



**City of St. Helena  
Planning Commission  
Regular Meeting  
Tuesday, December 20, 2022 @ 6:00 PM  
Vintage Hall Board Room - Second Floor  
465 Main Street, St. Helena**

**PLEASE NOTE:** Any person who wishes to speak regarding an item on the agenda or make a comment under the "Oral Communication" portion of the agenda may do so, but please observe the time limit of four minutes.

Simultaneous Spanish interpretation services during meetings can be scheduled upon request. To ensure interpreters are available, requests must be made at least 72 hours in advance by calling the Office of the City Clerk at (707) 968-2640 or emailing [cityclerk@cityofstheleena.org](mailto:cityclerk@cityofstheleena.org). The schedule of upcoming meetings and published meeting agendas can be found on the City of St. Helena website at <https://stheleena.civicweb.net/portal/>.

Servicios de interpretación en español durante la reunión pueden ser solicitados por el público. Para asegurar que los intérpretes estén disponibles, los servicios tienen que ser solicitados al menos 72 horas antes de la reunión llamando a la oficina de la Secretaria de la Ciudad al (707) 968-2640 o por correo electrónico a [cityclerk@cityofstheleena.org](mailto:cityclerk@cityofstheleena.org).

El horario de las reuniones publicadas y próximas puede ser localizado en el sitio de web de la Ciudad en <https://stheleena.civicweb.net/portal/>.

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1. PLEDGE OF ALLEGIANCE

2. CALL TO ORDER AND ROLL CALL

Chair: John Ponte

Vice Chair: Autumn Anderson; Commissioners: Rosaura Segura, Marika Rothfeld and Chris Warner.

City staff present at the meeting will be noted in the minutes.

3. PUBLIC FORUM:

This is an opportunity for the public to address the Commission on items of interest to the public that are NOT listed on the agenda. Because of restrictions imposed by the Brown Act, the Commission may not engage in discussion nor take action on matters not described on the agenda. **Please observe the time limit of four minutes.**

4. CONSENT ITEMS

Members of the Commission or the public may ask that any items be considered individually for purposes of considering alternative action, for extended discussion, or for public comment. Unless that is done, one motion may be used to adopt all recommended actions. (Roll Call Vote)

- 4.1. Approval of Minutes: September 29, 2022, October 18, 2022 and December 6, 2022.

[Special Planning Commission Minutes 09.29.22](#)

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5. PUBLIC HEARINGS

- 5.1. Request by Ron Bunch on behalf of Terry and Juli Pringle, for consideration and approval of a demolition of the existing home and design review to accommodate the construction of a single-family home, with an attached garage on a property located at 2484 Spring Mountain Road in the Woodlands and Watershed (WW) zoning district.

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CEQA Determination: Class 3 Categorical Exemption pursuant to the CEQA Guidelines

Prepared By: Chantal Power, Associate Planner

Recommendation:

For the reasons described above, staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA pursuant to Section 15303; and
2. Accept the required findings and approve the attached resolution granting demolition permit and design review approval for the demolition of existing structures and the construction of a single-family home on the property located at 2484 Spring Mountain Road.

[Staff Report- 2484 Spring Mountain Rd.](#)  
[Presentation- 2484 Spring Mountain Rd.](#)

6. SCHEDULED MATTERS

7. DEPARTMENT REPORTS

This is an opportunity for staff to report on or update the Commission on any relevant matters.

8. AGENDA FORCAST

Below is a link to a list of pending and upcoming projects which may be of interest to the community.

This is also an opportunity for the Commission as a whole to request items be placed on future agendas for discussion. These items should be consistent with, and work to implement adopted Council Goals.

A list of all current planning projects is available on our city website in the link below:

[http://www.cityofsthelena.org/projects?term\\_node\\_tid\\_depth=21](http://www.cityofsthelena.org/projects?term_node_tid_depth=21)

Please contact the assigned project Planner for additional questions.

9. ADJOURNMENT

The next Regular Planning Commission meeting is scheduled for January 17, 2022 at 6:00 p.m. in the Vintage Hall Board Room located at 465 Main Street.

This agenda was posted at City Hall, 1572 Railroad Avenue, and at Vintage Hall, 465 Main Street, St. Helena, California on December 9, 2022.



Maya DeRosa, Planning & Building Director

**Appeal.** A person who is dissatisfied with a decision of the Planning Commission may appeal that decision to the City Council pursuant to Municipal Code Section 17.08.180, Appeal procedure. Actions of the Planning Commission will be listed on the City Council agenda the following Tuesday to give the City Council opportunity to review the Planning Commission's decision. Absent of an appeal by the City Council or by a citizen, the appeal period will terminate two weeks after the Planning Commission hearing.

**Special Assistance for the Disabled.** In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please call the City Clerk's Office (707) 967-2792. Notification 48 hours prior to the meeting will enable City to make reasonable arrangements to ensure accessibility to this meeting (28 CFR35.102-35.104 ADA Title II). However, City staff will attempt to assist at any time with accessibility. The City Clerk has equipment to assist those with a hearing impairment.

#### PUBLIC TESTIMONY PROCEDURES

Pursuant to the Government Code Section 54954.3, the public may address the Commission on each agenda item during the Commission's consideration of that item. Each speaker has the option to state his or her name for the record before testifying. Depending on the number of speakers or the interest of the item, the Planning Commission Chairman may also restrict, at his/her discretion, the speaker's time to three minutes. The Chairman may also restrict public comments if they become irrelevant to the agenda item or repetitious of prior comments. All persons interested may appear and be heard or submit written statements prior to the Planning Commission meeting. Please note that if you challenge the City's decision on any of these matters in court, you may be limited to raising only those issues you or someone else raised at the meeting or in written correspondence delivered to the City at, or prior to, the meeting.

#### CHALLENGING DECISIONS OF CITY ENTITIES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City of St. Helena is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision, including without limitation Government Code section 65009 applicable to many land use and zoning decisions, Government Code section 66499.37 applicable to the Subdivision Map Act, and Public Resources Code section 21167 applicable to the California Environmental Quality Act (CEQA). Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. Government Code section 65009 and 66499.37, and Public Resources Code section 21167, impose shorter limitations periods and requirements, including timely service in addition to filing.

If a person wishes to challenge the above actions in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of St. Helena, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

#### SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Planning Commission regarding any item on this Agenda, after the posting of the Agenda, will be available for public review in the Planning Department's Office located at 1480 Main Street, St. Helena, California, during normal business hours. In addition, such writings or documents will be made available on the City's web site at <http://cityofstheleena.org> and will be available for public review at the respective meeting.

**MINUTES**  
**City of St. Helena**  
**Special Planning Commission Meeting**  
**Thursday, September 29, 2022 @ 6:00 PM**  
**Vintage Hall Board Room - Second Floor**  
**465 Main Street, St. Helena**

A complete video recording of this meeting, except for closed session, can be found at <https://sthelena.civicweb.net/Portal/> or by calling the City Clerk at (707) 968-2742. The City Council video is the official record of the Council meeting.

**Present:** Commissioner Autumn Anderson, Chair John Ponte, Commissioner Rosaura Segura, and Christopher Warner  
**Absent:** Commissioner Marika Rothfeld  
**Staff:** Community Development Director Maya DeRosa, City Attorney Ethan Walsh, and Planning Commission Secretary Xinia Gamero.

**1. PLEDGE OF ALLEGIANCE**

**2. CALL TO ORDER AND ROLL CALL**

**3. PUBLIC FORUM:**

None.

**4. CONSENT ITEMS**

**4.1 Approval of Minutes: September 6, 2022**

Commissioner Rosaura Segura moved to approve the Minutes of September 6, 2022. The motion was seconded by Vice-Chair Autumn Anderson and on roll call carried by the following vote:

AYES: Autumn Anderson, John Ponte, Rosaura Segura, and Christopher Warner

NOES: None

ABSENT: Marika Rothfeld

ABSTAIN: None

RECUSE: None

**5. PUBLIC HEARINGS**

**5.1 Request by LMR Destinations LLC for a Use Permit Amendment and Development Agreement Amendment approval in order to amend the storm water drainage improvement requirements and provide additional funding for water conservation on the property located at 1000 Mills Lane in the Service Commercial (SC) and Twenty-acre Agriculture (A-20) districts.**

**Prepared By:** Maya DeRosa, Community Development Director

Community Development Director Maya DeRosa addressed the Planning Commission.

Chair Ponte opened the public hearing.

No ex parte communication was disclosed by the Planning Commission.

Community Development Director Maya DeRosa reported on the item and showed a presentation.

City Attorney Ethan Walsh addressed the Planning Commission.

Applicant, Ted Hall and Legal Counsel Rob Anglin addressed the Planning Commission.

David Gold addressed the Planning Commission.

Chair Ponte closed the public hearing.

Chair Ponte re-opened the public hearing.

Ted Hall addressed the Planning Commission.

Commissioner Christopher Warner moved that the Planning Commission find that none of the conditions specified in State CEQA Guidelines section 15162 require the preparation of a subsequent or supplemental EIR or MND and no additional environmental review is required; and adopt the attached resolution recommending the City Council make specific findings and recommending that the City Council adopt an Ordinance approving a Development Agreement Amendment between the applicant and the City of St. Helena for the LMR Destinations LLC lodging project at 1000 Mills Lane; and adopt the attached resolution recommending the City Council make specific findings and recommending that the City Council approve a Use Permit Amendment for the LMR Destinations LLC Lodging project at 1000 Mills Lane. The motion was seconded by Vice-Chair Autumn Anderson and on roll call carried by the following vote:

AYES: Autumn Anderson, John Ponte, Rosaura Segura, and Christopher Warner

NOES: None

ABSENT: Marika Rothfeld

ABSTAIN: None

RECUSE: None

**6. NEW BUSINESS**

None.

**7. SCHEDULED MATTERS**

None.

**8. DEPARTMENT REPORTS**

Community Development Director Maya DeRosa reported on the following:

- Regular Planning Commission meeting of October 4 is cancelled.
- Two public hearing items will be brought before the Planning Commission at the October 18 meeting; agenda will be delayed and published the week prior to the meeting.

**9. AGENDA FORCAST**

**10. ADJOURNMENT**

Chair Ponte adjourned the meeting at **6:30 p.m.**

The September 29, 2022 minutes were approved at the \_\_\_\_\_  
Planning Commission meeting.

**APPROVED:**

**ATTEST:**

\_\_\_\_\_  
John Ponte, Planning Commission Chair

\_\_\_\_\_  
Maya DeRosa, AICP  
Community Development Director



**MINUTES**  
**City of St. Helena**  
**Planning Commission Meeting**  
**Tuesday, October 18, 2022 @ 6:00 PM**  
**Vintage Hall Board Room - Second Floor**  
**465 Main Street, St. Helena**

A complete video recording of this meeting, except for closed session, can be found at <https://sthelena.civicweb.net/Portal/> or by calling the City Clerk at (707) 967-2792. The Planning Commission video is the official record of the Planning Commission meeting.

**Present:** Chair John Ponte, Vice-Chair Autumn Anderson, Commissioner Rosaura Segura, Commissioner Marika Rothfeld, and Commissioner Christopher Warner

**Absent:** None

**Staff Present:** Maya DeRosa, Community Development Director, Joseph Leach, Public Works Director and City Engineer, and Xinia Gamero, Planning Commission Secretary

**1. PLEDGE OF ALLEGIANCE**

**2. CALL TO ORDER AND ROLL CALL**

**3. PUBLIC FORUM:**

No public comment was received.

**4. CONSENT ITEMS**

None.

Vice-Chair Anderson recommended the Planning Commission move item 5.2 on the agenda prior to public hearing of item 5.1. Commissioner Warner and the Planning Commission supported the recommendation.

**5. PUBLIC HEARINGS**

- 5.2 Request by Joseph Farrell on behalf of Justin Hafen, for consideration and approval of a demolition of existing structures and design review to accommodate the construction of a single-family home, a garage and accessory dwelling unit on a property located at 1310 Hudson Avenue in the Medium Density Residential (MR) zoning district.

**Prepared By:** Chantal Powers, Contract Planner

Chair Ponte opened the public hearing.

No ex parte communication was disclosed by the Planning Commission.

Community Development Director Maya DeRosa addressed the Planning Commission.

Contract Planner Chantal Power reported on the item and showed a presentation.

Project Architect Joe Farrell addressed the Planning Commission.

Chair Ponte closed the public hearing.

Chair Ponte opened the public hearing.

Jeffrey Warren, neighbor, addressed the Planning Commission.

Commissioner Christopher Warner moved to determine that the project is exempt from the requirements of CEQA pursuant to Section 15303; and accept the required findings and approve the attached resolution granting design review and demolition permit approval for the proposed construction on the property located at 1310 Hudson Avenue. The motion was seconded by Commissioner Rosaura Segura and on roll call carried by the following vote:

AYES: Autumn Anderson, Rosaura Segura, John Ponte, Marika Rothfeld, and Christopher Warner

NOES: None

ABSENT: None

ABSTAIN: None

RECUSE: None

- 5.1 Request by Sasha Janev on behalf of Lorraine and Joe Berchtold for adoption of a resolution approving a demolition permit and design review to demolish an existing residence and accessory structures to accommodate the construction of a new single-family home and accessory dwelling unit on the property located at 2126 Madrona Avenue in the Medium Density Residential zoning district.

CEQA Determination: Categorically Exempt pursuant to Section 15301 (Existing Facilities) and 15303 (Construction or Conversion of Small Structures) of the CEQA Guidelines

**Prepared By:** Chantal Power, Contract Planner

Chair Ponte opened the public hearing.

No ex parte communication disclosed by the Planning Commission.

Contract Planner Chantal Power reported on the item and showed a presentation.

Sasha Janev, architect, Rob Anglin, legal counsel, and Mike Hubbard, family

friend, Claudia Schmidt, landscape designer addressed the Planning Commission.

Vice-Chair Anderson called for a recess at 7:44pm.

Chair Ponte reconvened the meeting at 7:52pm

Chair Ponte opened the public hearing.

Public speakers; Patti Herdell, Kathleen Herdell, Martin Hintz, Phil Murphy, Elaine De Man, Annette Smith, Diane Grosianno, John Zimmerman, Jody Morlet, Chris Herdell, Kelly Wheaton, Mary Agee, Frank Rodriguez.

Rob Anglin and Sasha Janev addressed the Planning Commission.

Chair Ponte closed the public hearing.

Commissioner Christopher Warner moved to extend the meeting until 9:20pm. The motion was seconded by Commissioner Autumn Anderson and on roll call carried by the following vote:

AYES: Autumn Anderson, Christopher Warner, Rosaura Segura, John Ponte, and Marika Rothfeld

NOES: None

ABSENT: None

ABSTAIN: None

RECUSE: None

Chair Ponte re-opened the public hearing.

Chair Ponte closed the public hearing.

Sasha Janev, Rob Anglin and Mike Hubbard addressed the Planning Commission.

Commissioner Christopher Warner moved for continuance of the Planning Commission hearing scheduled for December 6, 2022. The applicant was advised to provide additional information and revisions to the project as follows:

- 1)Provide more detail to the Water Neutrality Report;
- 2)Provide the Spottswoode Winery vineyard rehabilitation agreement, with expected or target production in tonnage per acre;
- 3)Provide a Drainage Report and Sewer Plans; (And other issues as considered relevant by both parties)
- 4)Consideration to reduce project size and scale;
- 5)Install story poles;
- 6)Schedule meetings with neighboring property owners and provide record of those meetings.

The motion was seconded by Vice-Chair Autumn Anderson and on roll call carried by the following vote:

AYES: Autumn Anderson, Rosaura Segura, John Ponte, Marika Rothfeld, and Christopher Warner  
NOES: None  
ABSENT: None  
ABSTAIN: None  
RECUSE: None

**6. SCHEDULED MATTERS**

None.

**7. DEPARTMENT REPORTS**

Community Development Director Maya DeRosa reported on the following:

- Public review draft of the Comprehensive Zoning Code Update- Joint City Council & Planning Commission meeting Wednesday October 26 at 5:00 p.m.
- Public review draft of the Comprehensive Zoning Code Update to be released Wednesday, October 19, 2022.

**8. AGENDA FORCAST**

**9. ADJOURNMENT**

Chair Ponte adjourned the meeting at **9:20 p.m.**

The October 18, 2022 minutes were approved at the \_\_\_\_\_ Planning Commission meeting.

**APPROVED:**

**ATTEST:**

\_\_\_\_\_  
John Ponte, Planning Commission Chair

\_\_\_\_\_  
Maya DeRosa, AICP  
Community Development Director

**MINUTES**  
**City of St. Helena**  
**Planning Commission Meeting**  
**Tuesday, December 6, 2022 @ 6:00 PM**  
**Vintage Hall Board Room - Second Floor**  
**465 Main Street, St. Helena**

A complete video recording of this meeting, except for closed session, can be found at <https://stheleena.civicweb.net/Portal/> or by calling the City Clerk at (707) 967-2792. The Planning Commission video is the official record of the Planning Commission meeting.

**Present:** Chair John Ponte, Vice-Chair Autumn Anderson, Commissioner Rosaura Segura, Commissioner Marika Rothfeld (arrived at 6:00pm post roll call), and Commissioner Christopher Warner

**Absent:** None

**Staff Present:** Maya DeRosa, Community Development Director, Joseph Leach, Public Works Director, Aaron Hecock, Senior Planner, and Xinia Gamero, Planning Commission Secretary

**1. PLEDGE OF ALLEGIANCE**

**2. CALL TO ORDER AND ROLL CALL**

**3. PUBLIC FORUM:**

None.

**4. CONSENT ITEMS**

**4.1 Approval of Minutes: November 1, 2022 and November 15, 2022**

Commissioner Christopher Warner moved to approve the Minutes on Consent Calendar. The motion was seconded by Commissioner Rosaura Segura and on roll call carried by the following vote:

AYES: Autumn Anderson, Rosaura Segura, John Ponte, Marika Rothfeld, and Christopher Warner

NOES: None

ABSENT: None

ABSTAIN: None

RECUSE: None

**5. PUBLIC HEARINGS**

**\*Item 5.1 continued to a date uncertain.**

**5.1 Request by Ron Bunch on behalf of Terry and Juli Pringle, for consideration and approval of a demolition of the existing home and design review to**

accommodate the construction of a single-family home, with an attached garage on a property located at 2484 Spring Mountain Road in the Woodlands and Watershed (WW) zoning district.

