



**City of St. Helena
Planning Commission
Regular Meeting
Tuesday, June 4, 2024 @ 6:00 PM
Vintage Hall Board Room - Second Floor
465 Main Street, St. Helena**

PLEASE NOTE: Any person who wishes to speak regarding an item on the agenda or make a comment under the "Oral Communication" portion of the agenda may do so, but please observe the time limit of four minutes.

The Planning Commission meeting will be live-streamed on Comcast Channel 28 and on the City's website. Public comment for Planning Commission meetings will be accepted via email to publiccomment@cityofsthelelena.org. All public comments must be emailed at least three hours prior to the meeting. Emailed public comments will not be read out loud but will be publicly available and attached to the on-line agenda.

Simultaneous Spanish interpretation services during meetings can be scheduled upon request. To ensure interpreters are available, requests must be made at least 72 hours in advance by calling the Office of the City Clerk at (707) 968-2640 or emailing cityclerk@cityofsthelelena.org.

The schedule of upcoming meetings and published meeting agendas can be found on the City of St. Helena website at <https://sthelelena.civicweb.net/portal/>.

Servicios de interpretación en español durante la reunión pueden ser solicitados por el público. Para asegurar que los intérpretes estén disponibles, los servicios tienen que ser solicitados al menos 72 horas antes de la reunión llamando a la oficina de la Secretaria de la Ciudad al (707) 968-2640 o por correo electrónico a cityclerk@cityofsthelelena.org.

El horario de las reuniones publicadas y próximas puede ser localizado en el sitio de web de la Ciudad en <https://sthelelena.civicweb.net/portal/>.

Page

1. PLEDGE OF ALLEGIANCE
2. CALL TO ORDER AND ROLL CALL
Chair: John Ponte
Vice-Chair: Chris Warner
Commissioners: Autumn Anderson, Chad Krsek, and Hector Lopez

City staff present at the meeting will be noted in the minutes.
3. PUBLIC FORUM:
This is an opportunity for the public to address the Commission on items of interest to the public that are NOT listed on the agenda. Because of restrictions imposed by the Brown Act, the Commission may not engage in discussion nor take action on matters not described on the agenda. **Please observe the time limit of four minutes.**
4. CONSENT ITEMS
Members of the Commission or the public may ask that any items be

considered individually for purposes of considering alternative action, for extended discussion, or for public comment. Unless that is done, one motion may be used to adopt all recommended actions. (Roll Call Vote)

5. PUBLIC HEARINGS

- 5.1. Request by Steve Carreiro for adoption of a resolution approving a lot line adjustment, conditional use permit and major design review in order to adjust the property boundary between two contiguous parcels creating a flag lot to accommodate the construction of a new single-family home, pool and ADU on the property located at 116 Pratt Avenue in the A-20 zoning district.

5 - 47

CEQA Determination: Exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15303, 15304 and 15305

Prepared By: Aaron Hecock, Senior Planner

Recommendation:

For the reasons described above, staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15303, 15304 and 15305; and

2. Accept the required findings and approve the attached resolution granting lot line adjustment, conditional use permit and major design review approval in order to adjust the property boundary between two contiguous parcels creating a flag lot to accommodate the construction of a new single-family home, pool, associated landscaping and site improvements on the newly configured parcel on the property located at 116 Pratt Avenue in the A-20 zoning district.

[Staff Report- 116 Pratt Ave.](#)

[1. Public Comment Water Audit California](#)

[2. Public Comment Whitaker](#)

6. SCHEDULED MATTERS

7. DEPARTMENT REPORTS

This is an opportunity for staff to report on or update the Commission on any relevant matters.

8. AGENDA FORCAST

This is an opportunity for the Commission as a whole to request items be placed on future agendas for discussion. These items should be consistent with, and work to implement adopted Council Goals.

A list of current planning projects is available on our city website in the link below:

<https://cityofsthelena.org/230/Planning-Projects>

9. ADJOURNMENT

The next Regular Planning Commission meeting is scheduled for June 18, 2024 at 6:00 p.m. in the Vintage Hall Board Room located at 465 Main Street.

This agenda was posted at City Hall, 1088 College Avenue, and at Vintage Hall, 465 Main Street, St. Helena, California on May 28, 2024.



Maya DeRosa, Community Development Director

Appeal. A person who is dissatisfied with a decision of the Planning Commission may appeal that decision to the City Council pursuant to Municipal Code Section 17.12.020, Appeal procedure. Actions of the Planning Commission will be listed on the City Council agenda the following Tuesday to give the City Council opportunity to review the Planning Commission's decision. Absent of an appeal by the City Council or by a citizen, the appeal period will terminate two weeks after the Planning Commission hearing.

Special Assistance for the Disabled. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please call the City Clerk's Office (707) 967-2792. Notification 48 hours prior to the meeting will enable City to make reasonable arrangements to ensure accessibility to this meeting (28 CFR35.102-35.104 ADA Title II). However, City staff will attempt to assist at any time with accessibility. The City Clerk has equipment to assist those with a hearing impairment.

PUBLIC TESTIMONY PROCEDURES

Pursuant to the Government Code Section 54954.3, the public may address the Commission on each agenda item during the Commission's consideration of that item. Each speaker has the option to state his or her name for the record before testifying. Depending on the number of speakers or the interest of the item, the Planning Commission Chairman may also restrict, at his/her discretion, the speaker's time to three minutes. The Chairman may also restrict public comments if they become irrelevant to the agenda item or repetitious of prior comments. All persons interested may appear and be heard or submit written statements prior to the Planning Commission meeting. Please note that if you challenge the City's decision on any of these matters in court, you may be limited to raising only those issues you or someone else raised at the meeting or in written correspondence delivered to the City at, or prior to, the meeting.

CHALLENGING DECISIONS OF CITY ENTITIES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City of St. Helena is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision, including without limitation Government Code section 65009 applicable to many land use and zoning decisions, Government Code section 66499.37 applicable to the Subdivision Map Act, and Public Resources Code section 21167 applicable to the California Environmental Quality Act (CEQA). Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City

must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. Government Code section 65009 and 66499.37, and Public Resources Code section 21167, impose shorter limitations periods and requirements, including timely service in addition to filing.

If a person wishes to challenge the above actions in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of St. Helena, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Planning Commission regarding any item on this Agenda, after the posting of the Agenda, will be available for public review in the Planning Department's Office located at 1088 College Avenue, St. Helena, California, during normal business hours. In addition, such writings or documents will be made available on the City's web site at <http://cityofstheleena.org> and will be available for public review at the respective meeting.



