR. MATCH NEW EAVE DIMENSIONS AND DETAILING TO EXISTING.
6. MATCH NEW DOOR AND WINDOW TRIM AND CROWN DETAILING TO EXISTING ADJACENT OPENINGS IN APPEARANCE AND COLOR.
7. PROVIDE MIN. 18" x 24" ACCESS TO ALL CRAWLSPACE AREAS.

EXTERIOR ELEVATION KEYNOTES

NOT ALL KEYNOTES MAY BE USED ON ALL SHEETS

- 1 EXISTING GRADE AT PERIMETER OF STRUCTURE
- 2 EXISTING BASEMENT ACCESS
- 3 (E) SIDING, TYP.
- 4 (E) ROOFING SHINGLE, TYP.
- 5 (N) CLASS "A" ROOFING SHINGLE; MATCH EXISTING
- 6 (E) SKYLIGHT
- 7 (E) CHIMNEY
- 8 (E) GUTTER, TYP.
- 9 (E) DOWNSPOUT, TYP.
- 10 (N) DOWNSPOUT
- 11 (E) GABLE VENT
- 12 (E) CORNER TRIM, TYP.
- 13 (E) DOOR AND WINDOW TRIM, TYP.
- 14 MATCH (E) WOODEN DOOR AND WINDOW TRIM DIMENSIONS AND STYLE
- 15 (E) COVERED PORCH & GUARD RAIL
- 16 PROPOSED COVERED PORCH & GUARD RAIL ADDITION
- 17 (E) ELEC METER
- 18 (E) GAS METER
- 19 PROPOSED STEPS TO REPLACE (E)
- 20 PROPOSED (N) STEPS AT COVERED PORCH ADDITION
- 21 (E) STEPS TO BE REPLACED (SHOWN DASHED)
- 22 RAISE (E) DRYER VENT ABOVE PROPOSED COVERED PORCH ROOF
- 23 NEW GUARD RAIL TO BE HALF WALL WITH CLAPBOARD SIDING TO MATCH EXISTING EXTERIOR SIDING

EXTERIOR ELEVATION LEGEND

- EXISTING OPENING TO BE FILLED
- NEW OPENING
- EXISTING OPENING TO REMAIN

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**PROPOSED
EXTERIOR ELEVATIONS**

January 25, 2022
Scale: As noted
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A-4.2



January 27, 2022

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Design Review Written Statement

Project Address:
1227 Edwards Street, St. Helena, CA 94574

The proposed project consists of a partial interior renovation of a single-family dwelling, an extension of the existing covered porch, and a replacement of the front and back steps. A detailed list of the exterior changes are as follows, and all new exterior materials and detailing will match the existing house:

- Removing one exterior door and adding a window
- Reducing the size of two windows
- Replacing two sets of exterior doors and raising those headers
- Extending the existing covered porch (to provide a landing for an existing exterior door)
- Rebuilding the front and back steps to meet code

The primary reason for these exterior updates is to address safety concerns. The door that will be removed currently does not have an exterior landing; there is a drop of about 36". Another door has a similar condition, which will be resolved by the porch extension. This can be seen in the included site photos. The existing front and back steps are deteriorating and require replacement to meet code. The other exterior changes (adjusted window sizes) are necessary due to the interior renovation, particularly to provide privacy in the new Master Bathroom.

No square footage will be added or removed as a part of this renovation. The area of work for the interior renovation will be 445 square feet, which occurs within the existing footprint of the first floor. No work will be done in the basement or on the second floor. The existing building height is approximately 30'-0". The first and second floors are habitable, conditioned spaces, and the basement is unconditioned. The existing and proposed areas are as follows:

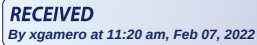
Basement:	1216 s.f.	<i>(no work on this floor)</i>
1st floor:	1504 s.f.	<i>(445 s.f. to be renovated within existing footprint)</i>
2nd floor:	1098 s.f.	<i>(no work on this floor)</i>

No landscaping, grading, fences, or other site work is proposed as a part of this project.

Sincerely,

Kayla Pastor

ZEITGEIST SONOMA
architecture + interior design
723 Humboldt Street, Santa Rosa, California 95404
www.zeitgeistsonoma.com



BRUNZELL
HISTORICAL

July 17, 2021

Jennifer Williams
1227 Edwards Street
St. Helena, California

Subject: Project Review of the Proposed Project for Historic Compatibility at 1227 Edwards St., St. Helena, Napa County, California.

Dear Jennifer,

This letter comprises the project review for the proposed project on the historic building at 1227 Edwards Street, St. Helena, Napa County, California.