**Prepared By:** Chantal Power, Associate Planner

- 5.2 Progress update for request by Sasha Janev on behalf of Lorraine and Joe Berchtold for a demolition permit and design review to demolish an existing residence and accessory structures to accommodate the construction of a new single-family home and accessory dwelling unit on a property located at 2126 Madrona Avenue in the Twenty-Acre Agriculture zoning district.

**Prepared By:** Chantal Power, Associate Planner

Community Development Director Maya DeRosa addressed the Planning Commission.

Chair Ponte opened the public hearing.

No ex-parte communication was disclosed between the Planning Commission.

Contract Planner Chantal Power reported on the item and showed a presentation.

Trina Falace, property owner's representative, and Kathleen Herdell, neighbor, addressed the Planning Commission.

Chair Ponte closed the public hearing.

Chair Ponte re-opened the public hearing.

Chair Ponte closed the public hearing.

Commissioner Christopher Warner moved to continue the item to a date certain, March 7, 2023. The motion was seconded by Vice-Chair Autumn Anderson and on roll call carried by the following vote:

AYES: Autumn Anderson, Rosaura Segura, John Ponte, Marika Rothfeld, and Christopher Warner, Planning Commission

NOES: None

ABSENT: None

ABSTAIN: None

RECUSE: None

## 6. SCHEDULED MATTERS

None

**7. DEPARTMENT REPORTS**

Community Development Director Maya DeRosa reported on the following:

- Special Joint City Council and Planning Commission Zoning Code Update meeting to be held December 7, 2022.

**8. AGENDA FORCAST**

**9. ADJOURNMENT**

Chair Ponte adjourned the meeting at **7:00 p.m.**

The December 6, 2022 minutes were approved at the \_\_\_\_\_ Planning Commission meeting.

**APPROVED:**

**ATTEST:**

\_\_\_\_\_  
John Ponte, Planning Commission Chair

\_\_\_\_\_  
Maya DeRosa, AICP  
Community Development Director





## PLANNING COMMISSION REPORT

Planning Commission Meeting of December 20, 2022

**FILE NUMBER:** PL22-016

**SUBJECT:** Request by Ron Bunch on behalf of Terry and Juli Pringle, for consideration and approval of a demolition of the existing home and design review to accommodate the construction of a single-family home, with an attached garage on a property located at 2484 Spring Mountain Road in the Woodlands and Watershed (WW) zoning district.

**PREPARED BY:** Chantal Power, Associate Planner

**REVIEWED BY:** Maya DeRosa, Community Development Director

**APPROVED BY:** Maya DeRosa, Community Development Director

**APPLICATION FILED:**04/26/22

**ACCEPTED AS COMPLETE:**08/04/22

**LOCATION OF PROPERTY:** 2484 Spring Mountain Road

**APN:** 009-131-015

**GENERAL PLAN/ZONING:** Woodlands and Watershed

**APPLICANT:** Ron Bunch on behalf of  
Terry and Juli Pringle

**PHONE:** 707-965-3548

### **BACKGROUND**

The subject property is located in the Woodland and Watershed (WW) district, which allows very low density residential that ensures protection of wildlife, vegetation, open space and watershed resources. This designation applies to steep hillsides at the city's westernmost and easternmost boundaries, with the intent to accommodate low-density, estate type development in locations that are less suitable for agricultural use.

### **PROJECT DESCRIPTION**

The applicant is seeking approval for the demolition of an existing 2,582 square foot single-family residence with an attached 508 square foot garage, and design review

approval to construct a 3,619 square foot, single-family home, and a 759 square foot attached garage. The proposed single-family home will include a master bedroom and master bathroom, two additional bedrooms and 2 ½ additional bathrooms, an open plan kitchen, dining room and living room, a butler, a wine room, an office, and a laundry room. The proposed single-family home will maintain a 79-foot setback from the front property boundary, 153-foot and 81-foot interior side setbacks, and an 88-foot rear setback. Additional features include a courtyard, loggia, and a pool and spa.

As shown on the plans, the exterior will be finished with classic white fire rated board and batt vertical siding, and a standing seam charcoal metal roof, and anodized black metal windows and doors. The home will be constructed with solar panels for efficiency. The tallest point of the single-family home is proposed at 22'6". Additionally, the applicant will install three (3) 5,000 gallon water storage tanks for fire suppression.

## **ANALYSIS**

### **CEQA**

Staff has conducted the requisite analysis and concluded that the project is categorically exempt from the requirements of CEQA pursuant to Section 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc. The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA, Section 15300.2. The project site is not visible from a scenic highway, is not included on a hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts.

### **GENERAL PLAN**

The subject property has a General Plan Land Use designation of Woodlands and Watershed (WW). The WW land use designation allows for very low density residential that ensures the protection of wildlife, vegetation, open space, and watershed resources. This designation applies to steep hillsides at the City's westernmost and easternmost boundaries, with the intent to accommodate low-density estate type development in locations that are less suitable for agricultural use. The St. Helena General Plan Update 2040 and 2015-2023 Housing Element Goals, Policies, and Eight-Year Action Plan include the following policies that are relevant to the proposed project:

- LU1.4 – in order to minimize and postpone the need for expansion of Urban Limit Line, encourage infill development within the currently developed areas.

*The project proposes the redevelopment of a previously developed residential site and qualifies as infill development that will minimize and postpone the need for expansion of the Urban Limit Line.*

- PF1.5 – Continue to implement and update as necessary the City's Water Management Plan Ordinance and the City's Ordinance containing the Water Use

Efficiency Guidelines, along with other existing water conservation ordinances and measures.

*A Water Use Analysis was prepared for the project. The current estimated water usage on-site is 600 gallons per day (gpd). With the use of low flow water fixtures and appliances, and the removal of the existing turf lawn, the total water demand on the site will be reduced from by 600 gpd to 360 gpd.*

- HR1.6 – For development or redevelopment on a site that contains any structures over 45 years old, require a records search of the California Historical Resources Information System at the Northwest Information Center (NWIC) to determine the presence of historic resources. As warranted by the results of the records search, the City shall require evaluation of structures over 45 years old to determine their historical significance. Studies shall be prepared according to National Register Bulletin 24: Guidelines for Local Surveys: A Basis for Preservation Planning and the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation.

*A Historic Resource Evaluation Report was prepared for 2484 Spring Mountain Road and determined that the home built in 1951: a) is not directly associated with a major local regional development trend or event; b) was not directly associated with any person of local, regional, or national significance; c) the house is not architecturally distinctive and has been radically altered from its origins as a late-nineteenth century cottage; and d) the area has been significantly disturbed by ongoing and repeated development on the lot, and is not known to contain any archeological resources, and therefore, the house does not qualify as an historic resource.*

- PS3.2 – Restrict the intensity of development and the level of landform alteration in the hillside areas in order to minimize the potential for slope failure.

*The project proposes to build on an area that has already been graded for the previous home, with approximately 18,000 square feet that will need to be graded to accommodate the proposed expansion and placement of the proposal, or approximately 18.5 % of the total lot size, minimizing the impact on the existing hillside.*

- PS4.B – Continue to require implementation of best practices in fire resistance for all new and remodeled structures in fire-prone areas, including fire fuel removal, creation of defensible space for firefighters, construction with fire-resistant building materials, and installation of automatic sprinkler systems. Study the need to designate a Wildland-Urban Interface Fire Area within St. Helena to provide protection in additional areas.

*The project is located in the Woodlands and Watershed District, which requires fire sprinklers inside and outside of residential structures, and the project has been conditioned to meet this standard. The project proposes the installation of three (3) 5,000 gallon water storage tanks, and an additional 2,500 gallon tank dedicated to an existing fire hydrant to be*

*installed adjacent to the hammerhead fire truck turn around, and the home will be treated with fire resistant siding and roofing materials.*

- PS4.C – Require all structures in high wildfire hazard areas to maintain a clearance of flammable vegetation away from structures and to use fire-resistant ground covers. The minimum clearance distance should be 30 feet.

*The existing home already has a minimum 30-foot clearance, and the proposed home will be situated on the area of the lot that had been previously graded for the existing home. No new landscaping is proposed in connection with the project, other than some proposed planters.*

## ZONING

Consistent with the General Plan land use designation described above, the subject property has a zoning designation of Woodlands and Watershed (WW), which allows single-family detached homes, accessory structures and accessory dwelling units, noncommercial horticulture and gardening, supportive housing, transitional housing, and agricultural employee housing providing accommodations for six or fewer employees.

Pursuant to SHMC §17.40.060, the following development standards apply:

- Height of principal building – 35 feet (22'6" proposed)
- Front setback – 10% of lot depth (79' proposed, approximately 30% of lot depth)
- Side yard setback – 20 – 50 feet or 10% of lot width (81' approximately 23%, and 153', approximately 44% proposed)
- Rear setback – 10% of lot depth (88' proposed, approximately 35%)
- Lot coverage – the lesser of 10% or 20,000 square feet  
 Single-family home = 3,619 SF  
 Garage = 759 SF  
 Entry Porch = 135 SF  
 Deck = 1,304.5 SF  
 (5,817.5 square feet, or 6% lot coverage proposed on 2.23 acres or 97,138.8 square feet)
- No earth movement on slopes greater than 30% - Section 17.64.060(D) prohibits earth movement on slopes greater than 30%, with some exceptions.  
*The project proposes demolition of an single-family home and construction of a new single-family home on a portion of the property that had been previously graded for the construction of the existing home, though the proposal will require approximately 18,000 square feet of soil disturbance, all earth movement will occur on an area of the property of approximately 3% slope.*
- Ridgeline Visual Impact - Section 17.64.060(E) of the SHMC requires that no buildings (other than water tanks, which shall be screened) to be constructed within 100 feet of a primary ridgeline in order to preserve public views of prominent ridgelines.

*The property is accessed from a private drive not visible from any public right-of-way and does not feature a primary ridgeline (as indicated in the site photos, attachment 6). As such, this standard does not apply to this property or the proposed structures.*

*Staff Response:* *The project as proposed meets or exceeds the development standards prescribed by Section 17.36.060 of the SHMC.*

## **WATER**

Chapter 13.12.030 of the SHMC requires mandatory water efficiency measures and water demand offset requirements for new construction. Among these provisions is the requirement that any "new development" (i.e., construction that would introduce any freestanding building that contains water-using fixtures, any floor area additions to existing nonresidential structures, or any residential additions or remodeling that increases the number of independent living units) offset new water demand by an amount equal to the new demand placed on the city water system (i.e., it must be water neutral). The offset must be clearly demonstrated to the satisfaction of the Public Works Department.

*Staff Response:* *Water efficient plumbing fixture will be utilized throughout the proposed structures reducing the water usage from current usage on the site of 600 gpd to 360 gpd.*

## **PARKING**

SHMC Section 17.124.030 "Minimum Site Parking Requirements", requires that residential uses provide two parking spaces for the main dwelling unit, one of which shall be contained within a garage or carport.

*Staff Response:* *As detailed in the attached plan set, the project includes a large two car garage exceeding the minimum requirement for the proposed residence. The proposed driveway can accommodate additional off-street parking.*

## **DEMOLITION PERMIT**

As provided in SHMC Section 17.164.050(E), no permit authorizing the demolition of any building within any zoning district shall be issued until approved by the Planning Commission in accordance with the following findings:

1. That, based on the public record and testimony presented at a public hearing, the building is determined not to be a significant architectural or historical building. If a building is determined to be significant by the planning commission, no demolition will be authorized unless the following findings are made by the commission:
  - a. That the building poses a threat to health, safety and general welfare if it is not demolished,

- b. That restoration of the building is not feasible or practicable using current building codes including, but not limited to, the Historic Building Code provisions of the Uniform Building Code of the state of California,
  - c. That no public or other funding is available for financing renovation or purchase of the building.
- 2. That the demolition does not eliminate elements that are required to maintain the essential character of the neighborhood.
- 3. That design review of the proposed replacement structure is approved prior to approval of the demolition of a housing structure.

*Staff Response: The existing home was constructed in 1951 and is not historically or architecturally significant. A Historic Resources Evaluation was prepared for the existing home and determined the home to be historically and architecturally insignificant and ineligible for consideration as an historic resource. Therefore, the demolition of the existing structures to accommodate new construction would not impact a historical resource or otherwise negatively affect the character of the neighborhood.*

## DESIGN REVIEW

SHMC Section 17.64.040 requires design review approval for all subdivisions, signs, grading, removal of vegetation and new structures or buildings (except for one accessory dwelling unit which complies with the provisions set forth in Section 17.64.020(C)) for both permitted and conditional uses pursuant to SHMC Section 17.164. The purpose of design review is to, among other things, promote the qualities that bring value to the community and foster attractiveness and functional utility of the community as a place to live and work. The Planning Commission must find that the project takes reasonable account of the design criteria prescribed in SHMC Section 17.164.030 (listed below) in review of this application:

- 1. Consistency and compatibility with applicable elements of the general plan;

*The project is consistent and compatible with general plan policies LU1.4, PF1.5, HR1.6, PS3.2, PS4.B, and PS4.C.*

- 2. Compatibility of design with the immediate environment of the site;

*The proposed project is largely contained within the wooded hilly areas of the City and will not be visible from a public street or to most surrounding properties and has been proposed for construction on both the area with minimal slope and the flattest area of the site that was previously graded for the existing home which will be demolished to accommodate the proposal. The project proposes single-story construction, and fire-resistant construction materials, and has been conditioned to maintain adequate vegetation clearance around any structures.*

- 3. Relationship of the design to the site;

*The project proposes demolition of an existing residential structure totaling approximately 3,090 square feet to accommodate the construction of a new single-family residence and associated structures totaling approximately 5,817 square feet in approximately the previously graded area of the parcel, which provides adequate defensible space around the structure and will utilize fire rated materials, as well as interior and exterior sprinklers and water storage tanks, as required for structures built in high fire areas.*

4. Determination that the design is compatible in areas considered by the board as having a unified design or historical character;

*The existing home was constructed in 1951. An Historic Resource Evaluation was prepared for the property and found that the home does not meet the eligibility requirements to be listed on the national, state, or local historic registers and is not located in an historic district.*

5. Whether the design promotes harmonious transition in scale and character in areas between different designated land uses;

*The project is located in and completely surrounded by properties within the Woodlands and Watershed (WW) zone and surrounded by substantial tree canopy which would mostly screen the proposed structures from other properties including property in other land use designations.*

6. Compatibility with future construction both on and off site;

*The project is located in the WW zone which allows very low-density residential development, and the project meets or exceeds the requirements of the WW zone.*

7. Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;

*The proposed single-family home will use fire rated, white board and batten siding, charcoal metal standing seam roof, anodized black metal windows and doors, and will be situated in an area of the property that had been previously graded for the existing home. The materials, colors, and design of the proposed project are appropriate to the function of the residential use.*

8. Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;

*The proposed single-family home will be situated in roughly the middle of the lot on an area that is flat, much of it having been graded for use by the existing home. There is a long driveway with a hammerhead turn-around for emergency vehicle access. A pool and spa will be placed at the rear of the home as is typical and there is adequate space for circulation between the various functions on the site.*

9. Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;

*The project meets the development requirements of the WW zone, including density, setbacks, parking, and lot coverage. Having a proposed lot coverage of approximately 6% the project provides adequate open space. Other than some proposed planters, no new landscaping is proposed for the site, which is located in a heavily wooded area that requires adequate clearance for defensible open space around the proposed structure.*

10. Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;

*The project proposes adequate on-site parking for the proposed single-family home and includes a very large driveway that can accommodate visitors and has been designed to meet the turn-around requirements for emergency vehicles. There are no major roadways adjacent to the site. All homes in the immediate area are accessed through private drives.*

11. Whether natural features and vegetation are appropriately preserved and integrated with the project;

*The project is located in a heavily wooded area, will preserve existing trees on site, and will maintain adequate defensible space.*

12. Whether the materials, textures, colors, and details of the construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structures and functions;

*The fire rated white board and batten siding, charcoal standing seam metal roof, anodized black metal windows and doors are an appropriate expression of the residential nature of the proposal and are compatible with other homes in the neighborhood, though most homes are minimally visible to one another due to the heavily wooded nature of the area.*

13. Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors,

create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;

*The project is located in a high fire, heavily wooded area of the City, and is surrounded by naturally occurring vegetation that will be preserved, with adequate defensible area provided around the proposed single-family home. Other than some proposed planters, no new landscaping is proposed for the site and the existing lawn will be removed and replaced with decomposed granite to reduce on-site water usage.*

14. Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.

*The project will be required to comply with the Title 24 Energy requirements of the California Building Code, and has proposed the use of solar panels to reduce energy usage, and the existing lawn will be replaced by decomposed granite to reduce water usage.*

#### **ISSUES**

Staff has not identified any outstanding issues related to this application that require additional discussion.

#### **CORRESPONDENCE**

At the time of packet distribution, staff had not received any correspondence related to this application.

#### **STAFF RECOMMENDATION**

For the reasons described above, staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA pursuant to Section 15303; and
2. Accept the required findings and approve the attached resolution granting demolition permit and design review approval for the demolition of existing structures and the construction of a single-family home on the property located at 2484 Spring Mountain Road.

#### **ATTACHMENTS**

[Resolution](#)

[Project Plans](#)

[Project Statement](#)

[Historical Report 2022](#)

[Water Use Analysis](#)

[Site Photos](#)

**CITY OF ST. HELENA PLANNING COMMISSION  
RESOLUTION NO.  
GRANTING DEMOLITION AND DESIGN REVIEW APPROVAL TO  
2484 SPRING MOUNTAIN ROAD (File No. PL22-016)**

**PROPERTY OWNER:** Terry and Juli Pringle

**APN:** 009-131-015

**Recitals**

1. Request by Ron Bunch on behalf of Terry and Juli Pringle, for consideration and approval of a demolition of the existing home and design review to accommodate the construction of a single-family home, with an attached garage on a property located at 2484 Spring Mountain Road in the Woodlands and Watershed (WW) zoning district; and
2. A public notice was published in the Napa Valley Register and mailed to residents and occupants within 300 feet of the project site in compliance with state and local law; and
3. The Planning Commission of the City of St. Helena, State of California, considered the project, staff report, and all testimony, written and spoken, at a duly noticed public hearing on December 20, 2022; and
4. Now, therefore let it be found that the Planning Commission approves the design review thereby authorizing the proposal contained in said approved plans dated December 20, 2022, based on the findings below and subject to the conditions of approval enumerated herein.