PLANNING COMMISSION REPORT

Planning Commission Meeting of June 4, 2024

FILE NUMBER: PL23-057

SUBJECT: Request by Steve Carreiro for adoption of a resolution approving a lot line adjustment, conditional use permit and major design review in order to adjust the property boundary between two contiguous parcels creating a flag lot to accommodate the construction of a new single-family home, pool and ADU on the property located at 116 Pratt Avenue in the A-20 zoning district.

PREPARED BY: Aaron Hecock, Senior Planner

REVIEWED BY: Maya DeRosa, Community Development Director

APPROVED BY: Maya DeRosa, Community Development Director

APPLICATION FILED:02/13/24

ACCEPTED AS COMPLETE:04/23/24

LOCATION OF PROPERTY: 116 Pratt Avenue

APN: 009-020-001 & 009-020-015

GENERAL PLAN/ZONING: Agriculture/Twenty-Acre Agriculture (A-20)

APPLICANT: Steve Carreiro

PHONE: (707) 321-7797

BACKGROUND

The subject properties are located in the Twenty-Acre Agriculture (A-20) zoning district outside the Urban Limit Line (ULL) near the eastern terminus of Pratt Avenue. The northernmost parcel (009-020-001) is .87 acres and is long and narrow making development difficult. The southernmost parcel is 1.15 acres and is currently developed with 26 foot high, 2,340 square foot (sf) single-family home.

A nearly identical lot line adjustment and use permit (for the creation of the flag lot) was approved by the Planning Commission in 2010 (#2010-39) however it was never recorded with Napa County and has since expired.

PROJECT DESCRIPTION

The applicant is requesting lot line adjustment, use permit and design review approval in order to adjust the property boundary between two contiguous parcels creating a flag lot to accommodate the construction of a new single-family home, pool, ADU*, associated landscaping and site improvements on the newly configured parcel.

The proposed lot line adjustment (LLA) involves two contiguous legal parcels owned by the same property owners. Parcel 1 is currently .87 acres, while Parcel 2 is currently 1.15 acres. Approval of the LLA would result in Parcel 1 being .91 acres and Parcel 2 being 1.11 acres. The applicant requests approval of a LLA to make Parcel 1 more functional and easier to develop. The requested LLA would not affect land use or zoning designations and the total number of parcels would not change. The configuration of the existing and proposed parcels can be seen on the exhibits attached. As the LLA would result in the creation of a flag lot, a use permit is also required.

The proposed 4 bedroom/4.5 bathroom home would be 4,336 sf with an attached 729 sf, two-car garage. The home includes a 92 sf covered entry porch and a 1,014 sf covered rear veranda. The proposed home also includes a framed opening above the kitchen containing skylights to introduce natural light into the space resulting in an overall height of 30 feet. Approximately 400 sf of unfinished attic space is located adjacent to the skylight feature however no 2nd floor living space is proposed. The proposed home would be finished with a variety of contemporary materials including gray vertical cement siding, gray horizontal cedar accents, matte black aluminum doors and windows, and weathered copper corrugated metal roof.

**The ADU is shown and described for informative purposes only; the Planning Commission has no discretionary authority over the ADU and it must not be discussed or considered as part of this application.*

ANALYSIS

CEQA

Staff has conducted the requisite analysis and concluded that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc.; Section 15304, which exempts minor alterations to land including new landscaping and 15305, which exempts minor alterations in land use limitations including lot line adjustments. The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA Section 15300.2. The project site is not visible from a scenic highway, is not included on a hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts.

GENERAL PLAN

The subject property has a General Plan Land Use designation of Agriculture (AG). The AG land use designation allows agricultural and winery uses with restricted single family residential and public/quasi-public uses. This designation applies to large areas of the valley floor that surround the city's urban core. With the exception of hillside areas designated WW, all lands outside the Urban Limit Line are designated AG regardless of their size or actual use. The St. Helena General Plan 2040 and 2023-2031 Housing Element Update include the following policies that are relevant to the proposed project:

- LU5.1 - Discourage conversion of existing farmland to non-agricultural uses.
- LU5.3 - Strictly limit development on properties existing at the time of the adoption of this General Plan that are designated as agricultural land.
- CD3.2 - Ensure that new residential designs contribute positively to existing neighborhoods by complementing character and incorporating design features, such as front porches, façade articulation and stepbacks.
- PF1.1 - Require that the approval of new development be contingent upon the ability of the City to provide water without exceeding the safe annual yield of its water supply.
- HE 1.6 - Encourage innovative housing types and designs.

Staff Response: Staff finds that the proposed project is consistent with the General Plan policies listed above in that the proposed project would be located on parcels far smaller than the minimums described for agricultural properties in the General Plan (minimum parcels sizes are 20 to 40 acres). The subject parcel(s) are not large enough to support commercial agriculture and are appropriate for single-family development, as such, the LR:1A, not A-20, zoning standards apply to the property as described below. The existing parcels utilize on-site wells for water and would therefore not utilize municipal water. The proposed home has been professionally designed to suit the site and to be compatible with the surrounding area.

ZONING

Consistent with the General Plan land use designation described above, the subject property has a zoning designation of Twenty-Acre Agriculture (A-20). The A-20 Zone is intended to provide for agricultural and residential uses. The purpose of the A-20 District is to preserve agricultural land uses and provide for future orderly development as the urban limit line is adjusted to accommodate urban growth. This zone restricts the density of residential use and stipulates the location and area of residential development to promote preservation of agricultural land use and reduce impacts to the provision of infrastructure as the urban area of the City expands. Pursuant to St. Helena Municipal Code (SHMC) Section 17.05.070 (Major Design Review), the construction of a new single-family home on Parcel 1 requires major design review approval. As prescribed by SHMC §17.19.030(B), lots less than two acres in area must conform to the development standards in the LR:1A zoning district as detailed below:

STANDARD	MAXIMUM	PROPOSED
Lot Coverage	35%	15.6%
Floor Area	6,000 sf	5,971 sf
Height of Main Building	30 feet	30 feet
Density	1 du/acre	1 + exempt ADU
SIZE/SETBACKS	MINIMUM	PROPOSED
Lot Area*	1 acre	.91 acre
Lot Width	70 feet	n/a – flag lot
Front Setback	30 feet	40 feet**
Side yard Setbacks	15 feet	18 feet / 66 feet
Rear Setback	30 feet	36 feet
Landscaped Area	35%	36%
*Parcels created by lot line adjustments may be less than 1 acre provided the number of parcels does not increase and that no lots are less than 7,000 sf.		
**Per SHMC Section 17.34.080(C)(1), the panhandle portion of the flag lot shall be excluded when determining the required setbacks and yards.		