Previous Surveys and Historic Status

The house at 1227 Edwards Street was placed on St. Helena's Historic Resource Inventory in 1978 as part of Napa County's first large-scale historic survey effort. According to the Napa County Assessor, the house was constructed about 1890, however Sanborn maps indicate that it was present by 1886. The Stick Eastlake style of its original architecture suggests it may have been constructed significantly earlier, perhaps in the 1870s. Research has not revealed photographs or other documentation created during the 1978 survey. The consultant who updated St. Helena's Historic Resource Inventory and prepared a historic context statement in 2006 did not individually evaluate 1227 Edwards Street, or produce a DPR 523 form for the parcel. A complete investigation of the property's architectural history is outside the scope of this project review report, but available materials demonstrate that substantial alterations have been performed over time. It nevertheless retains sufficient integrity to qualify as a historical resource.

The Thomas H. Eckfeldt family were the first known owners of the property; they acquired the house at the corner of Edwards Street and Hunt Avenue around the turn of the century. By the time the family purchased the house, several alterations had already been performed: the projecting Stick Eastlake style window bay at the east elevation was added in the late 1880s, and alterations were made to a (no longer extant) wing at the southeast corner of the house. In the 1890s, a porch at the northeast corner of the house was enclosed and became a single-story interior volume. Thomas Eckfeldt (1852 – 1923) was a Pennsylvania native who married Missouri-born Jeanette Bassett (1866 – 1952) in Lake County in 1885; the couple came to Napa County shortly thereafter. He worked as a carpenter and operated his own shop on Main St. in St. Helena. Their son Alonzo was born in 1889 and their daughter Mary Geneva the following year. Thomas died in 1923, after which Jeanette continued to live in the house and began renting rooms to lodgers. She married Calistoga mortician Harry G. Crafts in 1925, and he moved into the house with her. During this era, the house was divided into four units and became known as the Crafts Apartments. Harry died in 1933, and Jeanette married A.H. McArthur, who ALSO lived in the house with her.¹

By 1946, McArthur was in poor health. From the 1940s and throughout the 1960s, the house was used as apartments. After his mother's death in 1952, the apartments were owned by Alonzo ("Lonnie") R. Eckfeldt. In 1961, an explosion started a fire in the apartment house, and two of the tenants suffered burns. The fire was contained shortly, only burning the bathroom and closet of the upstairs apartment. One of the burn

¹ US Census records, 1900, 1910.

victims, Sara E. Younce, later died as a result of her burns at the St. Helena Sanitarium and Hospital. A photograph of the accident that shows a portion of the main (north) façade indicates that substantial alterations appear to have been performed after the fire (see Figure 1). Main façade window openings were shortened, and the first floor roof line was altered. At some point, the corbelled brick chimney was removed and a wooden chimney installed near the north elevation. A few years after the accident, Alonzo Eckfeldt died, leaving the apartments to his wife, Mary Bailey Eckfeldt. She continued to rent out the units in the building into the 1970s; she passed away in 1979.²