**Resolution**

- A. In making the findings in this Resolution, the Planning Commission relied upon and hereby incorporates by reference all of the documents referenced in this Resolution and the associated staff reports, City files for this matter, correspondence, presentations and other materials.
- B. The Planning Commission hereby finds that the project is exempt from the requirements of CEQA pursuant to Section 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc. The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA Section 15300.2. The project site is not visible from a scenic highway, is not included on a hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts.
- C. Pursuant to St. Helena Municipal Code (SHMC) Section 17.164.050, the Planning Commission makes the following findings to support the motion to approve the demolition permit to allow for the demolition the existing structures on-site:
  1. That, based on the public record and testimony presented at a public hearing, the building is determined not to be a significant architectural or historical building.

2. That the demolition does not eliminate elements that are required to maintain the essential character of the neighborhood; and
3. That the design review of the proposed replacement structure is approved prior to approval of the demolition of a housing structure.

*The existing home was constructed in 1951 and is not historically or architecturally significant. A Historic Resources Evaluation was prepared for the existing home that determined the home to be historically and architecturally insignificant and ineligible for consideration as an historic resource. Therefore, the demolition of the existing structures to accommodate new construction would not impact a historical resource or otherwise negatively affect the character of the neighborhood.*

- D. In accordance with the design review criteria identified in SHMC Section 17.164.030, the Planning Commission finds that the project demonstrates the following:

1. Consistency and compatibility with applicable elements of the general plan;

*The project is consistent and compatible with general plan policies LU1.4, PF1.5, HR1.6, PS3.2, PS4.B, and PS4.C.*

2. Compatibility of design with the immediate environment of the site;

*The proposed project is largely contained within the wooded hilly areas of the City and will not be visible from a public street or to most surrounding properties and has been proposed for construction on both the area with minimal slope and the flattest area of the site that was previously graded for the existing home which will be demolished to accommodate the proposal. The project proposes single-story construction, and fire-resistant construction materials, and has been conditioned to maintain adequate vegetation clearance around any structures.*

3. Relationship of the design to the site;

*The project proposes demolition of an existing residential structure totaling approximately 3,090 square feet to accommodate the construction of a new single-family residence and associated structures totaling approximately 5,817 square feet in approximately the previously graded area of the parcel, which provides adequate defensible space around the structure and will utilize fire rated materials, as well as interior and exterior sprinklers and water storage tanks, as required for structures built in high fire areas.*

4. Determination that the design is compatible in areas considered by the board as having a unified design or historical character;

*The existing home was constructed in 1951. An Historic Resource Analysis was conducted for the property found that the home does not meet the eligibility requirements to be listed on the national, state, or local historic registers and is not located in an historic district.*

5. Whether the design promotes harmonious transition in scale and character in

areas between different designated land uses;

*The project is located in and completely surrounded by properties within the Woodlands and Watershed (WW) zone and surrounded by substantial tree canopy which would mostly screen the proposed structures from other properties including property in other land use designations.*

6. Compatibility with future construction both on and off the site;

*The project is located in the WW zone which allows very low-density residential development, and the project meets or exceeds the requirements of the WW zone.*

7. Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;

*The proposed single-family home will use fire rated, white board and batten siding, charcoal metal standing seam roof, anodized black metal windows and doors, and will be situated in approximately the same location as the existing home. The materials, colors, and design of the proposed project are appropriate to the function of the residential use.*

8. Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;

*The proposed single-family home will be situated in roughly the middle of the lot on an area that is flat, having been graded for use by the existing home. There is a long driveway with a hammerhead turn-around for emergency vehicle access. A pool and spa will be placed at the rear of the home as is typical and there is adequate space for circulation between the various functions on the site.*

9. Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;

*The project meets the development requirements of the WW zone, including density, setbacks, parking, and lot coverage. Having a proposed lot coverage of approximately 6% the project provides adequate open space. Other than some proposed planters, no new landscaping is proposed for the site, which is located in a heavily wooded area that requires adequate clearance for defensible open space around the proposed structure.*

10. Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;

*The project proposes adequate on-site parking for the proposed single-family home and includes a very large driveway that can accommodate visitors and has been designed to meet the turn-around requirements for emergency vehicles. There are no major roadways adjacent to the site. All homes in the*

*immediate area are accessed through private drives.*

11. Whether natural features and vegetation are appropriately preserved and integrated with the project;

*The project is located in a heavily wooded area, will preserve existing trees on site, and will maintain adequate defensible space.*

12. Whether the materials, textures, colors, and details of the construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structures and functions;

*The fire rated white board and batten siding, charcoal standing seam metal roof, anodized black metal windows and doors are an appropriate expression of the residential nature of the proposal and are compatible with other homes in the neighborhood, though most homes are minimally visible to one another due to the heavily wooded nature of the area.*

13. Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors, create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;

*The project is located in a high fire, heavily wooded area of the City, and is surrounded by naturally occurring vegetation that will be preserved, with adequate defensible area provided around the proposed single-family home. Other than some proposed planters, no new landscaping is proposed for the site and the existing lawn will be removed and replaced with decomposed granite to reduce on-site water usage.*

14. Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.

*The project will be required to comply with the Title 24 Energy requirements of the California Building Code, and the Green Building Code and has proposed the use of solar panels to reduce energy usage, and the existing lawn will be replaced by decomposed granite to reduce water usage.*

#### **Planning Department Conditions of Approval**

- E. The Planning Commission approves a demolition and design review for the above-described project with the following conditions of approval. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.

1. The project shall be in conformance with all city ordinances, rules, regulations

and policies in effect at the time of issuance of a building permit.

2. The design review shall be vested within one (1) year from the date of final action. A building permit for the use allowed under this approval shall have been applied for within one (1) year from the effective date of this action or the approval shall expire, provided however that the approval may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.130, Extension of Permits and Approvals.
3. Any request for an extension of this approval shall be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.
4. The approvals shall not become effective until fourteen (14) calendar days after approval, providing that the action is not appealed by the City Council or any other interested party within that 14-day period.
5. All required fees, including planning fees, development impact fees, residential in-lieu housing fees, building fees, toilet retrofit fees, and St. Helena Unified School District fees shall be paid prior to issuance of a building permit. Fees shall be those in effect at the time of the issuance of the building permit.
6. Pursuant to City Council Resolution 2003-65, the owner and applicant are informed of the following:  
  
In recognition of the need for additional affordable housing, and to mitigate the effects of this development on the supply and demand of affordable housing, the permittee shall be subject to a Housing Impact Fee, an inclusionary requirement, an in-lieu fee, and/or similar fair and appropriate mechanisms, to provide funds for or to develop additional affordable housing.
7. Compliance with all permit conditions shall occur in accordance with specific regulations but in all cases no later than prior to occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
8. In any action or proceeding to attack, challenge, invalidate, set aside, void or annul the City's approval of the applicant's Project, in whole or in part, the applicant shall defend, at its own expense and without any cost to the City, and with counsel acceptable to the City, and shall fully and completely indemnify and hold the City, its agents, officers, and employees harmless from and against any and all claims, causes of action, damages, costs, attorney's fees and liability of any kind, so long as the City reasonably promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
9. Provided they are in general compliance with this approval, minor modifications may be approved by the Planning Director.
10. Pursuant to St. Helena Municipal Code Section 17.08.110, this permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.

11. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The property owners or their designee shall be responsible for meeting with the Building Official, Fire Inspector and or Public Works Department to review compliance with Building Codes, Fire Codes and specific Public Works Standards including fire protection systems and any applicable accessibility standards of Title 24.
12. Construction shall be in compliance with plans submitted and reviewed by the Planning Commission on December 20, 2022, except as modified herein.
13. During construction, the project site shall be adequately fenced and secured to prevent trespassing.
14. Exterior lighting shall be directed or shielded to prevent glare onto public roadways or adjacent properties.
15. Fire-Resistive Construction. Roofing materials shall be noncombustible. All residences shall have interior and exterior sprinklers. All other structures shall have exterior sprinklers. All parcels shall have two thousand five hundred (2,500) gallons of water storage situated adjacent to or at higher elevation than the main structure on the parcel.
16. The proposed water storage tanks shall be filled from a source other than a City of St. Helena potable water sources.
17. To reduce disturbance of residents in the project vicinity, construction activities which generate noise that can be heard at the property line of any parcel of real property within the City limits shall be limited to 8:00 a.m. to 5:00 p.m. Monday through Saturday. Delivery of materials/equipment and cleaning and servicing of machines/equipment shall be limited to 7:00 a.m. to 6:00 p.m. Exceptions to these time restrictions may be granted by the Public Works Director for one of the following reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The Public Works Director must be notified and give approval in advance of such work. No construction activities shall occur on Sundays or federal or local holidays that generate noise that can be heard at the property line of any parcel of real property within the City limits.

**Public Works Department Conditions of Approval**

18. The Applicant shall be responsible for all City plan check and inspection costs as described in the St. Helena Comprehensive Fee and Rate Schedule.
19. All public improvements utility connections shall be designed in accordance with the City of St. Helena's Construction Standards (SHMC 16.32.240).
20. The City has adopted the latest edition of the Bay Area Stormwater Management Agencies Association (BASMAA) Post-Construction Manual. Construction plans shall be prepared in accordance with the BASMAA Manual and the State Water Resources Control Board Phase II Municipal Separate Storm Water System

(MS4) General Permit (Order 2013-0001 DWQ). Approval of project by Planning Commission does not constitute compliance with storm water regulations nor a right to develop per approved plans unless this condition of approval is fully satisfied.

21. An erosion control plan pursuant to SHMC Section 17.64.060(A) is required for the proposed project.
22. There will be no earth movement on slopes in excess of thirty percent (30%) pursuant to SHMC Section 17.64.060(D). A grading permit shall be required subject to SHMC Section 15.12. Grading plans, public improvement plans and connections to public utilities shall be prepared by a California Licensed Civil Engineer. Final grading plans shall be revised to reflect existing slopes (in percent) where construction is proposed.
23. Grading plans, public improvement plans and connections to public utilities shall be prepared by a California Licensed Civil Engineer.
24. An Encroachment Permit is required for all work within City right of way.
25. All public facilities damaged by construction activities shall be the responsibility of the Applicant and shall be repaired to the satisfaction of the City at the Applicant's expense.
26. During water shortage emergencies, all construction water used for the project shall be obtained from a source other than a City of St. Helena potable water sources (SHMC 13.04.221).

**Building Department Conditions of Approval**

27. A building permit is required for all onsite demolition, construction and/or change of occupancy.
28. The applicant will be required to comply with the codes adopted at the time the applicant applies for a building permit. At this time the City of St. Helena utilizes the 2019 Title 24 codes.
29. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.
30. The applicant shall provide a construction waste management plan with the building permit application.
31. The plans for construction shall include a checklist for compliance with the California Green Buildings Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.

32. When submitting plans, the title page shall include all information referenced on the building permit application checklist Title Page requirements.
33. Building permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application.
34. Any deferral of required submittal items shall have prior approval from the Building Official; however, deferral of a fire sprinkler system design is not allowed.
35. The applicant shall obtain approval from Napa County for the septic system prior to building permit issuance.
36. New buildings constructed within the Wildfire Urban Interface Area shall comply with Section R337 of the California Residential Code, and requirements of the California Fire Code, including amendments adopted by the City of St. Helena.

**Fire Department Conditions of Approval**

1. Plans submitted for building permit shall exhibit compliance with the current St. Helena Fire Code, as adopted and codified in St. Helena Municipal Code Chapter 15.36 and include compliance with vegetation hazard mitigation requirements of Section 8.08.010 (E)(9) of the St. Helena Municipal Code.
2. Fire sprinklers shall be installed as required by Fire Code and the Fire Department.
3. One hour minimum fire-resistant construction on all exterior walls within 10' of property boundary is required. Fire resistant construction of interior walls shall be determined by type of occupancy.
4. Any gates installed to control vehicular access to property are required to be setback 30-feet from the property line and/or edge of pavement, whichever is greater. No vehicle gates may be installed without Fire Department and Public Works Department review and explicit approval.
5. Defensible Space for Structures and Roads:
  - a. Maintain an effective fuel break by removing and clearing away flammable vegetation and combustible material from areas within 100 feet of buildings and structures;
  - b. Remove portions of trees which extend within 10 feet of the outlet of a chimney;
  - c. Maintain trees adjacent to overhanging a building free of dead vegetative growth;

- d. Areas within 10 feet on each side of the driveway must be cleared of flammable vegetation and other combustible growth.
- 6. A fire apparatus turn around must be constructed according to the specification of one of three pre-approved designs implemented by the St. Helena Fire Department.

**I HEREBY CERTIFY** that the foregoing demolition and design review application was duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on December 20, 2022 by the following roll call vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

APPROVED:

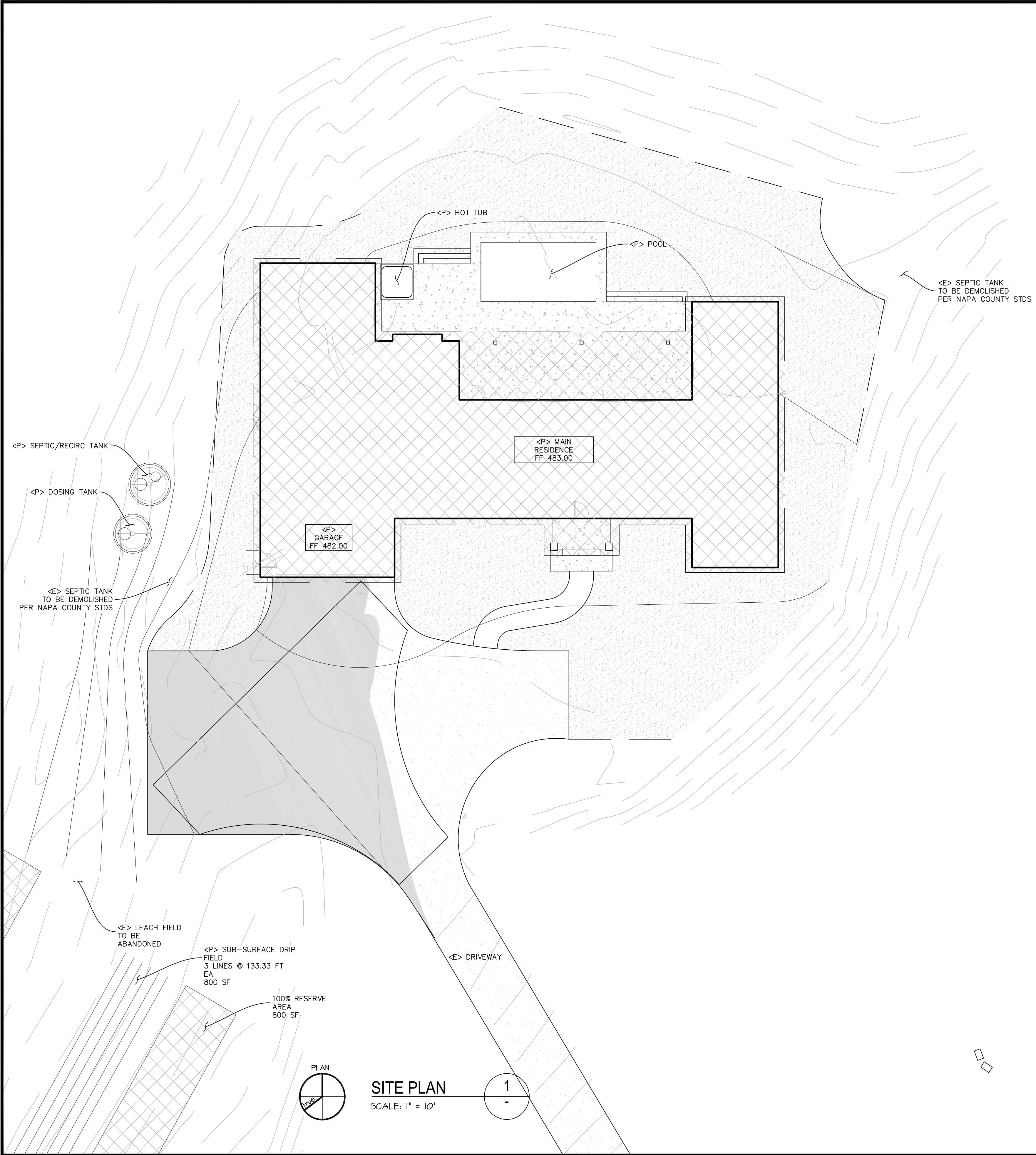
ATTEST:

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John Ponte  
Chair, Planning Commission

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Maya DeRosa, AICP  
Planning and Building Director



SHEET INDEX:

Architectural

- A0.1 Sheet Index, Project Data, Vicinity Map, Site & Roof Plan
- A2.1 Existing Floor Plan w/ Proposed Overlay
- A2.2 Proposed Floor Plan
- A2.3 Roof Plan
- A3.1 Front & Rear Elevations
- A3.1c Color Front & Rear Elevations
- A3.2 Side Elevations

PROJECT ADDRESS:

2484 Spring Mountain Road  
St. Helena CA 94514

PROPERTY OWNERS:

Terry & Julie Pringle  
2484 Spring Mountain Road  
St. Helena CA 94514

SCOPE OF WORK:

HOME REPLACEMENT ON EXISTING LOCATION

APPLICABLE BUILDING CODES:

- 2019 CALIFORNIA BUILDING ADMINISTRATIVE CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL BUILDING CODE
- 2019 CALIFORNIA HISTORICAL BUILDING CODE (CHBC)
- 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA ENERGY CODE (CENC)
- 2019 CALIFORNIA GREEN CODE
- 2019 NAPA COUNTY CODE

APN:

R3 RESIDENTIAL

SPRINKLERS:

REQUIRED

BUILDING AREAS:

|                      |          |
|----------------------|----------|
| Proposed Main Floor: | 3,619 sf |
| Garage:              | 759 sf   |
| Patio/Pool Deck:     | 1,653 sf |
| Entry Porch:         | 135 sf   |
| Total Coverage:      | 6,166 sf |