As far as permitted floor area is concerned, pursuant to SHMC Section 17.16.030.C, a 39,640 sf parcel has a maximum gross floor area (excluding accessory structures) of 6,000 sf excluding any applicable exemptions. As detailed below, the proposed home would have a floor area of 5,971 sf; which is below maximum permitted.

PROPOSED FLOOR AREA (PARCEL 1)	
PRIMARY DWELLING*	4,336 sf
2-CAR GARAGE	729 sf
COVERED PORCHES/PATIOS	1,106 sf
GARAGE EXEMPTION**	-200 sf
TOTAL	5,971 sf
*Per SHMC Section 17.34.050(2)(i), unfinished attics, crawlspaces, and basements shall not be included unless converted and finished as usable floor space.	
**SHMC Section 17.34.050(2)(h) also exempts a building or structure consisting of nonusable floor space such as a garage, carport, or storage shed from floor area calculations which is in conflict with SHMC Section 17.16.030.B footnote 5i which provides other exemptions from the maximum building floor area. Until clean-ups to the zoning code can be made, staff is utilizing the conservative approach of only exempting 200 sf of the garage as that has been the historical practice.	

Staff Response: The project as proposed meets all development, design and landscaping standards prescribed by Sections 17.16.030.B, 17.16.040 and 17.25 of the SHMC. The LR:1A development standards allow for larger single-family homes due to the size and locations of the properties. The proposed home and site improvements have been professionally designed to suit the site and to be compatible with the surrounding area. A discussion of the flag lot can be found under the Conditional Use Permit heading below.

WATER

Chapter 13.12.030 of the SHMC requires mandatory water efficiency measures and water demand offset requirements for new construction. Among these provisions is the requirement that any "new development" (i.e. construction that would introduce any freestanding building that contains water-using fixtures, any floor area additions to existing nonresidential structures, or any residential additions or remodeling that increases the number of independent living units) offset new water demand by an amount equal to the new demand placed on the city water system (i.e., it must be water neutral). The offset must be clearly demonstrated to the satisfaction of the Public Works Department.

Staff Response: The subject parcel utilizes onsite wells for water and does not connect to city water and is therefore exempt from the water neutrality requirement. The Public Works Department has included two Conditions of Approval in the attached resolution requiring that a well use agreement and permit (if regulated) from Napa County be provided prior to a building permit being issued and requiring that a well permit from the City of St. Helena in coordination with Napa County be obtained prior to any structural, depth, capacity or location modifications to the existing well.

PARKING

SHMC Section 17.26.040 (Required Parking Spaces) requires that single-family dwellings provide two off-street parking spaces (covered or uncovered).

Staff Response: The proposed project includes a two-car garage and the property can easily accommodate additional parking exceeding the requirements established in Section 17.26.040 of the SHMC.

LOT LINE ADJUSTMENT

Review procedures for Lot Line Adjustments (LLA) are regulated by the SHMC Section 16.08.070. A LLA map may be submitted and approved for a boundary adjustment between (four or fewer) existing and adjoining parcels, which does not create a greater number of lots than originally existed, if each proposed lots meets all the requirements of the California Subdivision Map Act, St. Helena General Plan, the Zoning Ordinance and building regulations.

As required by SHMC Section 16.08.070(B), each of the parcels involved in the proposed LLA are legally established parcels owned by the respective applicant(s). In addition to identifying the application requirements, Section 16.08.070 grants the Planning Director and the Public Works Director the discretion to jointly approve a LLA application which meet all development criteria. If jointly approved by the Planning Director and Public Works Director, Section 16.08.070(D) requires that the directors make a written report to the Planning Commission at its next regularly scheduled meeting. As other entitlements requested with this application require Planning Commission approval, this LLA is being presented to the Planning Commission for consideration with them. A public hearing notice was published in the newspaper and

sent to all property owners within 300 feet of the project site in accordance with SHMC Section 17.04.080.

Staff Response: The proposed LLA involves two contiguous legal parcels owned by the same property owners. Parcel 1 is currently .87 acres, while Parcel 2 is currently 1.15 acres. Approval of the LLA would result in Parcel 1 being .91 acres and Parcel 2 being 1.11 acres. The requested LLA would not affect land use or zoning designations and the total number of parcels would not change. The configuration of the existing and proposed parcels can be seen on the exhibits attached. As the LLA would result in the creation of a flag lot, a use permit is also required.

FLAG LOT / CONDITIONAL USE PERMIT

Many residential properties with the potential for additional dwelling units are difficult to develop under conventional zoning standards. SHMC Section 17.24.060 (Flag Lots) provides standards for residential development on flag lots to ensure effective utilization of the property. Flag lot standards supplement the base zone standards; where the flag lot standards conflict with those of the base zone, the flag lot standards apply. Review of flag lots are subject to Conditional Use Permit (CUP) approval by the Planning Commission. The purpose of a CUP is to allow the proper integration in the City of essential or desirable uses while ensuring that such uses are and will continue to be compatibility with surrounding existing and planned uses. The purpose is also to establish conditions necessary to ensure the harmonious integration and compatibility of uses in the neighborhood and with surrounding areas. Pursuant to SHMC Section 17.05.020, no conditional use permit shall be granted unless the following findings can be made:

1. The proposed use is consistent with the goals and policies of the General Plan and any applicable Specific Plan;
2. The proposed use is appropriate for the zoning district in which it is located, compatible with uses allowed in the zoning district, and complies with all other applicable provisions of the Zoning Code;
3. The proposed use will not be materially detrimental to the health, safety, and welfare of the public or the property and residents in the vicinity;
4. The subject site is physically suitable for the use and compatible with existing and future land uses, buildings and structures in the vicinity;
5. For formula businesses, the proposed use is consistent with the findings of Section 17.22.120, Formula Businesses; is consistent with the unique and historic character of the City; will preserve the distinctive visual appearance and shopping experience of the City for its residents and visitors; and will be compatible with existing uses in the zoning district;
6. The subject site is served by streets adequate in width and improvement to carry the kind and quantity of traffic the proposed use would likely generate or that the streets in question are physically or financially impossible to be improved and that the proposed use is deemed to be beneficial to the City; and
7. The project is categorically exempt under CEQA or other applicable environmental documents have been certified as complete and adequate.

Staff Response: The proposed flag lot complies with the general site standards enumerated in SHMC Section 17.24.060 including having a panhandle width of at least 20 feet with landscaping alongside the driveway. Furthermore, conditions of approval have been included requiring the access drive to the flag lot be inspected annually by the Fire Department to ensure that landscaping or other obstructions do not hinder emergency access; that the site address be placed on a sign where the panhandle meets Pratt Avenue so that it is clearly visible to police, fire and other emergency services; and that fences placed in the panhandle have a maximum height of 3½ feet within the front setback from the street frontage. Staff finds that the project meets and/or complies with the required findings to approve a conditional use permit for the proposed flag lot listed above. The findings included in the attached resolution identify this compliance.