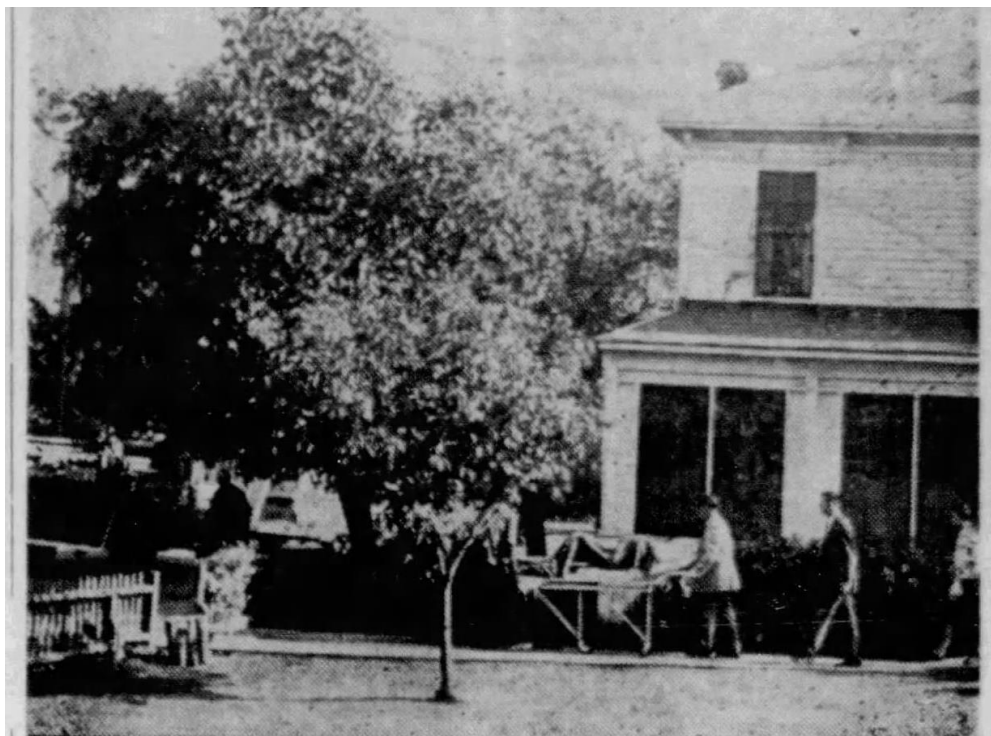


Figure 1: 1227 Edwards Street from Hunt Avenue, November 1961, *St. Helena Star*.

City of St. Helena building permits indicate that the foundation was replaced in 1990. The porch along the west side of the house was extended around to part of the south elevation at some point after 1940. Research has not revealed dates and details of other alterations, but its exterior details and features (irregular plan, plain porch supports, narrowly spaced porch railings, rear deck, inconsistent window crowns, windows of various sizes and configurations) suggest a building that has been subject to numerous alterations. A photograph from 2011 indicates that by that time it had taken on its current form.

Character-defining Features

The house exhibits some features of Stick Eastlake architecture, although many elements of the building have been altered since its original construction. The building's character-defining features include:

² *The St. Helena Star*, "For Sale Furnished," May 3, 1946; *The Napa Valley Register*, "2 St. Helena Women Hurt in Blast, Fire," Nov. 10, 1961, 1; *The St. Helena Star*, "Mrs. Sara E. Younce," Apr. 12, 1962, 8; *The St. Helena Star*, "Alonzo Eckfeldt," Feb. 25, 1965, 2; *The St. Helena Star*, "For Rent," Jan. 20, 1966, 8.

- Two-story massing with irregular plan
- Double hung wood-sash windows in rectangular openings
- Wraparound porch
- Paneled wood door at main entrance
- Gable-on-hip roof with louvered vents flanked by decorative scrolling at gable ends
- Projecting square bay at rear elevation
- Decorative cornice, frieze and ornamental brackets

The house is recommended to retain sufficient integrity for continued historic listing. Any future rehabilitation or renovation of the house should preserve these character-defining features.

Proposed Project

The Secretary of the Interior's Standards for the Treatment of Historic Properties provide guidelines for the preservation and rehabilitation of historic resources. Adherence to these standards is accepted as a method of avoiding significant adverse effects to historic buildings while allowing their continued use. The current project proposes to replace deteriorated front steps, extend the porch across the entire south elevation to enhance outdoor living, and to reconfigure the fenestration in the one-story volume at the northeast corner of the building.

The Secretary of Interior's Standards for Rehabilitation state:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
The property was originally used as a residence, and will continue in that use after completion of the proposed project.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
The current project will not affect the historic character of the property. Character-defining features as described above will be retained and preserved. Substantial proposed alterations will be located at the rear of the house. Alterations to the fenestration at the northeast corner of the house will not remove distinctive materials or alter important character-defining features.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
The proposed project is minor in scope and will not substantially impact the existing house. Conjectural features such as historicist architectural details will not be utilized in new construction in order to avoid creating a false sense of historical development.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
The property has been altered many times within the historic period, and some of these changes have acquired historic significance in their own right. These changes (for example, the Stick Eastlake square window bay at the east elevation and the extension of the porch to the south elevation) will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
Distinctive materials, features, and finishes will be preserved. As discussed above, these include two-story massing with irregular plan, double hung wood-sash windows in rectangular openings, wraparound porch, paneled wood door at main entrance, gable-on-hip roof with louvered vent flanked by decorative scrolling at the gable ends, and projecting square bay at rear elevation.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and,

where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Most historic features are in good condition and do not require repair or replacement. The deteriorated front steps are not original to the house but will be replaced with new wood steps of similar design.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

No chemical treatments will be utilized. If physical treatments are required, the gentlest means possible will be used.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project does not propose to excavate previously undisturbed areas, and is unlikely to disturb archaeological resources.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The porch addition that will be undertaken is modest in size and scope. It will not destroy historic materials, features, and spatial relationships that characterize the property. It is compatible with historic materials, features, size, scale and proportion, and massing.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Reversal of the proposed project will not impair the essential form and integrity of the historic property.

Overall, the project will benefit the property's historic status by adapting it to contemporary modes of living. These elements will allow the property to continue its original residential use in the future.