DRAINAGE & PERMEABLE PATHS

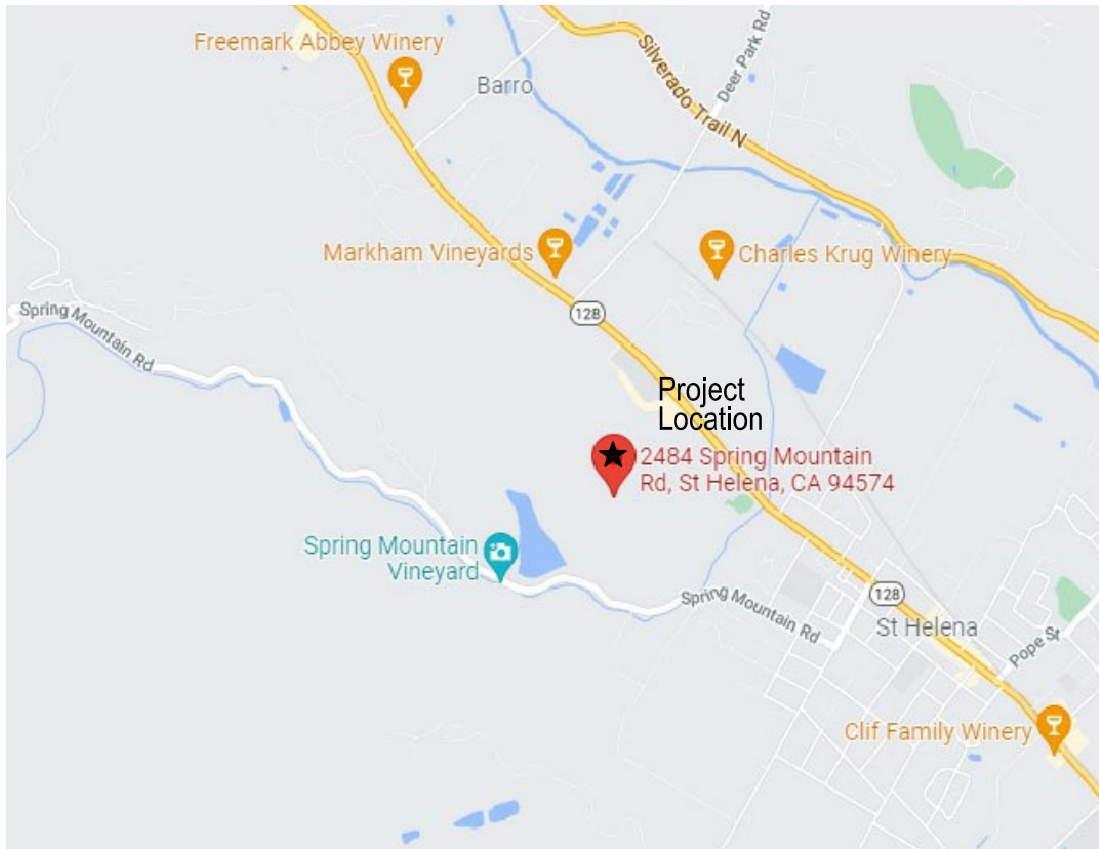
GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 6" (5% SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

RODENT CONTROL

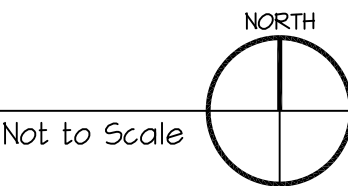
ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

WASTE MANAGEMENT

OWNER WILL SUBMIT A LETTER OF INTENT TO HIRE AN APPROVED WASTE MANAGEMENT COMPANY TO COLLECT & DOCUMENT ALL WASTE.



Vicinity Map



| Revision | Date |
|----------|------|
|          |      |
|          |      |
|          |      |
|          |      |
|          |      |

Contractor/Designer:

Bunch Construction, Inc.  
625 Howell Mt. Rd. S.  
Anglin, CA 94508  
707-465-3548 office  
877-244-5616 fax  
bci2002@yahoo.com

For Bunch

Structural Engineer:

Vertex  
David J. Wilcox  
155 Baywood Drive  
Petaluma CA 94454  
707-321-8244

Civil Engineer:

Joel Dickerson P.E.  
Madrone Engineering  
St. Helena CA  
(707) 302-6280  
www.madrone.engineering

Architectural Drafting:

n2k CAD Services  
319 12th Street  
Petaluma, CA 94452  
info@n2kCAD.com

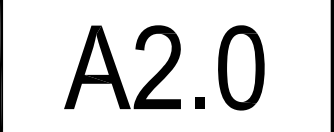
Drawings for:

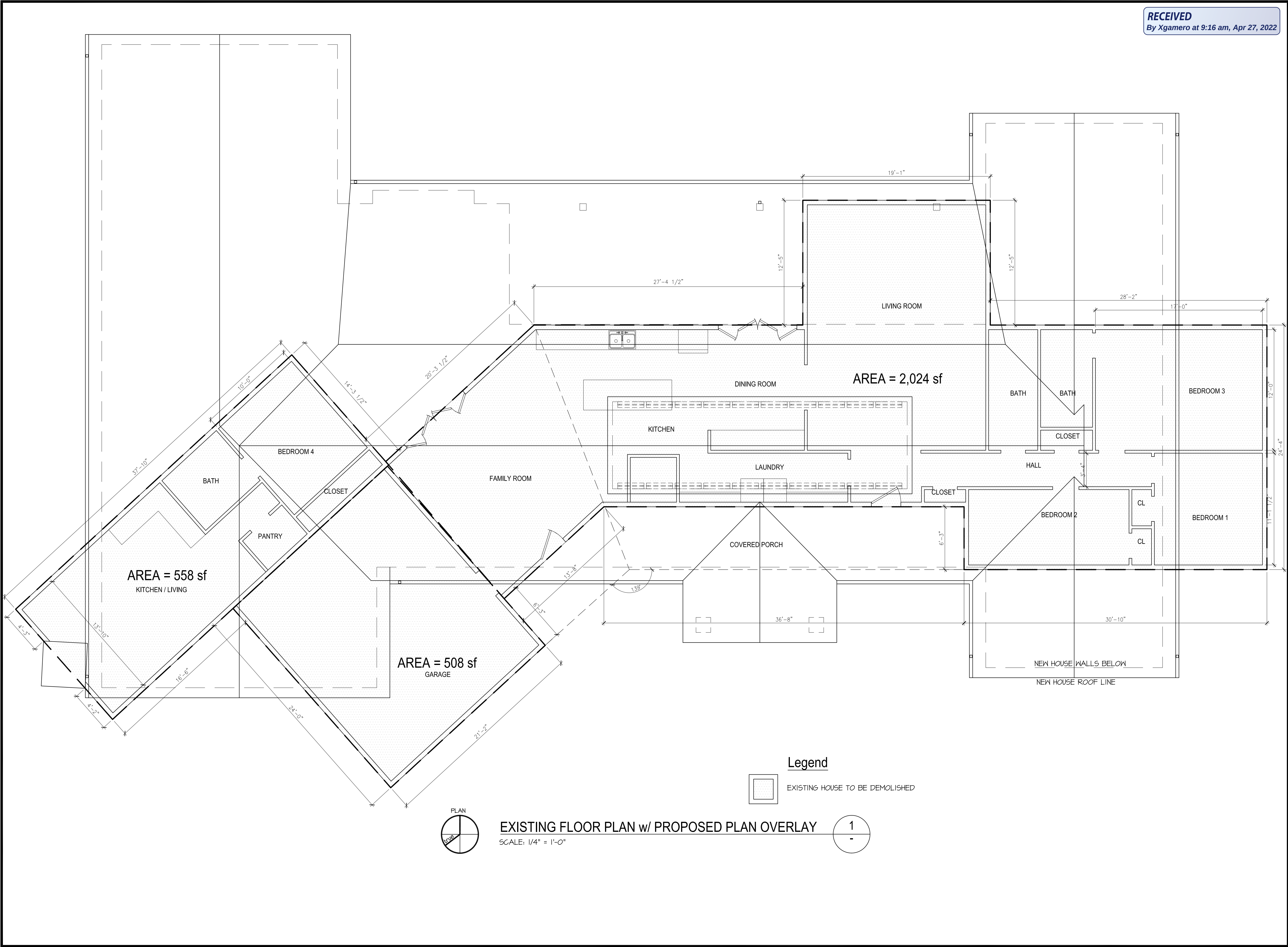
The Pringle  
Residence

2484 Spring Mtn. Rd  
St. Helena, CA

|                           |
|---------------------------|
| DRAWN<br>n2k              |
| ISSUED<br>Planning Review |
| DATE<br>April 20, 2022    |
| SCALE<br>AS NOTED         |
| 0 10' 20' 40'<br>SHEET    |

A0.1





| Revision | Date |
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Contractor/Designer:  
Bunch Construction, Inc.  
625 Howell Mt. Rd. S.  
Anglin, CA 94508  
107-465-3548 office  
877-244-5676 fax  
bc12002@bchco.com

For Bunch

Structural Engineer:  
Vertex  
David J. Wilcox  
155 Baywood Drive  
Fetaluma CA 94454  
107-321-8244

Civil Engineer:  
Joel Dickerson P.E.  
Madrone Engineering  
St. Helena CA  
(707) 302-6280  
www.madrone-engineering

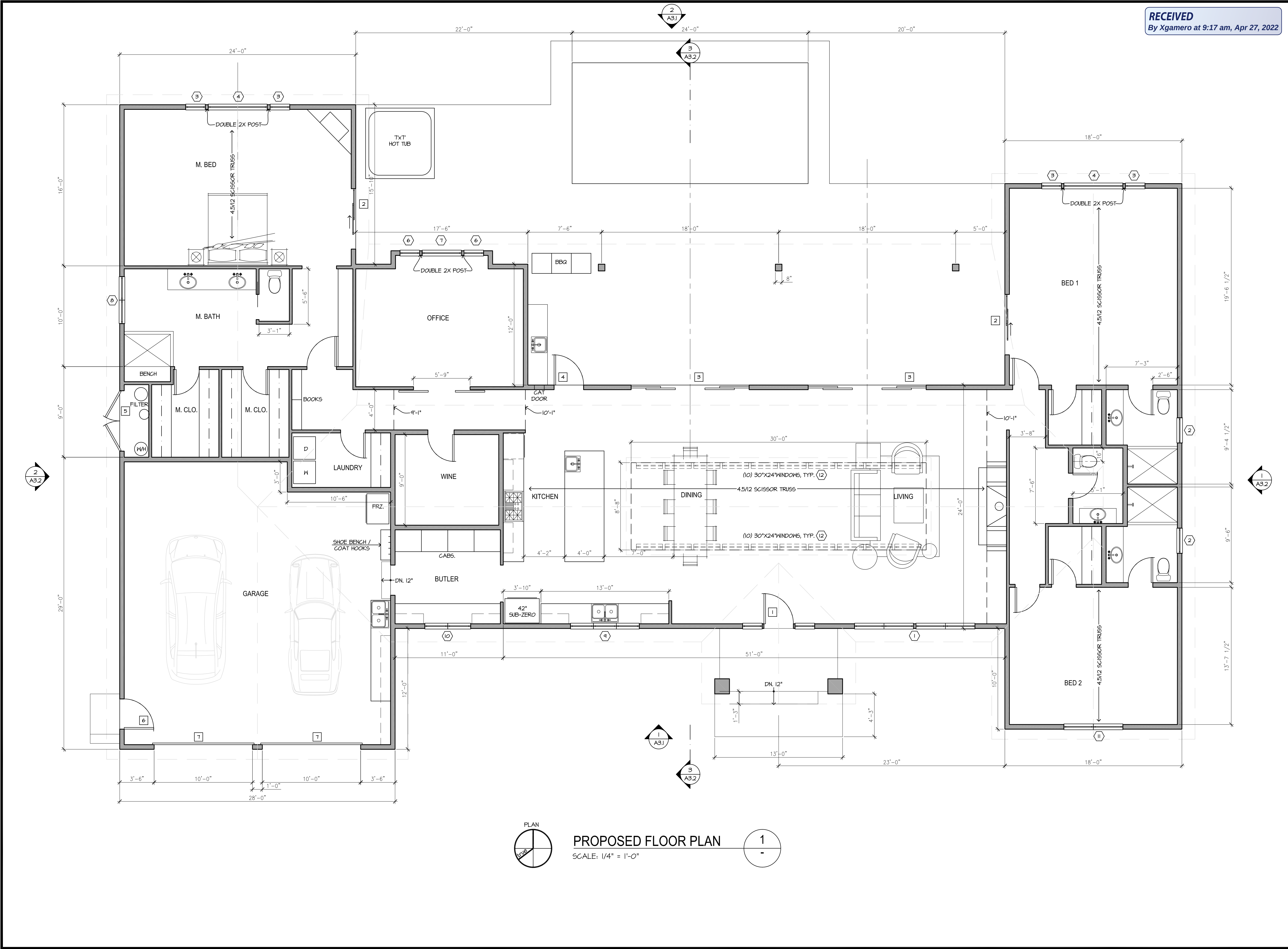
Architectural Drafting:  
n2k CAD Services  
319 12th Street  
Fetaluma, CA 94452  
info@n2kCAD.com

Drawings for:  
The Pringle  
Residence

2484 Spring Mtn. Rd  
St. Helena, CA

|                           |
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| DRAWN<br>n2k              |
| ISSUED<br>Planning Review |
| DATE<br>April 20, 2022    |
| SCALE<br>AS NOTED         |
| 0 12' 24' 36'             |
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|                                                                                                                                                               |
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| Contractor/Designer:<br>Bunch Construction, Inc.<br>625 Howell Mt. Rd. S.<br>Anglin, CA 94508<br>107-465-3548 office<br>877-244-5616 fax<br>bc12002@bchoo.com |
| <b>ROI BUNCH</b>                                                                                                                                              |

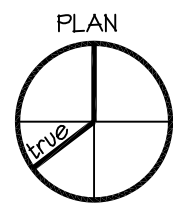
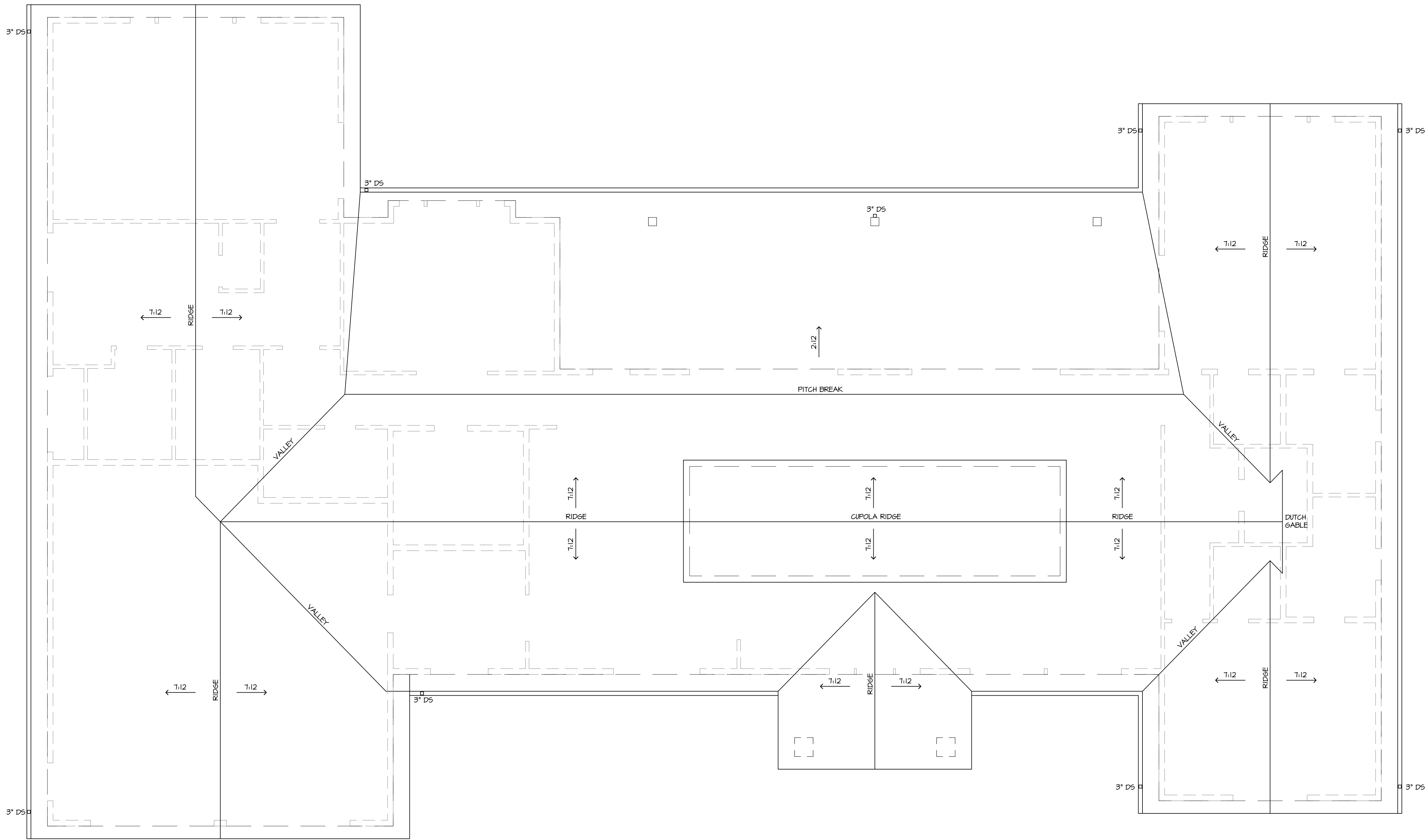
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|-----------------------------------------------------------------------------------------------------------------------------|
| Structural Engineer:<br>Vertex<br>David J. Wilcox<br>155 Baywood Drive<br>Fetalima CA 94454<br>107-321-8244                 |
| Civil Engineer:<br>Joel Dickerson P.E.<br>Madrone Engineering<br>St. Helena CA<br>(707) 302-6280<br>www.madrone.engineering |
| Architectural Drafting:<br>n2k CAD Services<br>314 12th Street<br>Fetalima, CA 94452<br>info@n2kCAD.com                     |

|                                                                                                    |
|----------------------------------------------------------------------------------------------------|
| Drawings for:<br><br><b>The Pringle<br/>Residence</b><br><br>2484 Spring Mtn. Rd<br>St. Helena, CA |
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| DRAWN<br>n2k              |
| ISSUED<br>Planning Review |
| DATE<br>April 20, 2022    |
| SCALE<br>AS NOTED         |
| 0 4' 8' 12' 16'           |
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| <b>A2.2</b> |
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RECEIVED  
By Xgamero at 9:17 am, Apr 27, 2022