MAJOR DESIGN REVIEW

SHMC Section 17.05.070 (Major Design Review) requires design review approval for the construction of a new single-family home. The purpose of major design review is to:

1. To promote those qualities in the environment that bring value to the community;
2. To foster the attractiveness and functional utility of the community as a place to live and work;
3. To preserve the character and quality of our heritage by maintaining the integrity of those areas that have a discernible character or are of special historic significance;
4. To protect certain public investments in the area;
5. To ensure that new residential development within existing neighborhoods is respectful of the existing scale of development and promotes harmonious design;
6. To encourage, where appropriate, a permissible mix of uses; and
7. To raise the level of community expectations for the quality of its environment.

Pursuant to SHMC Section 17.05.070(E)(2), the Planning Commission may approve major design review only after making the following findings:

1. Consistency and compatibility with applicable elements of the general plan; and
2. Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function whether they are compatible with the adjacent and neighboring structures and functions.

Pursuant to SHMC Section 17.05.070(F), the following review limitations apply in the Planning Commission's review of a major design review application:

1. The Planning Commission shall not design or assist in the design of any buildings or projects submitted for approval except as requested by an applicant. The Planning Commission shall restrict its considerations to a reasonable and professional review of the proposal and plans, leaving full responsibility for the design and development to the applicant.
2. Individual initiative and experimentation by the applicant are to be encouraged.

3. Only the applicant's failure to take reasonable account of the items discussed in subsections A and E shall justify the Planning Commission's disapproving of a proposal solely on the basis of design.
4. In its endeavor to improve the quality of a design, the Planning Commission shall keep considerations of cost in mind. However, consideration of cost shall not override the other objectives of this Title.
5. The Planning Commission shall not use the Major Design Review process to intentionally or inadvertently exclude housing for minority groups or housing for low and moderate-income persons.
6. The Planning Commission shall not use the Major Design Review process to intentionally or inadvertently prohibit or unduly restrict building types, materials, or methods or to vary the specific allowances or other development controls.

Staff Response: As discussed above, the proposed project meets all development, design and landscaping standards prescribed by Sections 17.16.030.B, 17.16.040 and 17.25 of the SHMC. The proposed home and site improvements are consistent with the General Plan as described above and have been professionally designed to suit the site and to be compatible with the surrounding area. The LR:1A development standards allow for larger single-family homes due to the size and locations of the properties. The project site is located in a rural part of town largely surrounded by existing agriculture and other rural residential homes with the Napa River and Silverado Trail located to the north. The proposed single-family home would be finished with a variety of contemporary materials including gray vertical cement siding, gray horizontal cedar accents, matte black aluminum doors and windows, and weathered copper corrugated metal roof which is consistent and compatible with surrounding rural residential development.

ISSUES

Staff has not identified any outstanding issues related to this application that require additional discussion.

CORRESPONDENCE

At the time of agenda publication, staff hadn't received any correspondence related to this application.

STAFF RECOMMENDATION

For the reasons described above, staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15303, 15304 and 15305; and
2. Accept the required findings and approve the attached resolution granting lot line adjustment, conditional use permit and major design review approval in order to adjust the property boundary between two contiguous parcels creating a flag lot to accommodate the construction of a new single-family home, pool, associated

landscaping and site improvements on the newly configured parcel on the property located at 116 Pratt Avenue in the A-20 zoning district.

ATTACHMENTS

[Resolution](#)

[Project Statement](#)

[Aerial Image](#)

[Project Plans](#)

[2011-60 Extension](#)

**CITY OF ST. HELENA PLANNING COMMISSION
RESOLUTION NO.
GRANTING LOT LINE ADJUSTMENT, CONDITIONAL USE PERMIT AND MAJOR
DESIGN REVIEW APPROVAL TO
116 PRATT AVENUE (File No. PL23-057)**

PROPERTY OWNER: Steve Carreiro

APN: 009-020-001 & 009-020-015

Recitals

1. The property owner requests adoption of a resolution approving a lot line adjustment, conditional use permit and major design review in order to adjust the property boundary between two contiguous parcels creating a flag lot to accommodate the construction of a new single-family home, pool and ADU on the property located at 116 Pratt Avenue in the A-20 zoning district; and
2. A public notice was published in the Napa Valley Register and mailed to residents and occupants within 300 feet of the project site in compliance with state and local law; and
3. The Planning Commission of the City of St. Helena, State of California, considered the project, staff report, and all testimony, written and spoken, at a duly noticed public hearing on June 4, 2024; and
4. Now, therefore let it be found that the Planning Commission approves the lot line adjustment, conditional use permit and design review thereby authorizing the proposal contained in said plans based on the findings below and subject to the conditions of approval enumerated herein.

Resolution

- A. In making the findings in this Resolution, the Planning Commission relied upon and hereby incorporates by reference all of the documents referenced in this Resolution and the associated staff reports, City files for this matter, correspondence, presentations and other materials.
- B. The Planning Commission hereby finds that the project is exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc.; Section 15304, which exempts minor alterations to land including new landscaping and 15305, which exempts minor alterations in land use limitations including lot line adjustments. The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA Section 15300.2. The project site is not visible from a scenic highway, is not included on a hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts.

116 Pratt Avenue
Resolution / Conditions of Approval
June 4, 2024

- C. In accordance with the review procedures for a lot line adjustment outlined in St. Helena Municipal Code (SHMC) Section 16.08.070, the Planning Commission makes the following findings to support the motion to approve the lot line adjustment:
1. *The proposed LLA involves two contiguous legal parcels owned by the same property owners.*
 2. *Approval of the LLA would result in Parcel 1 being .91 acres and Parcel 2 being 1.11 acres.*
 3. *The requested LLA would not affect land use or zoning designations and the total number of parcels would not change.*
- D. In accordance with SHMC Section 17.05.020, the Planning Commission makes the following findings to support the motion to approve the conditional use permit:
1. *The proposed use is consistent with the goals and policies of the General Plan and any applicable Specific Plan in that the proposed project would be located on parcels far smaller than the minimums described for agricultural properties in the General Plan and are not large enough to support commercial agriculture. The proposed flag lot meets the site standards enumerated in SHMC Section 17.24.060 including having a panhandle width of at least 20 feet with landscaping along the driveway and is appropriate for single-family development.*
 2. *The proposed use is appropriate for the zoning district in which it is located, compatible with uses allowed in the zoning district, and complies with all other applicable provisions of the Zoning Code in that The proposed flag lot complies with the general site standards enumerated in SHMC Section 17.24.060 including having a panhandle width of at least 20 feet with landscaping alongside the driveway. Furthermore, conditions of approval have been included requiring the access drive to the flag lot be inspected annually by the Fire Department to ensure that landscaping or other obstructions do not hinder emergency access; that the site address be placed on a sign where the panhandle meets Pratt Avenue that is clearly visible to police, fire and other emergency services; and that fences placed in the panhandle have a maximum height of 3 ½ feet within the front setback from the street frontage.*
 3. *The proposed use will not be materially detrimental to the health, safety, and welfare of the public or the property and residents in the vicinity in that the proposed flat lot is being created to accommodate a single-family home where a single-family home is a permitted and appropriate use.*
 4. *The subject site is physically suitable for the use and compatible with existing and future land uses, buildings and structures in the vicinity in that the proposed flat lot is being created to accommodate a single-family home where a single-family home is a permitted and appropriate use.*
 5. *For formula businesses, the proposed use is consistent with the findings of*