Evaluator Qualifications

I meet the Secretary of Interior's Professional Qualifications for both History and Architectural History. I hold a Master's degree in Public History and have worked in multiple facets of historic preservation and cultural resource evaluation since 2007. My experience includes municipal preservation planning and working as the lead staff member of a non-profit preservation organization. Since 2012, I have worked full-time as a historical consultant, completing dozens of evaluations for CEQA and Section 106 compliance. Additionally, I have completed local and national register nominations, historic context statements, and HAER recordation. The North Bay is the center of my practice, but I frequently work in the greater Sacramento area and other parts of the Bay Area, and have also completed projects in Southern California, Nevada, Oregon, New York, and Puerto Rico. In addition to my work with historic-period domestic, agricultural, and commercial properties for private clients, I have prepared reports on post offices, military bases, university campuses, hospitals, church properties, national parks, and a NASA site. I am listed as a Historian and Architectural Historian on the California Office of Historic Preservation's roster of qualified consultants for every county in California.

Please contact me by phone at 707/290-2918 or e-mail at kara.brunzell@yahoo.com with any questions or comments.

Sincerely,



Kara Brunzell, M.A.
Brunzell Historical



Photograph 1: 1227 Edwards Street, northwest elevation, camera facing southeast, April 19, 2021.



Photograph 2: 1227 Edwards St., southeast and northeast elevations, camera facing west, April 19, 2021.



Photograph 3: 1227 Edwards St., southwest and southeast elevations, camera facing north, April 19, 2021.



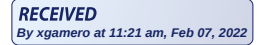
Photograph 4: 1227 Edwards St., northeast elevation and looking down Edwards Street towards Pope Street, camera facing southeast, April 19, 2021.



Photograph 5: View from 1227 Edwards St. looking up Edwards Street towards Hunt Avenue, camera facing northwest, April 19, 2021.



Photograph 6: View from 1227 Edwards St. looking towards Hunt Avenue, camera facing north, April 19, 2021.



Water Use Analysis

Project Address:
1227 Edwards Street
St. Helena, CA 94574

APN: 009-082-001

January 31, 2022

Prepared By:

ZEITGEIST SONOMA
architecture + interior design
723 Humboldt Street, Santa Rosa, California 95404
www.zeitgeistsonoma.com

1. Introduction:

Zeitgeist Sonoma has prepared this report to assist the renovation project at 1227 Edwards Street with compliance with the City of St. Helena water use requirement. As of March 22, 2011, a water demand analysis must be completed to demonstrate that all proposed projects are water neutral (City of St. Helena Code 13.12).

2. Project Description:

The owners of the property at 1227 Edwards Street are proposing a partial interior renovation of their single-family dwelling, along with an extension of the existing covered porch and a replacement of the front and back steps. The interior renovation adds a bedroom, making this into a 4-bedroom home. This report will provide an estimate of existing water usage, in comparison to estimated future water usage (post-project) to determine whether there will be a net increase or decrease.

3. Existing Water Use Analysis:

The existing residence is a 3-bedroom home built in 1890. Because an older home typically has very high flow fixtures, a reasonable estimate of water use is approximately 120 to 150 gallons per bedroom per day. Using 135 gallons per day as an estimate, the existing household water use is approximately **405 gallons per day**.

Existing landscaped areas appear to be approximately 700 square feet. Using an estimate of 0.3 gallons per s.f. per watering cycle, assuming this landscaping is watered every 3 days, for 6 months out of the year (non-rainy season), the average water use for landscaping (averaged across the entire year) is **35 gallons per day**.

$$700 \text{ s.f.} \times 60 \text{ watering cycles} \times 0.3 \text{ gallons/s.f.} = 12,600 \text{ gallons}$$

$$12,600 \text{ gallons} / 365 \text{ days} = 35 \text{ gallons per day}$$

Based on the above calculations, the existing baseline water usage for the parcel can be estimated at **440 gallons per day**.

4. Proposed Water Use Analysis:

The renovated residence will have 4 bedrooms. Some existing high-flow fixtures will remain in the areas of the home that will not be renovated. The tables below list both the proposed and existing-to-remain fixtures that will be in the residence after the renovation is complete and calculate the

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projected water use for the proposed renovation. Table A assumes 2 occupants per bedroom (8 total) maximum; however, typical use will be 5 total occupants as shown in Table B.