ROOF PLAN  
SCALE: 1/4" = 1'-0"

1  
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| Revision | Date |
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Contractor/Designer:

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707-465-3548 office  
877-244-5676 fax  
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ROI BUNCH

Structural Engineer:

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Civil Engineer:

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Architectural Drafting:

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Drawings for:

The Pringle  
Residence

2484 Spring Mtn. Rd  
St. Helena, CA

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| 0 4" 8" 12" 16"<br>SHEET  |

A2.3



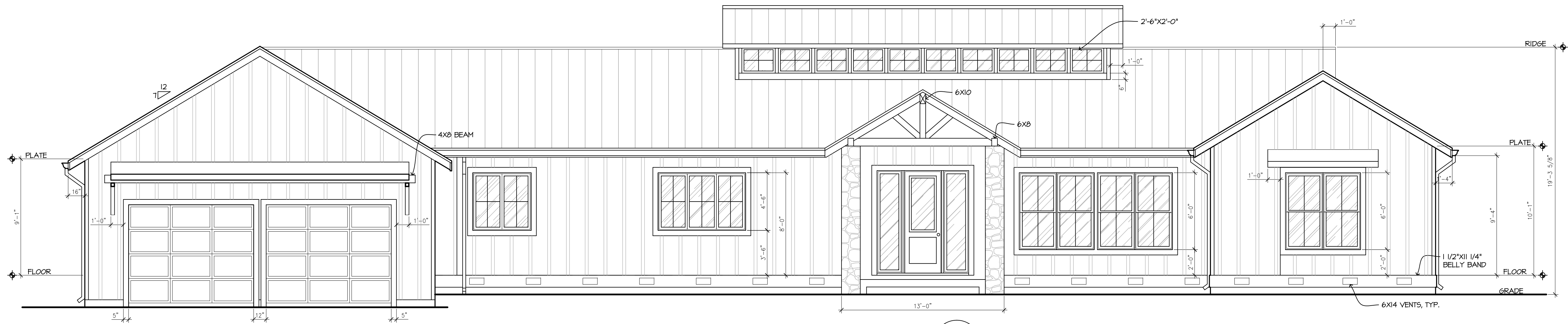
EXISTING PHOTO - REAR

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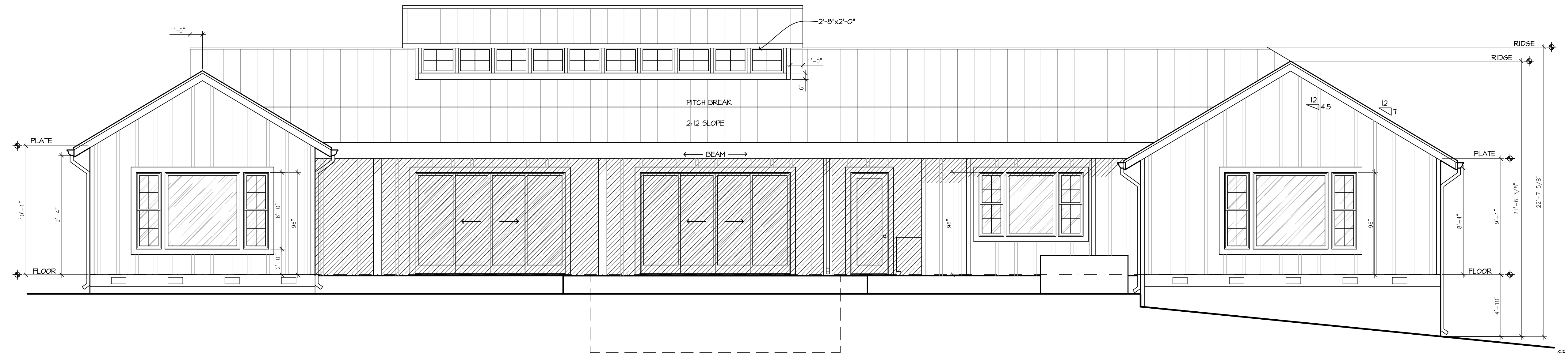
EXISTING PHOTO - FRONT

3  
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PROPOSED FRONT ELEVATION

1  
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PROPOSED REAR ELEVATION

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Anglin, CA 94508  
707-465-3548 office  
877-244-5616 fax  
bc12002@yahoo.com

**ROI BUNCH**

Structural Engineer:  
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Architectural Drafting:  
n2k CAD Services  
319 12th Street  
Fetalima, CA 94452  
Info@n2kCAD.com

Drawings for:  
**The Pringle  
Residence**

2484 Spring Mtn. Rd  
St. Helena, CA

|                           |
|---------------------------|
| DRAWN<br>n2k              |
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| DATE<br>April 20, 2022    |
| SCALE<br>AS NOTED         |
| 0 4" 8" 12" 16"<br>SHEET  |

A3.1



| Revision | Date |
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Contractor/Designer:  
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625 Howell Mt. Rd. S.  
Anglin, CA 94508  
707-465-3548 office  
877-244-5676 fax  
bci2002@bchco.com

For Bunch

Structural Engineer:  
Vertex  
David J. Wilcox  
755 Baywood Drive  
Fetalma CA 94454  
707-321-8244

Civil Engineer:  
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Architectural Drafting:  
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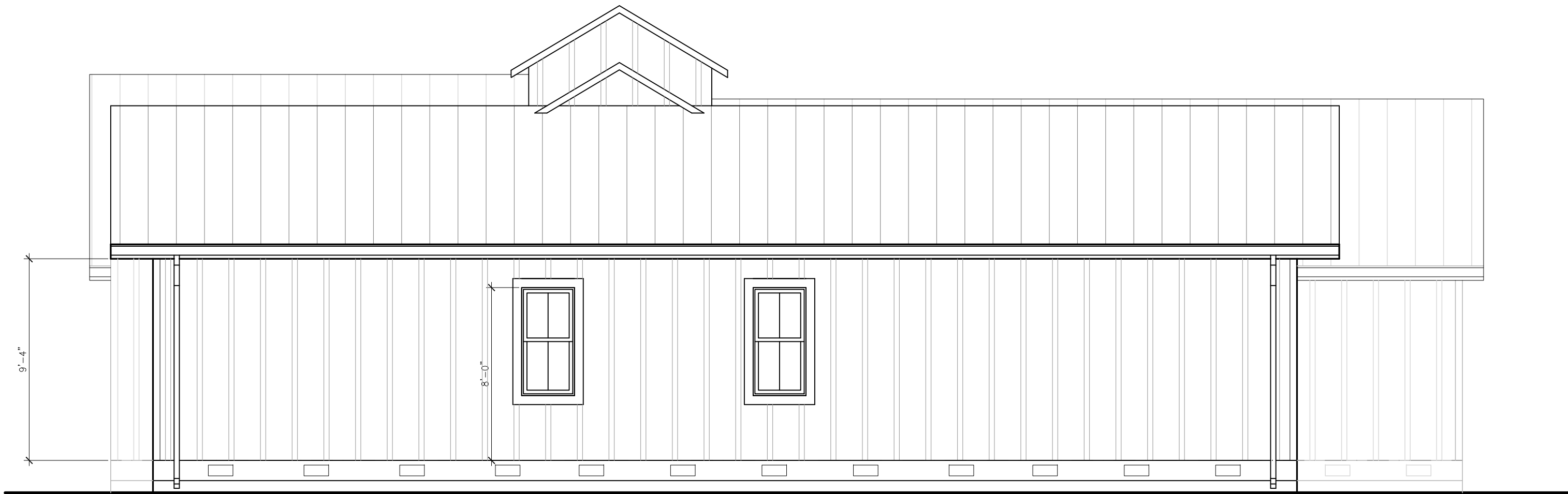
Drawings for:  
The Pringle  
Residence

2484 Spring Mtn. Rd  
St. Helena, CA

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| DRAWN<br>n2k                                                                                         |
| ISSUED<br>Planning Review                                                                            |
| DATE<br>April 20, 2022                                                                               |
| SCALE<br>AS NOTED                                                                                    |
| 0 4' 8' 12' 16' 20' 24' 28' 32' 36' 40' 44' 48' 52' 56' 60' 64' 68' 72' 76' 80' 84' 88' 92' 96' 100' |
| SHEET                                                                                                |

A3.1c

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SIDE ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"

1  
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SIDE ELEVATION - NORTH

SCALE: 1/4" = 1'-0"

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| Revision | Date |
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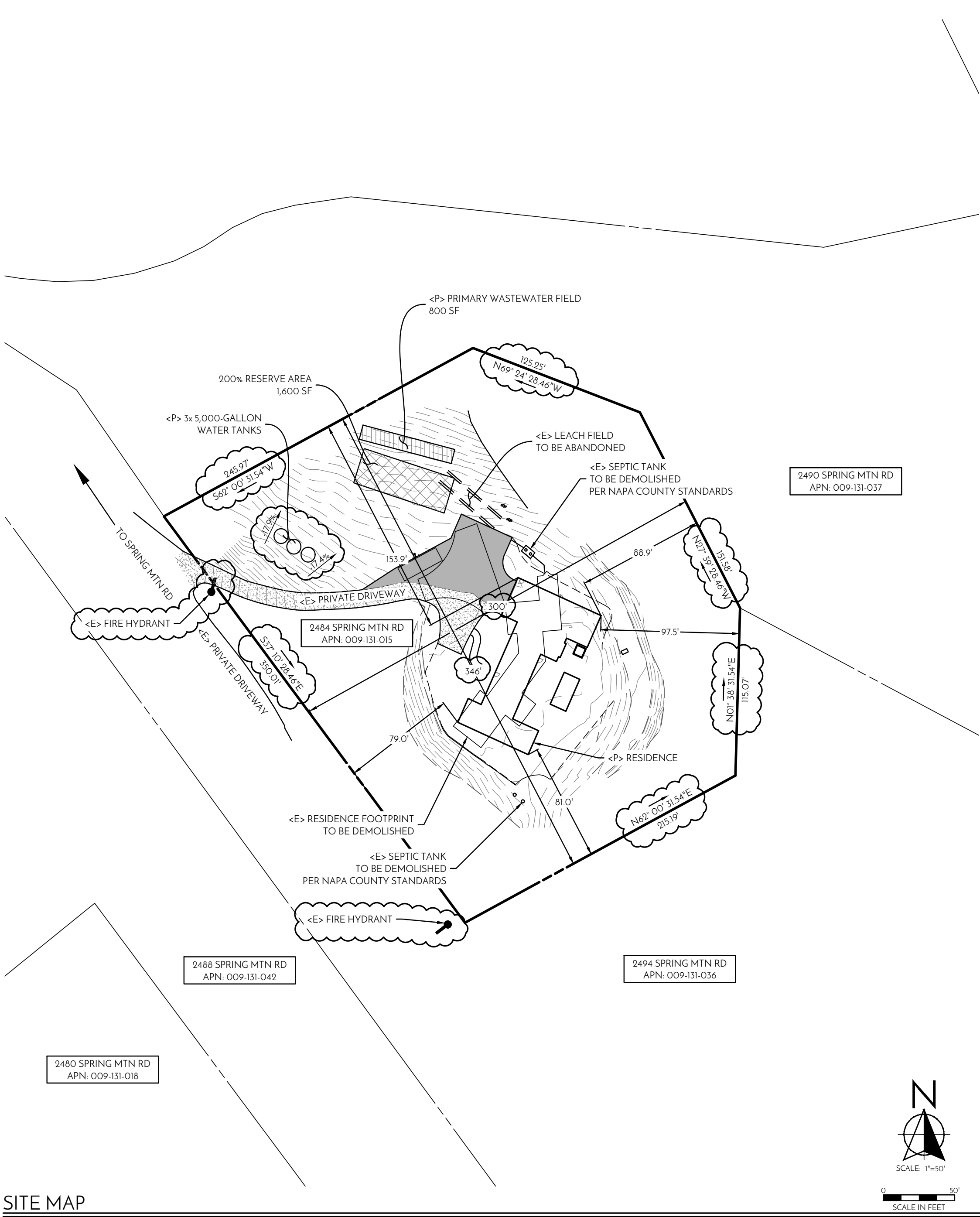
Drawings for:

The Pringle  
Residence

2484 Spring Mtn. Rd  
St. Helena, CA

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A3.2



| ABBREVIATIONS |                               |      |                                |
|---------------|-------------------------------|------|--------------------------------|
| AB            | AGGREGATE BASE                | FI   | FIRE HYDRANT                   |
| AC            | ASPHALT CONCRETE              | FR   | FLOOD INSURANCE RATE MAP       |
| AD            | AREA DRAIN                    | FL   | FLOW LINE                      |
| BC            | BEGIN CURVE                   | FM   | FORCE MAIN                     |
| BFE           | BASE FLOOD ELEVATION PER FIRM | FS   | FINISHED SURFACE               |
| BM            | BENCHMARK                     | GB   | GRADE BREAK                    |
| BCR           | BEGIN CURB RETURN             | GR   | GRAVE                          |
| BVC           | BEGIN VERTICAL CURVE          | HP   | HIGH POINT                     |
| BS            | BOTTOM OF STAIRS              | INV  | INVERT                         |
| BSW           | BACK OF SIDEWALK              | IP   | IRON PIPE                      |
| CB            | CATCH BASIN                   | IRR  | IRRIGATION                     |
| CIG           | CURB AND GUTTER               | JP   | JOINT POLE                     |
| CMU           | CONCRETE MASONRY UNIT         | LF   | LINEAL FEET/FOOT               |
| CP            | CONCRETE PIPE                 | LP   | LOW POINT                      |
| C             | CENTERLINE                    | MH   | MANHOLE                        |
| MON           | CLEANOUT                      | MON  | MONUMENT                       |
| COMM          | COMMUNICATION                 | N    | NORTH                          |
| CV            | CHECK VALVE                   | NW   | NEW                            |
| CW            | COLD WATER                    | OC   | ON CENTER                      |
| DCV           | DOUBLE CHECK VALVE            | OG   | ORIGINAL GROUND                |
| DC            | DECOMPOSED GRANITE            | OH   | OVERHEAD                       |
| DIP           | DUCTILE IRON PIPE             | OH   | OVERHEAD LINE                  |
| DS            | DOWNSPOUT                     | PP   | PROPOSED                       |
| DW            | DOMESTIC WASTE                | RCC  | PORTLAND CEMENT CONCRETE       |
| DWG           | DRAINING                      | PD   | PRESSURE DISTRIBUTION          |
| EC            | END OF CURVE                  | PG&E | PACIFIC GAS AND ELECTRIC       |
| EB            | EAST                          | PI   | POINT OF INTERSECTION          |
| EX            | EXISTING                      | PIV  | POST INDICATOR VALVE           |
| EKR           | END CURB RETURN               | PVL  | PROPERTY LINE                  |
| EG            | EXISTING GROUND               | PRC  | POINT OF REVERSE CURVE         |
| EGR           | EDGE OF GRAVEL                | PSI  | POUNDS PER SQUARE INCH         |
| EP            | EDGE OF PAVEMENT              | PUE  | PUBLIC UTILITY EASEMENT        |
| EVC           | END VERTICAL CURVE            | PVC  | POLYVINYL CHLORIDE             |
| FDC           | FIRE DEPT. CONNECTION         | PVI  | POINT OF VERTICAL INTERSECTION |
| FG            | FINISHED GRADE                | PW   | PROCESS WASTE                  |

| SYMBOL LEGEND |                    |  |                               |
|---------------|--------------------|--|-------------------------------|
|               | UTILITY POLE       |  | SEWER MANHOLE/RISE WITH ID #  |
|               | SIGN               |  | STORM DRAIN MANHOLE WITH ID # |
|               | WELL               |  | WATER VALVE                   |
|               | STREET LIGHT       |  | WATER METER & DCV             |
|               | TREE               |  | FDC/PV WITH CHECK VALVE       |
|               | TREE TO BE REMOVED |  | FIRE HYDRANT WITH GATE VALVE  |
|               | SANITARY SEWER     |  | CLEANOUT                      |
|               | GAS LINE           |  | PROPOSED CONTOUR              |
|               | WATER LINE         |  | SOLID STORM DRAIN             |
|               | EXISTING CONTOUR   |  | PERFORATED STORM DRAIN        |
|               | TOP OF BANK        |  | GRADE SWALE                   |
|               | PROPERTY LINE      |  | OVERLAND RELEASE ROUTE        |
|               | CENTERLINE         |  |                               |

### PROJECT STATEMENT

THE PURPOSE OF THIS PROJECT IS TO REPLACE THE EXISTING MAIN RESIDENCE WITH A NEW MAIN RESIDENCE. THE PROJECT INCLUDES MINOR GRADING, RECONFIGURATION OF THE PARKING AREA, AND A NEW CODE-COMPLIANT WASTEWATER SYSTEM ALONG WITH ALL REQUIRED UTILITIES.

### SURVEY NOTES

1. THE BOUNDARY ON THESE DRAWINGS DOES NOT REPRESENT A PROPERTY LINE. SURVEY PROPERTY LINES SHOWN HEREON ARE BASED ON RECORD DATA, AND MAY NOT REPRESENT THE TRUE POSITIONS OF THE LINES.
2. THE TOPOGRAPHY IS BASED ON A FIELD SURVEY OF FEBRUARY, 2022 PERFORMED BY ALBION SURVEYS, INC.
3. THIS SURVEY IS ON THE NAVD83 VERTICAL DATUM, AND THE NAD83 HORIZONTAL DATUM.
4. SITE BENCHMARK DESCRIPTION: N/A
5. MADRONE ENGINEERING ASSUMES NO LIABILITY, REAL OR ALLEGED, REGARDING THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS.
6. CONTRACTOR SHALL PROTECT EXISTING SURVEY MONUMENTS OR REPLACE THEM AT HIS OWN EXPENSE.