116 Pratt Avenue
Resolution / Conditions of Approval
June 4, 2024

Section 17.22.120, Formula Businesses; is consistent with the unique and historic character of the City; will preserve the distinctive visual appearance and shopping experience of the City for its residents and visitors; and will be compatible with existing uses in the zoning district in that the conditional use permit is for the creation of a flag lot, not for a formula business.

6. *The subject site is served by streets adequate in width and improvement to carry the kind and quantity of traffic the proposed use would likely generate or that the streets in question are physically or financially impossible to be improved and that the proposed use is deemed to be beneficial to the City in that the proposed flag lot is being created to accommodate a single-family home where single-family homes are permitted and appropriate and can be served by an existing street (Pratt Avenue) that is adequate for the proposed use.*
 7. *The project is categorically exempt under CEQA or other applicable environmental documents have been certified as complete and adequate in that the proposed project is categorically exempt from CEQA pursuant to CEQA Guidelines Sections 15303, 15304 and 15305 as described above.*
- E. In accordance with the major design review findings identified in SHMC Section 17.05.070(E)(2), the Planning Commission finds that the project demonstrates the following:
1. *Consistency and compatibility with applicable elements of the general plan in that in that the proposed project would be located on a parcel where single-family homes are permitted and are appropriate. Additionally, the subject parcel is far smaller than the minimums described for agricultural properties in the General Plan and are not large enough to support commercial agriculture. The proposed home and site improvements have been professionally designed to suit the site and to be compatible with the surrounding area. The project site is located in a rural part of town largely surrounded by existing agriculture and other rural residential homes with the Napa River and Silverado Trail located to the north.*
 2. *That the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and that they are compatible with the adjacent and neighboring structures and functions in that the proposed single-family home would be finished with a variety of contemporary materials including gray vertical cement siding, gray horizontal cedar accents, matte black aluminum doors and windows, and weathered copper corrugated metal roof which is consistent and compatible with surrounding rural residential development.*

Planning Department Conditions of Approval

- F. The Planning Commission approves a lot line adjustment, conditional use permit and major design review for the above-described project with the following conditions of approval. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not

116 Pratt Avenue
Resolution / Conditions of Approval
June 4, 2024

so listed.

1. The project shall be in conformance with all city ordinances, rules, regulations and policies in effect at the time of issuance of a building permit.
2. This approval expires 12 months from the date of the Planning Commission approval hearing if a complete building permit application has not been submitted for the project. The expiration date may be extended for up to two one-year periods in accordance with St. Helena Municipal Code, Section 17.04.140, Extension of Permits and Approvals.
3. Any request for an extension of this approval shall be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.
4. The approvals shall not become effective until fourteen (14) calendar days after approval, providing that the action is not appealed by the City Council or any other interested party within that 14-day period.
5. All required fees, including planning fees, development impact fees, residential in-lieu housing fees, building fees, toilet retrofit fees, and St. Helena Unified School District fees shall be paid prior to issuance of a building permit. Fees shall be those in effect at the time of the issuance of the building permit or earlier pursuant to state law.
6. Pursuant to City Council Resolution 2003-65, the owner and applicant are informed of the following:

Prior to issuance of a building permit, in recognition of the need for additional affordable housing, and to mitigate the effects of this development on the supply and demand of affordable housing, the permittee shall be subject to a Housing Impact Fee, an inclusionary requirement, an in-lieu fee, and/or similar fair and appropriate mechanisms, to provide funds for or to develop additional affordable housing.
7. Compliance with all permit conditions shall occur in accordance with specific regulations but in all cases no later than prior to occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
8. In any action or proceeding to attack, challenge, invalidate, set aside, void or annul the City's approval of applicant's Project, in whole or in part, applicant shall defend, at its own expense and without any cost to the City, and with counsel acceptable to the City, and shall fully and completely indemnify and hold the City, its agents, officers, and employees harmless from and against any and all claims, causes of action, damages, costs, attorney's fees and liability of any kind, so long as the City reasonably promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
9. Provided they are in general compliance with this approval, minor

modifications may be approved by the Planning Director.

10. Pursuant to St. Helena Municipal Code Section 17.08.110, this permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.

Major Design Review Conditions of Approval

11. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The property owners or their designee shall be responsible for meeting with the Building Official, Fire Inspector and/or Public Works Department to review compliance with Building Codes, Fire Codes and specific Public Works Standards including fire protection systems and any applicable accessibility standards of Title 24.
12. Construction shall be in compliance with the plans submitted and reviewed by the Planning Commission on June 4, 2024, except as modified herein.
13. Exterior lighting shall be directed or shielded to prevent glare onto public roadways or adjacent properties.
14. During construction, the project site shall be adequately fenced and secured to prevent trespassing.
15. To reduce disturbance of residents in the project vicinity, construction activities which generate noise that can be heard at the property line of any parcel of real property within the City limits shall be limited to 8:00 a.m. to 5:00 p.m. Monday through Saturday. Delivery of materials/equipment and cleaning and servicing of machines/equipment shall be limited to 7:00 a.m. to 6:00 p.m. Exceptions to these time restrictions may be granted by the Public Works Director for one of the following reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The Public Works Director must be notified and give approval in advance of such work. No construction activities shall occur on Sundays or federal or local holidays that generate noise that can be heard at the property line of any parcel of real property within the City limits.

Conditional Use Permit Conditions of Approval

16. The access drive to the flag lot shall be inspected annually by the Fire Department to ensure that landscaping or other obstructions do not hinder emergency access.
17. The site address shall be placed on a sign where the panhandle meets Pratt Avenue so that it is clearly visible to police, fire and other emergency services.
18. Fences placed in the panhandle shall have a maximum height of 3½ feet within the front setback from the street frontage.