TABLE A:

MAXIMUM (8 OCCUPANTS)

Fixture	Quantity	Average Flow	Duration	Daily Use	Occupants	Total Daily Water Use	Total Annual Water Use
Toilet (New, Low Flow)	2	1.28 gallons	--	3	4	15.36 gal	5,606.40 gal
Toilet (Existing)	2	1.6 gallons	--	3	4	19.20 gal	7,008.00 gal
Lavatory Faucet (New, Low Flow)	3	1.5 gpm	0.5 min	3	4	9.00 gal	3,285.00 gal
Lavatory Faucet (Existing)	2	2.2 gpm	0.5 min	3	4	13.20 gal	4,818.00 gal
Kitchen Faucet (New, Low Flow)	1	1.5 gpm	4 min	2	8	96.00 gal	35,040.00 gal
Utility Sink (New, Low Flow)	1	1.5 gpm	2 min	1	2	6.00 gal	2,190.00 gal
Showerheads (New, Low Flow)	1	1.5 gpm	8 min	1	2	24.00 gal	8,760.00 gal
Showerheads (Existing)	2	2.5 gpm	8 min	1	6	120.00 gal	43,800.00 gal
Clothes Washer	1	12 gal per load	--	0.37	8	35.52 gal	12,964.80 gal
Dish Washer	2	4 gal per cycle	--	0.5	8	32.00 gal	11,680.00 gal
TOTAL						370.28 gal	135,152.20 gal

TABLE B:

TYPICAL (5 OCCUPANTS)

Fixture	Quantity	Average Flow	Duration	Daily Use	Occupants	Total Daily Water Use	Total Annual Water Use
Toilet (New, Low Flow)	2	1.28 gallons	--	3	2.5	9.60 gal	3,504.00 gal
Toilet (Existing)	2	1.6 gallons	--	3	2.5	12.00 gal	4,380.00 gal
Lavatory Faucet (New, Low Flow)	3	1.5 gpm	0.5 min	3	2.5	5.63 gal	2,053.13 gal
Lavatory Faucet (Existing)	2	2.2 gpm	0.5 min	3	2.5	8.25 gal	3,011.25 gal
Kitchen Faucet (New, Low Flow)	1	1.5 gpm	4 min	2	5	60.00 gal	21,900.00 gal
Utility Sink (New, Low Flow)	1	1.5 gpm	2 min	1	2	6.00 gal	2,190.00 gal
Showerheads (New, Low Flow)	1	1.5 gpm	8 min	1	2.5	30.00 gal	10,950.00 gal
Showerheads (Existing)	2	2.5 gpm	8 min	1	2.5	50.00 gal	18,250.00 gal
Clothes Washer	1	12 gal per load	--	0.37	5	22.20 gal	8,103.00 gal
Dish Washer	2	4 gal per cycle	--	0.5	5	20.00 gal	7,300.00 gal
TOTAL						223.68 gal	81,641.38 gal

No landscaping or site changes are proposed as a part of this renovation, so the existing landscaping water use remains the same, at **35 gallons per day**.

Based on the above information, the proposed total water usage for maximum occupancy on the parcel is projected to be **405 gallons per day**. The proposed total water usage for typical occupancy is projected to be **259 gallons per day**.

5. Conclusion:

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Table C below summarizes existing water use, proposed water use for maximum occupancy, and proposed water use for typical occupancy, and calculates the net effect of the project on total usage of City water. Both maximum and typical occupancies result in a net decrease.

TABLE C:

ESTIMATED TOTAL WATER USE

USE	GAL/DAY	GAL/YEAR	NET USAGE (DAILY)	NET USAGE (ANNUALLY)
EXISTING WATER USE	440	160,600	--	--
PROPOSED WATER USE (MAXIMUM)	405	147,825	-35 GAL/DAY	-12,775 GAL/YEAR
PROPOSED WATER USE (TYPICAL)	259	94,535	-181 GAL/DAY	-66,065 GAL/YEAR

The proposed project would result in a net decrease of water use for this parcel, which is in compliance with the City of St. Helena requirements for water neutrality.



PLANNING COMMISSION REPORT

Planning Commission Meeting of May 3, 2022

SUBJECT: Consideration and proposed approval of a resolution determining that the FY 2022/23 Capital Improvement Program (CIP) is in conformance with the General Plan

PREPARED BY: Martin Beltran, Management Analyst

REVIEWED BY: Eric Janzen, Assistant Public Works Director

APPROVED BY: Maya DeRosa, Planning & Building Director

APPLICATION FILED:

BACKGROUND

Sections 65401 and 65402 of the California Government Code require that the Capital Improvement Program (CIP) be in conformance with the General Plan. State Law also mandates that this determination of conformance be made by a designated planning agency. For the City of St. Helena, the designated planning agency is the Planning Commission. The purpose of this staff report is to have the Planning Commission make a determination of consistency with the adopted General Plan.

PROJECT DESCRIPTION

The Planning Commission is tasked with reviewing the planned CIP for fiscal year 2022/2023 and making the finding that the activities proposed for inclusion in the CIP are in conformance and consistent with the General Plan.