### ESTIMATED EARTHWORK QUANTITIES

1. THE EARTHWORK QUANTITIES LISTED BELOW ARE ESTIMATES ONLY AND MAY VARY DUE TO SOIL TYPE, COMPACTION AND BULKING FACTORS, GRADING PRACTICES, AND COMPACTION VALUES.
2. THE UNADJUSTED QUANTITIES HAVE BEEN DERIVED USING A VOLUMETRIC ANALYSIS BETWEEN THE EXISTING AND PROPOSED FINISHED GRADE ELEVATIONS.
3. THE FOLLOWING ASSUMPTIONS HAVE BEEN MADE WHEN DEVELOPING ADJUSTED QUANTITY ESTIMATES:
  - QUANTITIES FROM UTILITY TRENCHES & FOUNDATION TRENCHES HAVE NOT BEEN ESTIMATED.
  - QUANTITIES RELATED TO OVEREXCAVATION AND RECOMPACTION HAVE NOT BEEN ESTIMATED.
4. THE FOLLOWING ASSUMPTIONS HAVE BEEN MADE WHEN DEVELOPING ADJUSTED QUANTITY ESTIMATES:
  - QUANTITIES FROM UTILITY TRENCHES & FOUNDATION TRENCHES HAVE NOT BEEN ESTIMATED.
  - QUANTITIES RELATED TO OVEREXCAVATION AND RECOMPACTION HAVE NOT BEEN ESTIMATED.
5. CONTRACTOR SHALL WORK WITH THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE IF COMPACTION AND BULKING FACTORS ARE APPLICABLE FOR THE PROPOSED GRADING ACTIVITIES. THESE FACTORS HAVE THE POTENTIAL TO SIGNIFICANTLY ALTER THE CUT & FILL QUANTITIES IDENTIFIED IN THIS ANALYSIS.
6. SEE THE TABLE BELOW FOR THE ESTIMATED EARTHWORK QUANTITIES FOR THE PROJECT.

| ESTIMATED PROJECT EARTHWORK |                            |                          |
|-----------------------------|----------------------------|--------------------------|
|                             | UNADJUSTED QUANTITIES (CY) | ADJUSTED QUANTITIES (CY) |
| CUT                         | -                          | 180                      |
| FILL                        | -                          | 100                      |
| ESTIMATED NET EARTHWORK     | -                          | 80 EXCESS                |

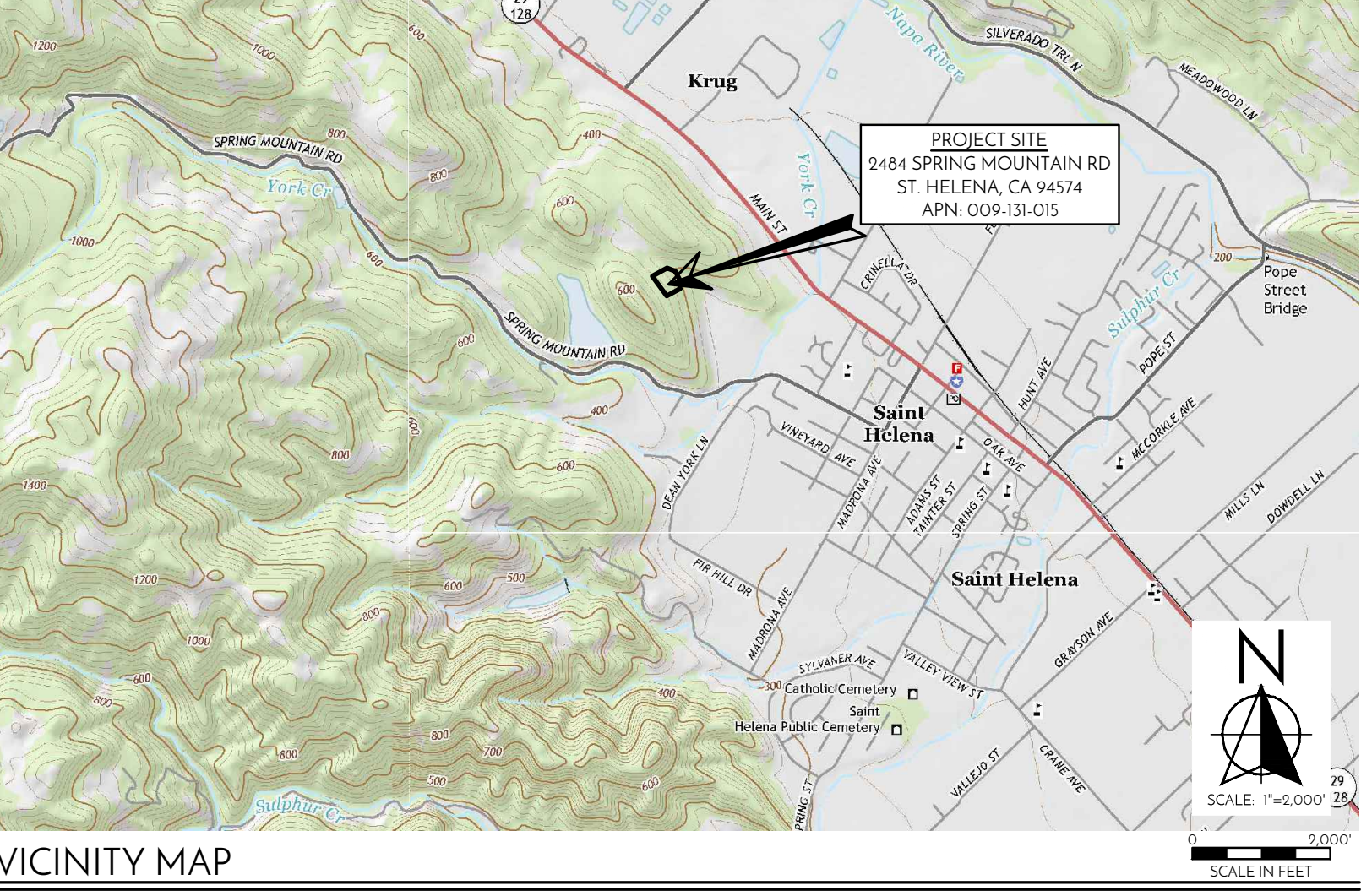
THE APPROXIMATE AREA OF DISTURBED SOIL IS 18,000 SF (0.41 AC). EXCESS SOIL WILL BE OFF-HAULED TO A LOCATION APPROVED BY THE CITY OF ST. HELENA.

### GRADING NOTES

THE PROJECT WILL COMPLY WITH ALL REQUIREMENTS IN CITY OF ST. HELENA CODE SECTION 17.64 WOODLANDS AND WATERSHED DISTRICT 17.64.020(C), WHICH INCLUDES A PROHIBITION ON LOCATING AN ADU ON A SLOPE GREATER THAN TEN PERCENT (10%) IS SPECIFICALLY REFERRING TO AN ACCESSORY DWELLING UNIT. THIS PROJECT DOES NOT INCLUDE A PROPOSED ACCESSORY DWELLING UNIT, SO 17.64.020(C) IS NOT APPLICABLE TO THIS PROJECT.

THE EXISTING SLOPE ACROSS THE PROPOSED HOUSE IS APPROXIMATELY 3%. THE AREA UNDER THE PROPOSED MASTER BEDROOM IS NOT AN EXISTING NATURAL SLOPE, BUT RATHER THE CONSTRUCTED SLOPE OF THE GROUND THAT SUPPORTED THE LEVEL PAD FOR THE PREVIOUS HOUSE CONSTRUCTION.

## CIVIL IMPROVEMENT PLANS FOR: PRINGLE RESIDENCE 2484 SPRING MOUNTAIN RD ST. HELENA, CA, 94574



VICINITY MAP  
MAP FROM USGS 7.5 MIN SERIES MAP NAME: ST. HELENA, RUTHERFORD, KENWOOD, CALISTOGA

### PROJECT INFORMATION

|                   |                                                                                                                    |
|-------------------|--------------------------------------------------------------------------------------------------------------------|
| OWNER:            | TERRY & JULI PRINGLE<br>P.O. BOX 1040<br>CALISTOGA, CA 94515                                                       |
| SITE ADDRESS:     | 2484 SPRING MOUNTAIN RD<br>ST. HELENA, CA 94574                                                                    |
| ASSESSOR PARCEL # | 009-131-015                                                                                                        |
| PARCEL SIZE:      | 42.23 ACRES                                                                                                        |
| COUNTY ZONING:    | WW (WOODLANDS & WATERSHED)                                                                                         |
| SURVEYOR:         | ALBION SURVEYS, INC.<br>1113 HUNT AVENUE<br>ST. HELENA, CA 94574<br>JOHN WEBB, P.L.S.<br>707/963-1217              |
| CIVIL ENGINEER:   | MADRONE ENGINEERING<br>1485 MAIN STREET, SUITE 302<br>ST. HELENA, CA 94574<br>JOEL DICKERSON, P.E.<br>707/302-6280 |
| ARCHITECT:        | N2K CAD<br>319 12TH STREET<br>PETALUMA, CA 94952<br>JIM KAVANAUGH<br>(707) 778-6919                                |

### SHEET INDEX

|      |                        |
|------|------------------------|
| C1.0 | COVER SHEET            |
| C2.0 | GRADING & UTILITY PLAN |

### REVISIONS

- Δ ADDED PARCEL BOUNDARY LABELS, FIRE HYDRANTS
- ADDED SLOPES AT WATER TANKS
- ADDED NOTE ABOUT 17.64.020(C)

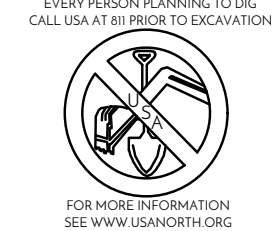
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## CIVIL IMPROVEMENT PLANS COVER SHEET

PRINGLE RESIDENCE  
2484 SPRING MOUNTAIN RD  
ST. HELENA, CA 94574  
APN: 009-131-015  
PROJECT 22-016



DATE: 04/12/22  
DESIGN REVISION: 06/13/22 Δ REVISION 1

SHEET:

C1.0



## **BUNCH CONSTRUCTION, INC.**

LIC.# 806852

625 Howell Mt. Rd. S.

Angwin, CA 94508

ph 707-965-3548

[bci2002@yahoo.com](mailto:bci2002@yahoo.com)

November 14, 2022

### **2484 Spring Mountain Rd., St. Helena Statement**

The proposed project involves the demolition of an existing home that was built in 1951, with the addition of an attached apartment in 1984. The existing living area is 2,582 sq. ft. with attached garage, 508 sq ft. The existing home is on a level area of the 2.3 acre parcel. There is a small elevated concrete, in ground pool, in the back yard, which will be demolished.

The new proposed project is to build a new, one story, single family dwelling, with three bedrooms and an office, with a new in ground pool. The new home and pool will be in the same location on the property as the existing home and pool.

The new home will be 3,619 living area, with a 759 sq ft garage. There will be 1,653 sq ft of concrete patio/pool deck. The maximum height of the structure is 22' 6". The proposed home has a slopping, standing seam metal roof, with gables. The exterior siding is fire rated, Board and batt siding. The color scheme is classic white siding with anodized black windows and doors, with a charcoal roof. The home will have solar, and other feaures, to enhance efficiency.

The new home will be built on the site to take advantage of the existing access and existing infrastructure, as much as possible. The general landscaping to take advantage of the existing, natural wooded acreage. The existing lawn will be removed and decorative gravel to be used as a perimeter, and back yard will have raised bed planters for low water use.

Landscaping to be less that 500 sq. ft. and will consist of some raised bed grow boxes and approximately 12 semi dwarf fruit trees. Both will be on a drip system.

There will be three 5,000 gal. black poly tanks for rain water storage. The dimensions are 86"H x 141"W. The tanks will not be filled with city water. The initial filling of the tanks, if there is not rain, will be trucked in water.

New dwelling will have interior and exterior fire sprinklers. There will be 2,500 gallon dedicated water storage tank with a draft hydrant on site. It will have a 4" to 4 ½ " adapter, but a reducer to 2 ½ ".

**Ron Bunch**

Bunch Construction, Inc. – President and designer



**RECEIVED**  
By Xgamero at 12:04 pm, Apr 26, 2022



**BRUNZELL**  
HISTORICAL

April 8, 2022

Terry and Juli Pringle  
2484 Spring Mountain Road  
St. Helena, California

Subject: Historic Resource Evaluation of 2484 Spring Mountain Road, St. Helena, Napa County, California.

Dear Terry and Juli,

This letter and the attached DPR 523 forms comprise the Historic Resource Evaluation of 2484 Spring Mountain Road, St. Helena, Napa County, California.

### **Methodology**

Brunzell Historical personnel conducted a site visit on April 5, 2022. The site visit included collecting photographs of all elevations of the house, the parcel, and the setting. Staff conducted research through the St. Helena Historical Society, the Napa County Historical Society, and online research at Ancestry.com and other websites in order to develop historic contexts and land-use history of the property. The property was evaluated according to the relevant criteria for historic eligibility and documented on DPR 523 forms as required by the California Environmental Quality Act as (CEQA).

### **Summary of Findings**

Because the property is over 50 years old, potential projects trigger a requirement for historical evaluation according to current regulations. Because this work was completed pursuant to CEQA, all resources discovered during the field survey require evaluation for California Register of Historical Resources (CRHR). The property was also evaluated for National Register of Historic Places (NRHP) eligibility.

### **National Register of Historic Places**

In conjunction with the following NRHP criteria, sites must be assessed for integrity of location, design, setting, materials, workmanship, feeling, and association. A site may be considered eligible to the NRHP if it retains sufficient integrity of the elements listed above and it:

- (a) is associated with events that have made a significant contribution to the broad patterns of our history;
- (b) is associated with the lives of persons significant in our past;
- (c) embodies the distinctive characteristics of a type, period, or method of construction, represents the work of a master, possesses high artistic values, or represents a significant or distinguishable entity whose components may lack individual distinction;
- (d) yields, or may be likely to yield, information important to the prehistory or history of the area/region.

### **California Register of Historical Resources**

The CRHR criteria are based on NRHP criteria. For a property to be eligible for inclusion on the CRHR, one or more of the following criteria must be met:

1. It is associated with the events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;
2. It is associated with the lives of persons important to local, California, or national history;
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values; and/or
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

In addition to meeting one or more of the above criteria, the CRHR requires that sufficient time has passed since a resource's period of significance to "obtain a scholarly perspective on the events or individuals associated with the resources." (CCR 4852 [d][2]). Fifty years is normally considered sufficient time for a potential historical resource, and in order that the evaluation remain valid for a minimum of five years after the date of this report, all resources older than 45 years will be evaluated. The CRHR also requires that a resource possess integrity. This is defined as the ability for the resource to convey its significance through seven aspects: location, setting, design, materials, workmanship, feeling, and association.

### **Evaluation**

Criterion A/1: The house at 2484 Spring Mountain Road is not associated with events that have made a significant contribution to the broad patterns of our history. The property is generally associated with the residential expansion of St. Helena in the mid-twentieth century. Research has not revealed that the property is significant within that or any other historic context. Therefore, the property is recommended not eligible to the NRHP or CRHR under Criterion A/1.

Criterion B/2: The property is not associated with the life of persons important to our history. The families that lived on the property were not significant contributors to St. Helena's development, and research has revealed no important professional accomplishments or lasting impact on local history or on agriculture. Although Walter Brignoli was a respected local doctor and Fern Brignoli an accomplished golfer, research has not revealed that Dr. Brignoli was responsible for medical breakthroughs or the development of procedures that changed medicine. Nor did Fern Brignoli make a lasting impact on the game of golf. Therefore, the property lacks the strength of association required for eligibility under Criterion B/2. The property is recommended not eligible to the NRHP or CRHR under Criterion B/2.

Criterion C/3: The property is not significant for its architecture. Research has revealed no evidence that it was designed by an architect or by an important local contractor, nor does it exhibit the design elements present in architectural landmarks. The building is an ordinary and unremarkable example of a 1950s Ranch-style house, a common architectural style that remains ubiquitous in residential neighborhoods throughout California. It lacks features such as natural cladding materials and carefully designed landscaping that are hallmarks of architecturally significant examples of the style. For these reasons, the property is recommended not eligible to the NRHP or CRHR under Criterion C/3.

Criterion D/4: In rare instances, buildings themselves can serve as sources of important information about historic construction materials or technologies and be significant under Criterion D/4. 2484 Spring Mountain Road is an example of a well-understood type of construction and does not appear to be a principal source of important information in this regard.

The property is recommended not eligible for listing on the NRHP or CRHR and therefore does not qualify as a historical resource under CEQA.

**Evaluator Qualifications**

I meet the Secretary of Interior's Professional Qualifications for both History and Architectural History. I hold a Master's degree in Public History and have worked in multiple facets of historic preservation and cultural resource evaluation since 2007. My experience includes municipal preservation planning and working as the lead staff member of a non-profit preservation organization. Since 2012, I have worked full-time as a historical consultant, completing dozens of evaluations for CEQA and Section 106 compliance. Additionally, I have completed local and national register nominations, historic context statements, and Historic American Engineering Record reports. The North Bay is the center of my practice, but I frequently work in the greater Sacramento area and other parts of the Bay Area, and have also completed projects in Southern California, Nevada, Oregon, New York, and Puerto Rico. In addition to my work with historic-period domestic, agricultural, and commercial properties for private clients, I have prepared evaluations or impacts assessments for post offices, military bases, university campuses, hospitals, church properties, national parks, and a NASA site. I am listed as a Historian and Architectural Historian on the California Office of Historic Preservation's roster of qualified consultants for every county in California.

Please contact me by phone at 707/290-2918 or e-mail at [kara.brunzell@yahoo.com](mailto:kara.brunzell@yahoo.com) with any questions or comments.

Sincerely,

A handwritten signature in blue ink that reads "Kara L. Brunzell". The signature is written in a cursive, flowing style.

Kara Brunzell, M.A.