116 Pratt Avenue
Resolution / Conditions of Approval
June 4, 2024

Public Works Department Conditions of Approval

19. Copies of the well use agreement and permit (if regulated) issued in accordance with Napa County Environmental Health shall be submitted to the Public Works Department prior to Building Permit issuance.
20. A well permit issued by the City of St. Helena in coordination with Napa County Environmental Health shall be required prior to any structural, depth, capacity or location modification of the existing well (SHMC 13.16.060). After which, the well will be subject to all provisions of SHMC 13.16.080.
21. Approved on-site wastewater treatment system plans shall be submitted to Public Works for review during the Building Permit phase. The planning utility plan shall denote tank location, fields, reserve and pertinent offsets.
22. All provisions required of the lot line adjustment including agreements, grants, and easements shall be fulfilled and documented on the Tentative Parcel Map prior to the Building Permit application.
23. Legal descriptions for all easements, grants of right of way and maintenance agreements for shared facilities and/or facilities which intersect proposed boundaries shall be prepared for review per (SHMC 16.20.050).
24. All electrical energy and communication service laterals to any new building or structure, or to any building or structure other than a single-family residential building or structure, being remodeled or repaired when such remodeling or repair work requires the relocation or replacement of the main electrical energy or communication service equipment, shall be placed underground (SHMC 13.28.120).
25. Backflow prevention devices shall be installed; all public improvements utility connections shall be designed in accordance with the City of St. Helena's Construction Standards (SHMC 16.32.230).
26. Drainage needs to be routed to prevent inundation of neighboring properties. Building plans shall demonstrate sufficient storm water runoff management. Additionally, an erosion control plan shall be submitted for review and approval by the City Engineer prior to the issuance of a building permit.
27. A Grading Permit is required for soil disturbance more than 50 cubic yards, a disturbance area of 10,000 square feet, a cut or fill of 3 feet or more, or alteration of any drainage pattern. An erosion control plan shall be submitted for review and approval by the City Engineer prior to the issuance of a building permit.
28. A detailed Post-Construction Stormwater Control Plan (SWCP) that identifies and sizes all permanent post-construction stormwater treatment BMPs shall be prepared and submitted for review approval. The Plan shall be prepared in accordance with the latest edition of the *Bay Area Stormwater Management Agencies Association (BASMAA) Post-Construction Manual*. The Plan will be reviewed with building permit application. Plans shall detail all measures as required and indicated in the submitted stormwater control

116 Pratt Avenue
Resolution / Conditions of Approval
June 4, 2024

plan.

- 29. An Encroachment Permit is required for all work within City right of way.
- 30. A pool permit is required for the new pool.
- 31. The applicant shall keep adjoining public streets free and clean of project dirt, mud, materials and debris during the construction period.

Building Department Conditions of Approval

- 32. A building permit is required for all on-site demolition and construction.
- 33. The applicant is required to comply with the codes adopted at the time of permit submittal. At this time, the City of St. Helena utilizes the 2022 Title 24 California Building Code.
- 34. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.
- 35. The applicant shall provide a construction waste management plan with the building permit application.
- 36. The plans for construction shall include a checklist for compliance with the California Green Buildings Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.
- 37. When submitting plans, the Title Page shall include all information referenced on the building permit application checklist Title Page requirements.
- 38. Building Permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application.
- 39. Any deferral of the required submittal items shall have prior approval of the Building Official however deferral of fire sprinkler design is not allowed.
- 40. A separate permit submittal is required for pools, generators and PV-systems.
- 41. Applicants on septic systems are encouraged to contact the County of Napa EHD early in the permitting process for sewer permits to avoid unnecessary project delays. An approved Napa County Sewer Permit is required prior to issuance of building permits.

Fire Department Conditions of Approval

- 42. Plans submitted for building permit shall exhibit compliance with the current St. Helena Fire Code, as adopted and codified in St. Helena Municipal Code

116 Pratt Avenue
Resolution / Conditions of Approval
June 4, 2024

Chapter 15.36.

43. Fire sprinklers shall be installed as required by Fire Code and the Fire Department.
44. In accordance with Section 507.5.1 *exception*, of the California Fire Code, R-3 occupancies equipped with an automatic sprinkler system must be within 600 feet of a fire hydrant. If no hydrant exists, a fire hydrant and main shall be installed to provide adequate access to water.
45. One hour minimum fire-resistant construction on all exterior walls within 10' of property boundary is required. Fire resistant construction of interior walls shall be determined by type of occupancy.
46. Any gates installed to control vehicular access to a property are required to be setback 30-feet from the property line and/or edge of pavement, whichever is greater. No vehicle gates may be installed without Fire Department and Public Works Department review and explicit approval.
47. Fire apparatus access road shall be maintained in accordance with Sections 503.1.1 and 503.2.1 of the California Fire Code.
48. Fire apparatus turnaround shall be provided in accordance with Appendix D of the California Fire Code.

I HEREBY CERTIFY that the foregoing lot line adjustment, conditional use permit and major design review applications were duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on June 4, 2024, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

John Ponte
Chair, Planning Commission

Maya DeRosa, AICP
Community Development Director

116 Pratt Avenue
Resolution / Conditions of Approval
June 4, 2024

Steve Carreiro

1779 Emerald Drive

Calistoga, Ca. 94515 Cell. 707-321-7797

steve@carreirobuilders.com

REVISED
2:55 pm, Mar 26, 2024

LLA, Use Permit & Design Review application statement

Zoning: 20/LR:1A.

The subject parcels are currently owned by Steven Carreiro and Thomas Carreiro

The purpose of this application is to adjust the common property boundary line between the two parcels so that resultant Parcel 1 can be developed with a new single family residence. Currently no resident exist on parcel 1.

Both resultant parcels will retain their current driveway access point.

Parcel 1 APN: 009-020-001

Lot Size .91 acres (39,640 sq. ft.)

Parcel 2 116 Pratt Ave.

APN: 009-020-15

Lot Size 1.11 acres (48,351 sq. ft.)

Parcel 1 No Existing Residence

Parcel 2 Existing Residence to remain 2340 sq.ft.

and has a height of 26'

Attached garage, well and septic system.

Parcel 1 Proposed New Residence:

We are pleased to introduce to you this contemporary farmhouse.

It will be warm, inviting, practical and intriguing.

The simplicity of a natural and native landscape environment against the natural gray siding tones, corrugated metal roof (weathered copper colored finish) black aluminum windows, enhance aesthetics.

This Design offers a element of privacy between 116 Pratt Ave. and this parcel.

The short walk to the entryway offers a slight compression and release as you subtly encounter the wine country, surrounded now by Vineyards, mountains, historic Barnes and wineries; you've arrived.