General Plan conformity can best be described as furthering the eventual achievement of the goals, policies, and infrastructure identified in the General Plan. For example, the construction of a roadway would be consistent with the General Plan if the roadway is depicted on the Circulation Element, identified in the goals and policies, or listed as an implementation program/activity.

Staff has reviewed the proposed FY 2022/2023 capital projects and has evaluated the proposed improvements for consistency with the classifications contained in the General

Plan. As shown in the Attachment 2, these activities are consistent with the policies contained in the General Plan.

Once the Planning Commission makes the finding that the 2022/2023 CIP is consistent with the General Plan, it will be brought to the City Council for adoption along with anticipated expenditures and projects over a five-year period at a meeting in June 2022.

ANALYSIS

The City's 2022/2023 CIP consists of a number of projects in four divisions. Project list retains the projects approved by Planning Commission last year. No new projects are being added this Fiscal Year. The fiscal impact of the CIP will be identified in the operating budget for fiscal Year 2022/2023 which will be heard at City Council later this year.

The determination of conformity with the General Plan pursuant to Government Code Sections 65401 and 65402 is not considered a "project" under the California Environmental Quality Act (CEQA). Furthermore, actions implementing the adopted 2019 General Plan are consistent with the certified 2019 General Plan Environmental Impact Report (EIR). Specific projects proposed as part of the CIP will require their own CEQA determination at the time of project implementation.

STAFF RECOMMENDATION

Adopt the attached resolution determining that Fiscal Year 2022/2023 Capital Improvement Program is in conformance with the General Plan.

ATTACHMENTS

[Attachment 1: Resolution](#)

[Attachment 2: 2022-23 CIP List](#)

ATTACHMENT 1

CITY OF ST. HELENA

RESOLUTION NO. _____

**DETERMINING THAT FISCAL YEAR 2022/23 CAPITAL IMPROVEMENT
PROGRAM IS IN CONFORMANCE WITH THE CITY OF ST. HELENA
GENERAL PLAN**

RECITALS

- A. The City of St. Helena adopted its General Plan on May 14, 2019.
- B. The City Council of the City of St. Helena has designated the City Planning Commission as the planning agency for the City of St. Helena.
- C. State Law requires that designated planning agencies review their agency's capital improvement plan to ensure compliance with the adopted General Plan.
- D. The City has identified a number of capital improvement projects, including civic, street, water, and wastewater improvements for implementation in fiscal year 2022/2023.
- E. On May 3, 2022, the Planning Commission, during a regularly scheduled meeting, considered the projects and programs for FY 2022/23 in the City's Capital Improvement Program and their conformity to the adopted City General Plan.
- F. The determination of conformity with the General Plan pursuant to Government Code Sections 65401 and 65402 is not considered a "project" under the California Environmental Quality Act (CEQA).

RESOLUTION

The Planning Commission of the City of St. Helena hereby makes the following finding:

- A. The proposed Fiscal Year 2022/23 capital improvement projects and programs, as attached in Exhibit A, are consistent with the City of St. Helena's adopted General Plan by furthering the goals and policies as discussed in the staff report dated May 3, 2022.

Approved at a Regular Meeting of the St. Helena Planning Commission on May 3, 2022, by the following vote:

AYES:

NOES:

ABSENT:
ABSTAIN:

APPROVED:

ATTEST:

FISCAL YEAR 2022-2023 CAPITAL IMPROVEMENT PROGRAM

Number	Name	Description	General Plan Policy and Goals
Civic Projects (Buildings and Parks)			
C18-83	ADA Transition Plan - Facilities	ADA upgrades to existing City public facilities	LU6.1 & PR1.2 High quality City public facilities & accessible parks to all residents
C19-03	Crane Park Lighting Improvements	Retrofit existing park lights fixtures and upgrades to electrical equipment.	PR4.4 Ensure that all parks and recreational facilities are attractive, safe, and well-maintained with adequate lighting
C20-02	Repaint Fire Station #1	Repaint the Fire Station	4.4 Maintain high standard of quality for facilities and infrastructure
C20-04	Baldwin Park Fence & Pathway Repair	Remove and replace fence bordering, pathway repair, and minor modifications to entrance	PR4.4 Ensure that all parks and recreational facilities are attractive, safe, and well-maintained
C21-01	PSPS Emergency Back-up Power	To replace the 35-year-old generator at the Louis Stralla Water Treatment Plant (LSWTP) and to purchase one 175 KW portable generator that can be used at all critical City facilities which do not have back-up power.	9.4 & PS6.1 Maintain High Levels of Public Health and Safety & Ensure that City emergency procedures are adequate
C22-01	Jacob Meily Park	Drainage Site Survey and Installation of New Turf and Upgrade Irrigation	PR4.4 Ensure that all parks and recreational facilities are attractive, safe, and well-maintained
C22-02	Replace Playground Equipment and Fence at Crane Park	Replacement of Playground Equipment and Fence	PR4.4 Ensure that all parks and recreational facilities are attractive, safe, and well-maintained