Brunzell Historical

**State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_  
NRHP Status Code \_\_\_\_\_

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\*Resource Name or # (Assigned by recorder) 2484 Spring Mountain Road

**P1. Other Identifier:** 2484 Spring Mountain Road

**\*P2. Location:** ☐ Not for Publication ☒ Unrestricted  
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

\*a. County Napa

**\*b. USGS 7.5' Quad:** Date T; R ; 1/4 of Sec ; ; B.M.

c. Address 2484 Spring Mountain Road City Saint Helena Zip 94574

d. UTM: (give more than one for large and/or linear resources) Zone ; ;mE/ ;mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) 009-131-015-000

**\*P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The property is located in a hilly rural area northwest of downtown St. Helena. The property is characterized by Oak and Evergreen trees, with bare dirt where vegetation has been removed adjacent to the house and a view of St. Helena and Napa Valley to the southeast. There is a small pool in the backyard. The one-story Ranch-style residence has an irregular plan and a medium-pitched hip roof with medium eaves. The house is clad in a combination of stucco and board-and-batten. The recessed porch on the main (northwest) façade shelters the main entrance, which is left of center and accessed via a concrete walkway. It is fitted with a partially glazed replacement door. Three groups of two square wood posts support the roof above the porch. A second main façade entrance adjacent to the garage is fitted with a paneled replacement door. Primary fenestration consists of multiple-paned steel casement with fixed picture windows and horizontal sliding-sash at the rear of the house. An attached double garage sits to the west of the primary volume of the house; it is fitted with a metal roll-up door. There is a small addition west of and behind the garage. Secondary entrances at the rear of the house are fitted with fully glazed double doors and have glazed sidelights.

**\*P3b. Resource Attributes:** (List attributes and codes) HP2, single-family property

**\*P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) Photograph 1: 2484 Spring Mountain Road, north and west elevations, camera facing southeast, March 3, 2022.

**\*P6. Date Constructed/Age and Sources:**

☒ Historic ☐ Prehistoric ☐ Both  
c1951, Napa County Assessor

**\*P7. Owner and Address:**

Terry and Julie Pringle  
2484 Spring Mountain Rd.  
St. Helena, California

**\*P8. Recorded by:** (Name, affiliation, address)

Kara Brunzell  
Brunzell Historical  
1613 B St  
Napa, CA 94559

**\*P9. Date Recorded:** March 3, 2022

**\*P10. Survey Type:** (Describe) Intensive

**\*P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

**\*Attachments:** NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record  
☒ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record  
☐ Other (list) \_\_\_\_\_

DPR 523A (1/95)

\*Required Information

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_

Page 2 of 3

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 2484 Spring Mountain Road

B1. Historic Name: None

B2. Common Name: 2484 Spring Mountain Road

B3. Original Use: residence B4. Present Use: residence

\*B5. Architectural Style:

\*B6. Construction History: (Construction date, alteration, and date of alterations) Original construction, c1951

\*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: \_\_\_\_\_

B9. Architect: unknown b. Builder: unknown

\*B10. Significance: Theme n/a Area Saint Helena

Period of Significance n/a Property Type Residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References:

(See Footnotes)

B13. Remarks:

\*B14. Evaluator: Kara Brunzell

\*Date of Evaluation: March 3, 2022

(This space reserved for official comments.)

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
CONTINUATION SHEET

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 3 of 4      \*Resource Name or # (Assigned by recorder) 2484 Spring Mountain Road  
\*Recorded by Kara Brunzell      \*Date: April 5, 2022 ☒ Continuation ☐ Update

\*P3a. Description: (continued):



Photograph 2: 2484 Spring Mountain Road, northwest and southwest elevations, camera facing northeast, March 3, 2022.



Photograph 3: 2484 Spring Mountain Road, southwest and east elevations, camera facing north, March 3, 2022.

DPR 523B (1/95)

\*Required Information

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
CONTINUATION SHEET

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 4 of 5      \*Resource Name or # (Assigned by recorder) 2484 Spring Mountain Road  
\*Recorded by Kara Brunzell      \*Date: April 5, 2022 ☒ Continuation    ☐ Update



Photograph 4: 2484 Spring Mountain Road, east elevation, camera facing west, March 3, 2022.



Photograph 5: 2484 Spring Mountain Road, east elevation, camera facing west, March 3, 2022.

DPR 523B (1/95)

\*Required Information

**State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
CONTINUATION SHEET**

**Primary #** \_\_\_\_\_  
**HRI #** \_\_\_\_\_

**Trinomial** \_\_\_\_\_

**Page 5 of 6**      **\*Resource Name or # (Assigned by recorder)** 2484 Spring Mountain Road

**\*Recorded by** Kara Brunzell

**\*Date:** April 5, 2022 ☒ Continuation ☐ Update



Photograph 6: 2484 Spring Mountain Road, north elevation, camera facing south, March 3, 2022.

**B10. Significance (continued):**

Saint Helena

The first European to settle in the St. Helena area was Dr. Edward Bale, an English physician who received the Carne Humana grant from the Mexican government in 1839. The huge land grant encompassed northern Napa Valley, including the future locations of the towns of Calistoga and St. Helena. California statehood in 1850 drew land speculators to Napa Valley, and in the early 1850s, Henry Still purchased 100 acres on the north side of Sulphur Creek from Bale. In partnership with Charles Walter, Still erected the first building in St. Helena in 1853, and by the middle of the decade Still and Walter were donating Main Street lots to anyone who would agree to open a business.<sup>1</sup>

Early agricultural activities in Napa Valley focused on cattle-grazing and grain production but beginning in the late 1850s farmers began experimenting with wine grapes. St. Helena's position as a center of agriculture was consolidated when the railroad arrived in 1868. By the 1870s, much of the land surrounding the growing village had been converted to wine production. St. Helena was incorporated as a city in 1876 and reincorporated in 1889.<sup>2</sup>

The population of Napa Valley doubled between 1870 and 1880, and by 1880, St. Helena was home to 1,500 residents. The St. Helena district, (the area between Yountville and St. Helena), by this time had 7,000 acres of grapevines. As the nineteenth century progressed, St. Helena became the upper valley's most important shipping and commercial center. It also became more diverse as Chinese and then German and Italian immigrants arrived to work in the vineyards.<sup>3</sup>

Napa Valley was America's premier wine region by 1890, but a downturn in prices and an infestation of the phylloxera root louse nearly destroyed the wine industry at the turn of the century. Many growers pulled out wine grapes in the early decades of the twentieth century, replacing them with prunes and walnuts. In 1919, the wine business suffered a further blow when the Volstead Act outlawed the

<sup>1</sup> Lyman L. Palmer, *History of Napa and Lake Counties, California*, San Francisco: Slocum, Bowen, & Company, 1881, p. 55. 333; C. A. Menefee, *Historical and Descriptive Sketchbook of Napa, Sonoma, Lake and Mendocino*, Napa City: Reporter Publishing House, 1873, p. 186.

<sup>2</sup> City of St. Helena, *Historic Resources Inventory*, Prepared by Page & Turnbull, Inc., August, 2006, p. 7; Palmer, p.335.

<sup>3</sup> William F. Heinz, *Wine Country, A History of Napa Valley*, Capra Press, Santa Barbara: 1990, p. 162; City of St. Helena, p. 8.

**State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

Page 6 of 7      \*Resource Name or # (Assigned by recorder) 2484 Spring Mountain Road

\*Recorded by Kara Brunzell      \*Date: April 5, 2022 ☒ Continuation ☐ Update

production of alcohol. Only a few local wineries were able to survive Prohibition by producing sacramental wine, and the industry did not begin to recover until after World War II.<sup>4</sup>

Ironically, the modern wine tourism industry was born during Prohibition, when Bay Area residents began driving up to Napa to buy illegal wine. The Napa Valley viticulture industry entered a gradual recovery in the late 1940s that began to gather steam about 1960. Between 1960 and 1973, vineyard acreage more than doubled, and large new wineries were started. In 1968, the Napa County Board of Supervisors acted to protect land in unincorporated areas of the county from development, which preserved agricultural land for winegrowing. Napa's reputation for quality was cemented in 1976, when a panel of French wine experts judged several local wines as superior to their French counterparts. The newfound fame led to the discovery of St. Helena as a desirable tourist and second-home destination, and real estate values began climbing in the 1980s, although growth remained gradual, in part because of the limits on non-agricultural development. Modern St. Helena is a center of both the Napa Valley wine business and the local wine tourism industry.<sup>5</sup>

2484 Spring Mountain Road

The house at 2484 Spring Mountain Road was built about 1951. In 1883, William H. Jordan deeded the property to Alice Bieber. William Jordan was an Oakland assemblyman and member of the Oakland Board of Education. Alice Bieber was married to Peter Paul Bieber (1848-1915) and was a Saint Helena resident for around forty years. The Biebers were both natives of Germany. Alice Bieber died in 1932 at almost ninety years of age.<sup>6</sup>

In 1946, James K. Moffitt transferred his ownership of property to Myron and Pauline Booth. Moffitt was a San Francisco banker who served on the UC board of regents for over thirty years. He acquired Charles Krug winery and other extensive holdings around St. Helena during prohibition. Myron M. Booth (1893-1968) was a native of Kansas and was a surgeon at the California University Hospital in San Francisco. He married Mary Pauline Cook in 1920 and they relocated to St. Helena in 1921, where Myron Booth opened a private practice. Together, Drs. Myron Booth, Walter Brignoli, and Edwin Bruck later purchased a building on Main Street in St. Helena to join their practices.<sup>7</sup>

The Booths apparently did not develop the property on Spring Mountain Road, and to Walter H. Brignoli and his wife in 1950. Born in Stockton, Walter Harold Brignoli (1911-1974) attended the University of California Medical College in Berkeley along with Myron Booth. In 1936, he married Fern Brunson and the two lived in San Francisco while Walter Brignoli was a resident at the San Francisco City and County Hospital. Dr. Walter Brignoli opened a practice in St. Helena alongside his friend and colleague Dr. Booth in 1938, where he worked until his retirement in 1973 due to his poor health. During World War II, Brignoli served as a flight surgeon for the Army Air Corps and Fern moved to Berkeley. The couple had two children, Myron and Carolyn. The family lived on Main Street before purchasing and developing the subject property. The house was constructed about 1951. Walter Brignoli died in 1974. Fern Brignoli, who had been a skilled and avid golfer all her adult life, avidly pursued golfing until her death in 1991.<sup>8</sup>

Fern Brignoli had sold the property to Rita Margaret Ryan, proprietor of El Bonita Motel in St. Helena, by 1981. Ryan lived in the house. In 1985, she married John Dunn and the couple lived in the house together. Rita Ryan-Dunn and John Dunn moved out in 2019.

**Evaluation:**

The National Register of Historic Places (NRHP) and California Register of Historical Resources (CRHR) require that a significance criterion from A-D or 1-4 (respectively) be met for a resource to be eligible.

Criterion A/1: The house at 2484 Spring Mountain Road is not associated with events that have made a significant contribution to the broad patterns of our history. The property is generally associated with the residential expansion of St. Helena in the mid-twentieth

<sup>4</sup> Marian Hansen, *Images of America, St. Helena*, Charleston, SC: Arcadia Publishing, 2010, p. 96.

<sup>5</sup> Lin Weber, *Roots of the Present, Napa Valley 1900 to 1950*, St. Helena: Wine Ventures Publishing, 2001, p.148 – 175; Charles L. Sullivan, *Napa Wine, A History*, Napa Valley wine Library Association: 1994, 2008.

<sup>6</sup> *Oakland Tribune*, "William H. Jordan," Oct. 7, 1884, 3; *Napa County Reporter*, "Real Estate Transactions," Nov. 16, 1883, 3; *Sacramento Bee*, "Died: Bieber," June 9, 1915, 7; *St. Helena Star*, "Aged Pioneer Woman Dies," Dec. 30, 1932, 1.

<sup>7</sup> *Santa Rosa Republican*, "Patterson Starts to Fill the Vacancies," July 19, 1940, 1; *Los Angeles Evening Citizen News*, "May Day Wedding," Apr. 30, 1920, 6; *St. Helena Star*, "Will Locate In St. Helena," May 13, 1921, 1; *St. Helena Star*, "Big Real Estate Transaction on Main St.; Bruck Property Sold in Three-way Deal," July 14, 1966, 1; *San Francisco Examiner*, "Dr. Myron Booth Rites Tomorrow," Nov. 13, 1968, 62.

<sup>8</sup> *St. Helena Star*, "Dr. Walter Harold Brignoli," May 9, 1974, 2; *Napa Valley Register*, "Fern Brignoli," Oct. 19, 1991, 8.

**State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
CONTINUATION SHEET**

**Primary #** \_\_\_\_\_  
**HRI #** \_\_\_\_\_

**Trinomial** \_\_\_\_\_

**Page 7 of 7**      **\*Resource Name or # (Assigned by recorder)** 2484 Spring Mountain Road

**\*Recorded by** Kara Brunzell      **\*Date:** April 5, 2022 ☒ Continuation ☐ Update

century. Research has not revealed that the property is significant within that or any other historic context. Therefore, the property is recommended not eligible to the NRHP or CRHR under Criterion A/1.

Criterion B/2: The property is not associated with the life of persons important to our history. The families that lived on the property were not significant contributors to St. Helena's development, and research has revealed no important professional accomplishments or lasting impact on local history or on agriculture. Although Walter Brignoli was a respected local doctor and Fern Brignoli an accomplished golfer, research has not revealed that Dr. Brignoli was responsible for medical breakthroughs or the development of procedures that changed medicine. Nor did Fern Brignoli make a lasting impact on the game of golf. Therefore, the property lacks the strength of association required for eligibility under Criterion B/2. The property is recommended not eligible to the NRHP or CRHR under Criterion B/2.

Criterion C/3: The property is not significant for its architecture. Research has revealed no evidence that it was designed by an architect or by an important local contractor, nor does it exhibit the design elements present in architectural landmarks. The building is an ordinary and unremarkable example of a 1950s Ranch-style house, a common architectural style that remains ubiquitous in residential neighborhoods throughout California. It lacks features such as natural cladding materials and carefully designed landscaping that are hallmarks of architecturally significant examples of the style. For these reasons, the property is recommended not eligible to the NRHP or CRHR under Criterion C/3.

Criterion D/4: In rare instances, buildings themselves can serve as sources of important information about historic construction materials or technologies and be significant under Criterion D/4. 2484 Spring Mountain Road is an example of a well-understood type of construction and does not appear to be a principal source of important information in this regard.

The property is recommended not eligible for listing on the NRHP or CRHR and therefore does not qualify as a historical resource under CEQA.



# WATER USE ANALYSIS

2484 SPRING MOUNTAIN RD, ST. HELENA

APN: 009-131-015

APRIL 13, 2022



PREPARED BY:

MADRONE ENGINEERING

1485 MAIN STREET, SUITE 302

ST. HELENA, CA 94574

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II. EXISTING WATER USE ANALYSIS.....3

III. PROPOSED WATER USE ANALYSIS .....4

IV. CONCLUSION.....5

## I. Introduction & General Overview

### A. Introduction

Madrone Engineering has prepared this report to assist the 2484 Spring Mountain Rd project with compliance with the City of St. Helena water use requirement. As of March 22, 2011, a water demand analysis must be completed to demonstrate that all proposed projects are water neutral (City of St. Helena Code 13.12).

### B. Project Description

The owner of the property at 2484 Spring Mountain Rd is proposing to demolish the existing 4-bedroom residence and construct a new 4-bedroom residence.

This report will analyze and estimate existing water usage (pre-project) and future water usage (post-project) to determine the net increase (or decrease) in water usage. If water use is projected to increase, mitigation measures will be detailed that will bring the project into compliance with the City's "no net increase" policy for water use.

## II. Existing Water Use Analysis

The existing residence at 2484 Spring Mountain Rd is a 4-bedroom constructed in 1951. According to the "St. Helena Water Neutral Policy for Development", a reasonable estimate of baseline existing demand is 150 gallons of water per bedroom per day. Therefore, existing residential water use on the property can be estimated at **600 gallons per day**.

Existing landscaped area appears to total approximately 4,000 square feet. The proposed residence will permanently remove roughly 3,000 square feet of existing landscaping, so we estimate that post-project landscaping water use will be roughly 75% less than pre-project landscaping water use.

Based on the above calculations, the existing **baseline water usage** for the parcel can be estimated at **600 gallons per day**.

### III. Proposed Water Use Analysis

The project proposes to construct a new 4-bedroom residence with low-flow fixtures as required by the 2019 California Plumbing Code. The residence fixtures include 4 toilets, 3 showers, 5 bathroom sinks, 2 sinks in the kitchen and 1 sink in the garage, as well as a clothes washer and 1 dish washer.

Please see Table 1, below, for a summary of the proposed water use generated by the new residence.

TABLE 1 - PROPOSED RESIDENCE DAILY WATER USE

|                          | Qty | Average Flow    | Duration | Daily Use | Occ. | Total Daily Water Use | Total Annual Water Use | Total Annual Water Use |
|--------------------------|-----|-----------------|----------|-----------|------|-----------------------|------------------------|------------------------|
| Low Flow Toilet          | 4   | 1.28 gal        |          | 4         | 8    | 41 gal                | 14950 gal              | 0.05 af                |
| Low Flow Lavatory Faucet | 5   | 1.0 gpm         | 0.50 min | 4         | 8    | 16 gal                | 5840 gal               | 0.02 af                |
| Low Flow Kitchen Faucet  | 2   | 2.0 gpm         | 8 min    | 1         | 8    | 128 gal               | 46720 gal              | 0.14 af                |
| Low Flow Shower Head     | 3   | 1.75 gpm        | 8 min    | 1         | 8    | 112 gal               | 40880 gal              | 0.13 af                |
| Clothes Washer           | 1   | 16 gal per load |          | 0.37      | 8    | 47 gal                | 17286 gal              | 0.05 af                |
| Dish Washer              | 1   | 4 gal per cycle |          | 0.50      | 8    | 16 gal                | 5840 gal               | 0.02 af                |
| <b>Total</b>             |     |                 |          |           |      | <b>360 gal</b>        | <b>131,517 gal</b>     | <b>0.40 af</b>         |

Based on the above calculations, the **proposed water usage** for the parcel can be estimated at **360 gallons per day**.