As you approach the entryway a glimpse of the wine cellar may invoke curiosity.

The serene Vineyard views beyond the outdoor living becomes an uncomplicated backdrop to a simply elegant gabled dining and living room. The well lit towered kitchen is the welcoming hub. The efficiently organized floor plan is practical and will offer comfortably connected living. The pool and spa location becomes a very scenic oasis. The ADU although under a separate permit will play an integral part in creating privacy and continuity as a compliment to the core design.

Parcel 1 Project details

Overview: Single-Family Residence, Single Story, 2 Car Attached Garage, Detached ADU, Swimming Pool with Spa.

Main residence: 4 bedrooms, 4.5 bathrooms.

Accessory Dwelling Unit (ADU): under 800 sq. ft.

Parking: Approximately 5 Total on-site parking spaces + 2 car garage.

Maxim Occupancy of Main House and ADU: 10

The maximum height is 30' above medium natural grade

Building setbacks: 30' Front setback. 30' Rear setback. 15' side yard setbacks

- Floor area for the single-story main house 4336 sq. ft.

-Garage 729 sq. ft.

-ADU 798 sq. sq. ft.

-Covered patios 1014 sq. ft.

-Covered porch 92 sq. ft.

Total of all roof covered areas 6171 sq. ft.

Water Source:

There is an 80 gallon per minute well on this parcel with excellent water quality, recently tested.

The well was completed 9-6-2001. (Well completion report # 778372 filed with Napa County environmental health.)

Well will be shared with 116 Pratt Ave. (Parcel 2) and deeded rights will be granted.

A notarized shared well agreement form (**agreement for Grant of Easement and Water rights**) will be submitted to Napa County environmental health for their notarized approval and recordation prior to finalization of LLA.

Septic:

The soil has been tested and approved by Napa County environmental health showing at least a five bedroom engineered septic system feasibility. (Napa County environmental health division on 1-17-2024, permit # E 23-00629) Test pits shown on the site plan.

The existing paved driveway that runs from Pratt to this parcel will also grant deeded rights to 116 Pratt Ave.

Project materials:

The proposed structures will be wood framed,

Siding: Vertical Hardie cement artisan nickel gap cladding. Painted Benjamin Moore Chelsea gray.

Accent elements: Horizontal western red cedar char charcoal gray.

Windows and doors: Aluminum clad, color matte black

Soffits and fascia: Stained Benjamin Moore Kendall charcoal.

Roofing: Corrugated metal, weathered copper colored finish

Gutters and downspouts: Bonderized metal (medium gray) Half round gutters.

Site retaining walls: Board formed concrete

Site paving: Permeable concrete pavers medium gray color

Steve Carreiro 3-25-24





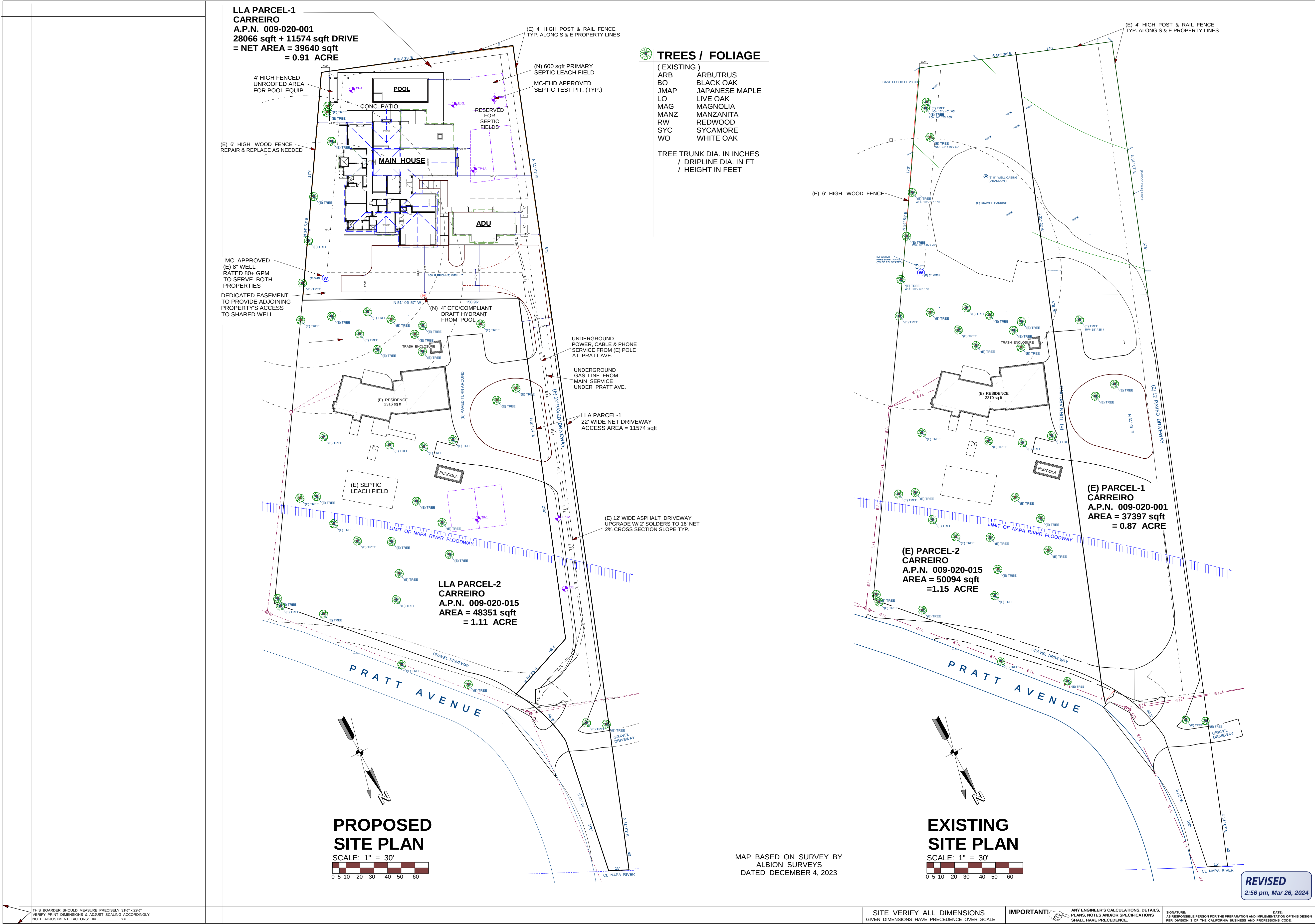
Produced by Napa County GIS

Pratt Ave. LLA, UP & DR

Printed On: 4/29/2024



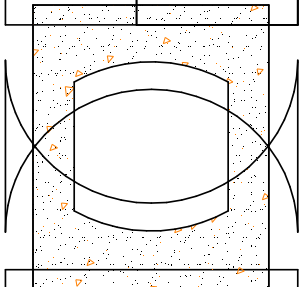
Disclaimer: This map was prepared for informational purposes only. No liability is assumed for the accuracy of the data delineated hereon.