FISCAL YEAR 2022-2023 CAPITAL IMPROVEMENT PROGRAM

Number	Name	Description	General Plan Policy and Goals
Streets Projects (including stormwater)			
R18-81	Downtown Sidewalk Improvements	This is a sidewalk improvement project funded by One Bay Area Grant III program and local funds. The project will replace sidewalks, trees, and implement traffic calming devices on Main Street between Mitchell Drive and Pine Street.	5.6 & CR2.5 Safe and Well-Maintained Circulation System & Improve the pedestrian experience through streetscape enhancements, focusing improvements where there is the greatest need, and by orienting development toward the street.
R19-04	Sulphur Creek Sediment Removal	This project will remove sediment build-up in Sulphur Creek beneath the bridge structure at Valley View and the City owned creek section in front of the City Public Works Corporation Yard on Charter Oak. The City plans to coordinate permitting and work efforts with private landowners along Sulphur Creek between the Valley View bridge and the City Corporation Yard.	PF3.4 & PS5.6 Consider efforts to prevent risk to structures and property along Sulphur Creek & maintain protocols and funding for the regular inspection and maintenance of flood control facilities in the city
R19-05	Grayson and South Crane Rehabilitation (Design Only)	This project will reconstruct Grayson and South Crane Avenues. Accessibility improvements to sidewalks and curb ramps will be included as part of the project whenever applicable.	CR4.1 Ensure adequate maintenance of transportation facilities such as streets, sidewalks, and multi-use paths.
R19-07	Silverado Trail Guardrail Replacement	Replace guardrail and pavement markings/stripping on Silverado Trail within the City limits.	CR4.1 Ensure adequate maintenance of transportation facilities such as streets, sidewalks, and multi-use paths.
R20-01	Mitchell Drive to Sulphur Creek Storm Drain	Replace storm drain pipe on Mitchell Drive and slip-line portion of pipe from Mitchell Drive to Sulphur Creek.	OS3.2 Reduce stormwater runoff in developed areas to protect water quality in creeks.
R20-02	Mills Lane Storm Drain	Install new storm drain along Mills Lane that outfalls to the Napa River	OS3.2 Reduce stormwater runoff in developed areas to protect water quality in creeks.
R21-01	Pratt and Elmhurst Crosswalk Improvements on Main Street/Highway 29	This project will upgrade curb ramps as well as improve crosswalk markings and signage.	CR2.F Improve street crossings and gaps in the sidewalk system through development review and capital improvement projects
R21-04	Pope Street Crosswalk Improvements at College Avenue	Installation of a rectangular rapid flashing beacon system (or equivalent) located on Pope Street at College Avenue, four ADA compliance curb ramps, and continental crosswalk markings on Pope Street and College Avenue.	CR2.F Improve street crossings and gaps in the sidewalk system through development review and capital improvement projects

FISCAL YEAR 2022-2023 CAPITAL IMPROVEMENT PROGRAM

Number	Name	Description	General Plan Policy and Goals
R22-79	Pavement Restoration	Rehabilitate streets throughout the City with various surface treatments (i.e. slurry seal, microsurface and overlay). Curb ramp upgrades may be part of projects as needed.	CR4.1 Ensure adequate maintenance of transportation facilities such as streets, sidewalks, and multi-use paths.
R23-79	Pavement Restoration	Rehabilitate streets throughout the City with various surface treatments (i.e. slurry seal, microsurface and overlay). Curb ramp upgrades may be part of projects as needed.	CR4.1 Ensure adequate maintenance of transportation facilities such as streets, sidewalks, and multi-use paths.
R24-79	Pavement Restoration	Rehabilitate streets throughout the City with various surface treatments (i.e. slurry seal, microsurface and overlay). Curb ramp upgrades may be part of projects as needed.	CR4.1 Ensure adequate maintenance of transportation facilities such as streets, sidewalks, and multi-use paths.
R25-79	Pavement Restoration	Rehabilitate streets throughout the City with various surface treatments (i.e. slurry seal, microsurface and overlay). Curb ramp upgrades may be part of projects as needed.	CR4.1 Ensure adequate maintenance of transportation facilities such as streets, sidewalks, and multi-use paths.