#### IV. Conclusion

Table 2, below, provides a summary of the existing water use, proposed water use, and net effect of the project on total usage of City water.

| TABLE 2 - ESTIMATED TOTAL WATER USE |             |                |               |
|-------------------------------------|-------------|----------------|---------------|
| Use                                 | Gallons     |                | Acre-Feet     |
|                                     | Daily       | Annual         | Annual        |
| Existing Water Use                  | 600         | 219,000        | 0.672         |
| Proposed Water Use                  | 360         | 131,517        | 0.404         |
| <b>Net Water Usage</b>              | <b>-240</b> | <b>-87,483</b> | <b>-0.268</b> |

This report demonstrates that the proposed project is in compliance with City of St. Helena water use requirements; specifically, the requirement that all proposed projects are water-neutral with respect to City water use.

**VIEWS FROM TOP OF DRIVEWAY**



**VIEW LOOKING DOWN LEFT SIDE OF DRIVEWAY**



**VIEW LOOKING DOWN RIGHT SIDE OF DRIVEWAY**



**VIEW LOOKING DOWN CENTER OF DRIVEWAY**

**VIEWS FROM OF WESTERN SLOPE**



**VIEW OF WESTERN SLOPE FROM FRONT OF PROPERTY**



**VIEW LOOKING UP WESTERN SLOPE TO A HOME MUCH FURTHER UP THE HILLSIDE**

**VIEWS FROM OF REAR YARD**



**VIEW LOOKING NORTHEAST**



**VIEW LOOKING NORTH**



**VIEW LOOKING NORTHWEST**





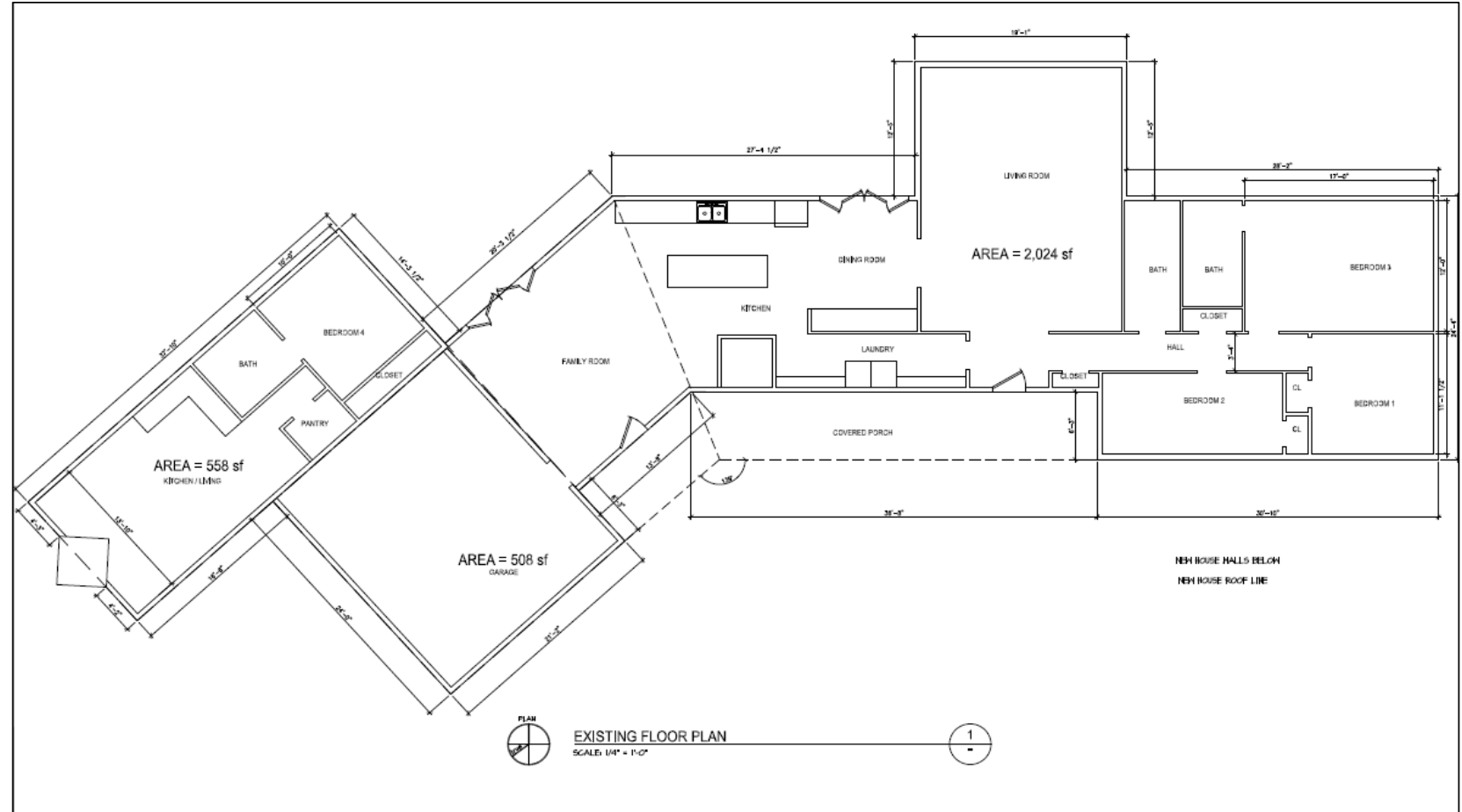
# **Planning Commission December 20, 2022 Design Review File #PL22-016**

- **2484 Spring Mountain Road**
- **General Plan District: Woodlands and Watershed (WW)**
- **Zoning District: Woodlands and Watershed (WW)**
- **Request to demolish an existing single-family dwelling and attached garage, to accommodate the construction of a new single-family dwelling and attached garage.**



# Existing Site Plan

**Lot Size: 97,140 SF**  
**(E) Lot Coverage:**  
**SFR: 2,582 SF**  
**Garage: 508 SF**  
**Total: 3,090 SF**





# Proposed Site Plan

Lot Size: 97,140 SF

(P) Lot Coverage:

SFR: 3,619 SF

Garage: 759 SF

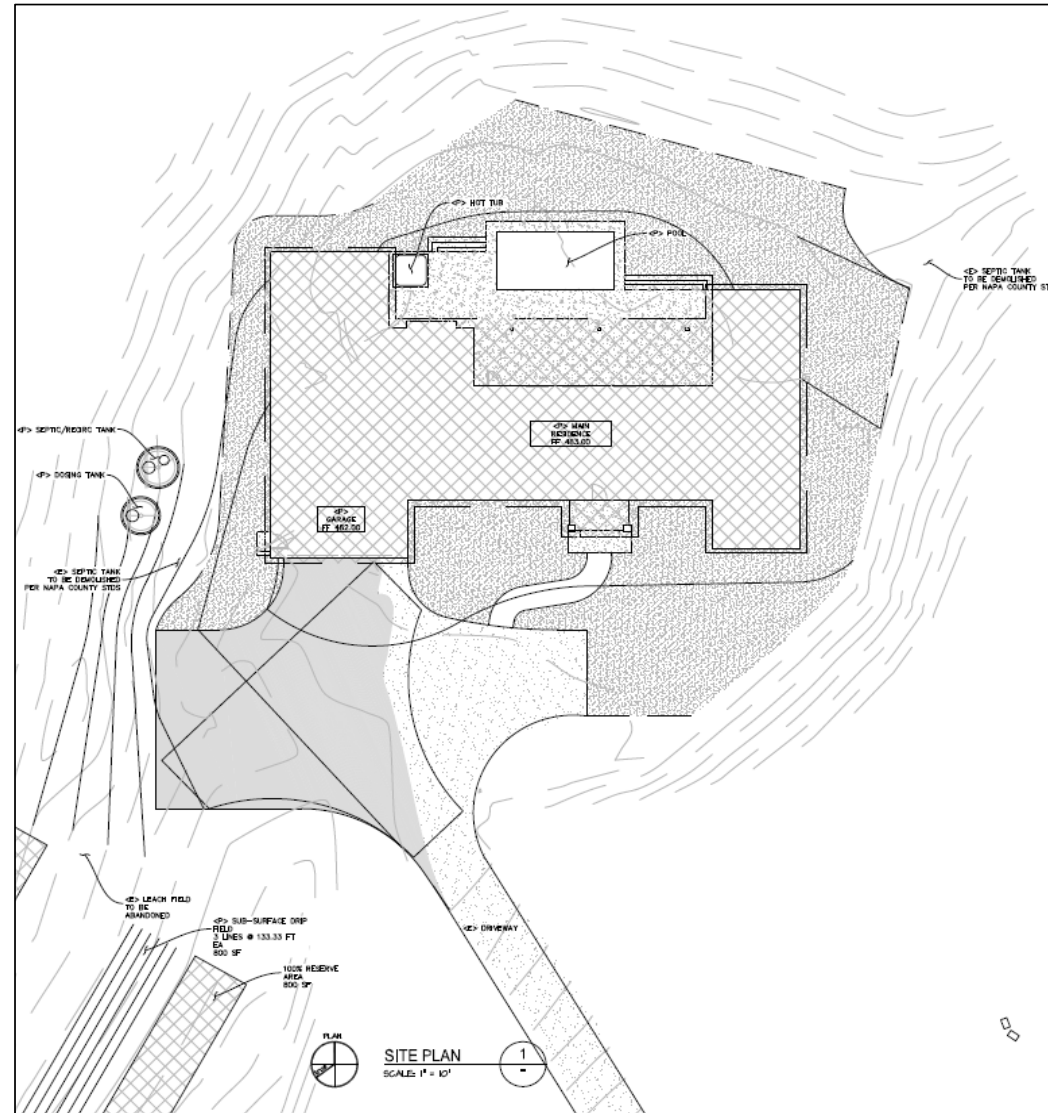
Deck: 1,304 SF

Porch: 135 SF

Total: 5,817 SF

6% (lesser of 10% or  
20,000 SF allowed)

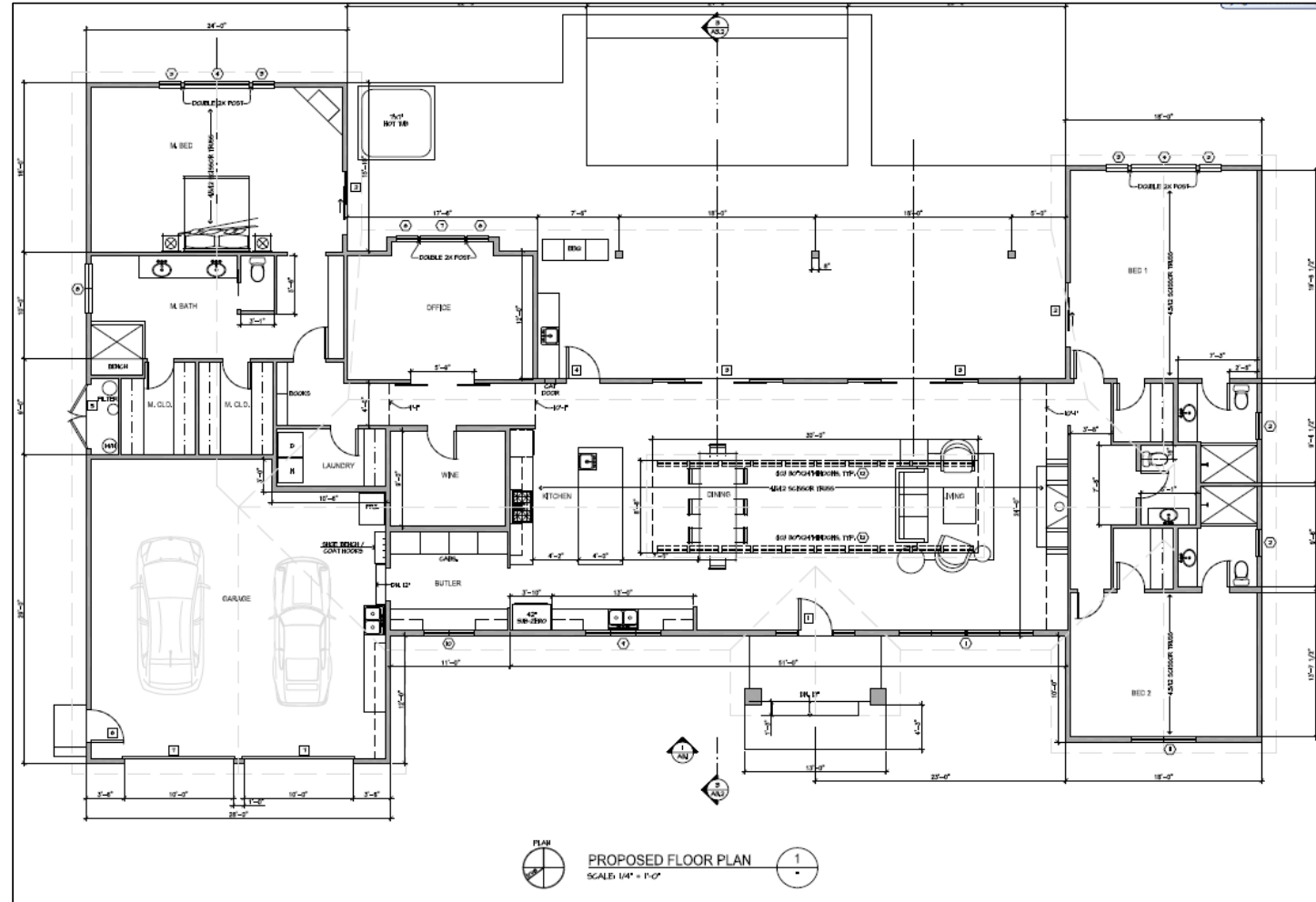
**\*Staff report did not include  
the pool or driveway in the  
total lot coverage.**





# Floor Plan

- 1 master bedroom and master bathroom
- 2 additional bedrooms
- 2 additional bathrooms
- 1 wine room
- 1 office
- 1 butler room
- 1 open plan kitchen, dining room, and living room
- 1 large garage

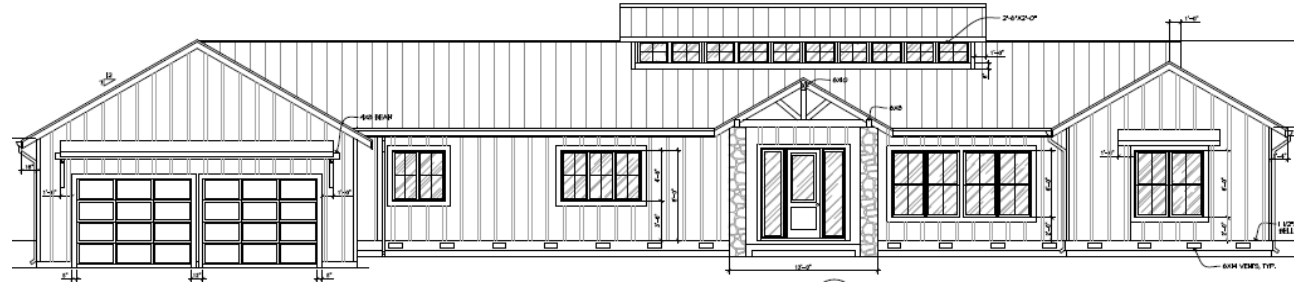
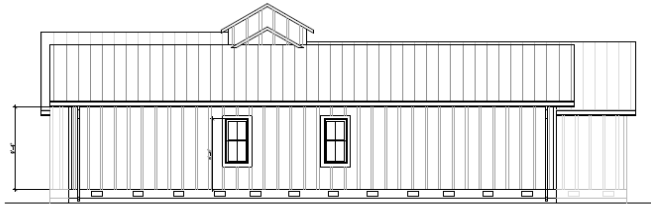




# Elevations

Front

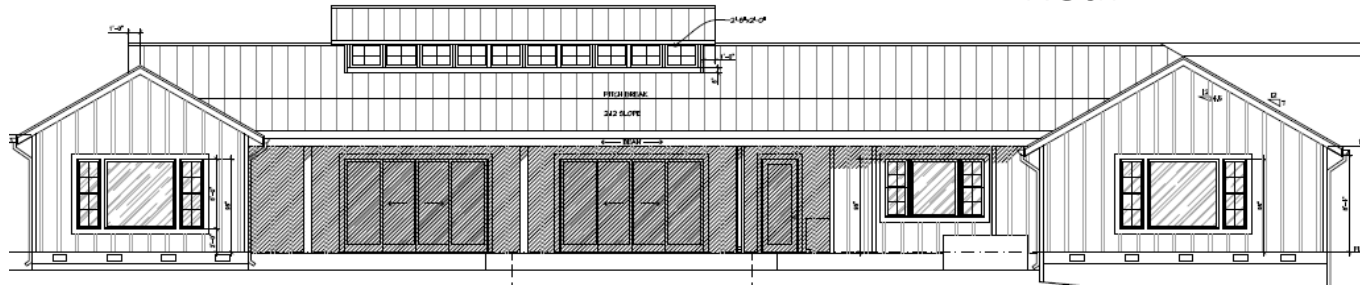
South



North



Rear



Standing seam metal roof, fire rated, vertical board and batt siding, anodized metal window and door trim



# Color Elevations (Front & Rear)

Front



Rear



Charcoal roof, white siding, and black window and door trim



## Photos – Views from top of driveway



View from left side of driveway



View from center of driveway



View from right side of driveway



## Photos – Western slope of property



From front of property



View looking up slope to home much farther up the hillside.



## Photos – Views from rear yard



Looking Northeast



Looking North



Looking Northwest



# Ridgeline Protection

Section 17.64.060(E) states the following:

*There will be no buildings (other than water tanks, which shall be screened) constructed within one hundred (100) feet of the primary ridgeline on any parcel. The intent of this section is to reduce the visual impact of buildings that would obscure public views of the most prominent ridgeline on each property, without precluding the opportunity of the property owner to site a building that could attain a view. In implementing this section, the commission shall adopt a finding that the approved plan balances the owner's interest in attaining a view against the city's interest in preventing the obstruction of scenic views.*

A site visit by City staff verified that there is no ridgeline on the property, and it is not visible from a public right-of-way, and determined that this standard is not applicable.



# Recommendation

Staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA pursuant to Section 15303; and
2. Accept the required findings and approve the attached resolution granting approval of a demolition permit and design review approval for the demolition of existing structures and the construction of a single-family home on the property located at 2484 Spring Mountain Road with a revision to Fire Department condition number 5(a) to read as follows:
  5. Defensible Space for Structures and Roads:
    - a. Maintain an effective fuel break by removing and clearing away flammable vegetation and combustible material from areas within ~~100~~ 150 feet of buildings and structures;