FISCAL YEAR 2022-2023 CAPITAL IMPROVEMENT PROGRAM

Number	Name	Description	General Plan Policy and Goals
Wastewater Projects			
S-52	WWTRP Upgrades Phase 1	Feasibility study, workplan and Phase 1 improvements as required by CDO Regional Board Order R2-2016-0004.	PF2.B Continue wastewater treatment system upgrades
S18-70	Replace 1% Sewer Mains Annually	Replacement of City sewer mains	PF2.D & PF2.4 Reduce sewer system inflow and infiltration through repair and replacement of sewer pipes and protection from inflow sources & increase sewer collection system efficiency by ensuring proper maintenance of sewer pipes
S18-71	Crinella Pump Station Upgrade	Update the structure and pumping systems as well as including a filter system to control odors.	LU6.1 & PF1.S Provide high-quality wastewater systems & provide for capital needs of wastewater systems.
S18-73	Wet Weather Flow Monitoring	This project will provide the City with a sanitary sewer flow monitoring and inflow/infiltration study that identifies areas of storm water and groundwater inflows into the City's sewer system.	LU6.1, PF2.1 & PF2.4 Provide high-quality wastewater systems, ensure adequate sewage treatment capacity at the City treatment plant to meet the needs of population growth & Increase sewer collection system efficiency by ensuring proper maintenance of sewer pipes
S21-01	WWTP Recycled Pipeline and Pump Station	Provide pump station to distribute recycled water to the WWTP spray fields and provide recycled water to City customers via mainline connection.	LU6.1, PF1.1, PF1.5, PF2.1 & PF2.4 Provide high-quality wastewater systems, ensure adequate sewage treatment capacity at the City treatment plant to meet the needs of population growth & increase sewer collection system efficiency by ensuring proper maintenance of sewer pipes

FISCAL YEAR 2022-2023 CAPITAL IMPROVEMENT PROGRAM

Number	Name	Description	General Plan Policy and Goals
Water Projects			
W-35	Bell Canyon Reservoir Improvements	Dredging of Bell Canyon Reservoir will return the storage capacity to design limits.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W-80	Dwyer Road Booster Station	Contribute a fair share to a project to construct a booster station that will increase water system pressure.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W-85	Bell House Valve Replacement	Replace the bell house valve at the base of the Bell Canyon dam per the requirements of the Division of Safety of Dams.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W-86	Spring Mountain Pressure Zone Improvements (Holmes Tank Upgrade)	Upgrade pressure zone pumps on Spring Mountain Road, piping that feed Holmes Tanks, and emergency back-up power.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W-91	Bell Canyon Creek Inflow	Install device to measure inflow from Bell Canyon Creek into Bell Canyon Reservoir.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W-101	Tank 2 Rehabilitation	Rehabilitate Tank 2	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W-106	Pump Station Upgrades	Upgrade existing pump stations with back-up power in the event of a power outage as required by the State Department of Health.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W-108	Lower Reservoir Dam Rehabilitation	Replace valves and perform geotechnical investigation as required by Division of Dam Safety.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W-109	Bell Canyon Intake Tower Replacement	Replace intake tower at Bell Canyon Reservoir	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W-110	Rutherford Pump Upgrade	Upgrade electrical equipment and install a permanent structure	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W18-111	WTP Condition Assessment	This is an assessment to develop short and long term needs of the Louis Stralla Water Treatment Plant.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W18-113	SCADA Improvements – Rutherford and Holmes	This project will apply power and instrumentation upgrades to integrate the City's water pump stations into Supervisory, Control and Data Acquisition System (SCADA). SCADA is utilized to monitor and control a plant and/or equipment.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W18-115	Remove Restriction at Rutherford Pump Station	This project will locate and remove the restriction(s) in order to maximize water delivery.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.

FISCAL YEAR 2022-2023 CAPITAL IMPROVEMENT PROGRAM

Number	Name	Description	General Plan Policy and Goals
W18-118	Replace Mains <6" in Diameter	This annual project will begin the replacement of City water mains. It is anticipated that there will be one project per year based on the completed Integrated Master Utility Plan.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W18-120	Bell Canyon Spillway Stability Assessment	A new requirement of the Division of Dam Safety as a direct result of the 2017 Oroville Dam incident. Work will include a reconnaissance-level assessment of the spillway reviewing the geologic, structural or performance issues that could jeopardize its ability during a flood event.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W20-01	Bell Canyon Spillway Repairs	Make repairs to the spillway based on the initial spillway assessment completed in 2018.	LU6.1 & PF1.S Provide high-quality water systems & provide for capital needs of water systems.
W21-01	Kearney and Andrea Water Main Replacement (Design in FY 20/21 and construction in FY 21/22)	The 4" water main on Kearney between Hillview Place and Adams Street needs to be replaced as well as the main on Andrea from Kearney to Oak Avenue.	PF1.S & PF1.B Provide for capital needs of water systems & replace undersized water mains.