RELEASE	DATE
1 DESIGN REVIEW	03-24-24
2	
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6	
7	
8	
9	

NEW CUSTOM RESIDENCE W/ ADU
116 PRATT AVE, ST. HELENA, CA 94574
A.P. No 009-020-001 & 015
OWNER: **STEVE CARREIRO**
1779 EMERALD DRIVE
CALISTOGA, CA 94515
707-544-4040

SITE PLANS
EXISTING & PROPOSED



STEVE CARREIRO
707-544-4040 c 707-321-7797
1779 EMERALD DRIVE,
CALISTOGA, CA 94515
steve@carreirobuilders.com



DRAWN BY JMD
CHECKED BY S Carreiro
DATE 02-12-2024
REV NO 2 3 3 5 6
SHEET 02
SEQUENCE 2 OF 12 SHEETS

SWIMMING POOL / SPA NOTES

THE POOL AREA SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF THE "CALIFORNIA SWIMMING POOL SAFETY ACT" [HS CODE SECTIONS 11520 - 115929] PER [CRC APPENDIX A.100] AND [CBC SECTION 3109.1]

- PL 1. THE POOL AND SPA SHALL BE EQUIPPED WITH BOTH OF THE FOLLOWING DROWNING PREVENTION FEATURES PER [HS 115921.1]
- A MANUALLY OR POWER OPERATED POOL COVER MEETING ALL ASTM PERFORMANCE STANDARD F1346-01, PER [HS 115921.0.1]
 - PROVIDE AN ALARM CERTIFIED MEETING ASTM STANDARD F2208, THAT WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER PER [HS 115921.0.6]
- PL 2. ALTERNATIVELY, THE FOLLOWING DROWNING PREVENTION FEATURES MAY BE SUBSTITUTED FOR THE ABOVE WITH BIA APPROVAL. AT LEAST TWO FEATURES MUST BE PROVIDED FOR COMPLIANCE.
- FULLY ENCLOSE POOL AND SPA AREA WITH MIN. 60" HIGH FENCING COMPLYING WITH [HS 115923] ISOLATING IT FROM PUBLIC AREAS AND THE PRIVATE HOME. PER [HS 115921.0.1]
 - PROVIDE ENCLOSURE FENCING COMPLYING WITH ASTM SPEC. F2286 IN CONJUNCTION WITH A SELF-CLOSING, SELF-LATCHING GATE WITH LOCK. PER [HS 115923.0.2]
 - PROVIDE AN EXIT ALARM ON ALL DOORS OF THE HOME THAT PROVIDE DIRECT ACCESS TO THE POOL AREA PER [HS 115921.0.4]
 - PROVIDE SELF-CLOSING, SELF-LATCHING DOOR WITH RELEASE SET MIN. 54 INCHES ABOVE THE FLOOR ON ALL DOORS OF THE HOME PROVIDING DIRECT ACCESS TO THE POOL AREA PER [HS 115921.0.5]

SITE CONSTRUCTION BMPs

SC 1. WHENEVER POSSIBLE, SITE DEVELOPMENT AND EXCAVATION WORK SHOULD BE CONDUCTED IN FAIR WEATHER DURING THE SEASONAL WORK WINDOW OF APPROXIMATELY APRIL 15 TO OCTOBER 31.

HOWEVER, ALL SEDIMENT AND EROSION CONTROL FEATURES SHALL BE CONTINUALLY MAINTAINED THROUGH THE YEAR (NOT ONLY DURING THE RAINY SEASON) AND SHALL REMAIN EFFECTIVE DURING THE CONSTRUCTION PHASE. CONTINUE INSPECTION AND MAINTENANCE OF THE BEST PRACTICES, & MITIGATION (BMPs) BEFORE AND AFTER RAIN EVENTS. ADJUST AS NEEDED FOR CHANGING CONDITIONS.

SC 3. APPROPRIATE EROSION CONTROL MEASURES SUCH AS STRAW BALES, WATTLES, SILT FENCES, OR OTHER METHODS APPROVED BY THE BIA SHALL BE IN PLACE AT ALL TIMES DURING CONSTRUCTION. PER [CGC 4.106.2.1]

DO NOT START GRADING, EXCAVATION OR CONSTRUCTION UNTIL ALL TEMPORARY CONTROL DEVICES ARE IN PLACE DOWN SLOPE OR DOWNSTREAM OF PROTECT SITE.

1. DURING GRADING PHASE, TRACK-WALK UP AND DOWN SLOPES, NOT PARALLEL.

2. INSTALL STRAW WATTLES (NON-PLASTIC WRAPPED) ALONG CONTOURS WHEN SLOPE EXCEEDS 2:1 GRADIENT. KEY WATTLES INTO GROUND 3" DEEP. 25' TO 50' APART & A.P.P.

3. INSTALL SILT FENCE AS SECONDARY MEASURE ALONG CONTOURS BELOW CONSTRUCTION SITE TO KEEP SEDIMENT CONTAINED ON SITE.

4. INSTALL EROSION BLANKETS AND/OR STRAW MULCH ON ANY DISTURBED AREA TO PREVENT WATER AND WIND EROSION (BLOWING DUST).

SC 4. CLEARLY IDENTIFY AND DELINEATE BOUNDARIES OF THE CONSTRUCTION SITE WITH SILT FENCE, TEMPORARY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY, VEHICLE AND FOOT TRAFFIC BEYOND LIMITS OF WATERLOOED SITE DISTURBANCE. PER [CGC 4.106.2.4]

1. DURING CONSTRUCTION, POST A DURABLE TEMPORARY SIGN AT SITE ENTRANCE DISPLAYING SITE ADDRESS IN MIN. 6" HIGH CONTRASTING BLOCK NUMBERS

SC 5. ISOLATE THE CONSTRUCTION AREA FROM FLOWING WATER UNTIL PROJECT MATERIALS ARE INSTALLED AND PREEMINENT EROSION PROTECTION IS IN PLACE.

1. MAINTAIN ADEQUATE EROSION CONTROL MEASURES ON SITE TO FACILITATE A QUICK RESPONSE TO ANY UNANTICIPATED STORM EVENTS OR EMERGENCIES.

2. TAKE APPROPRIATE MEASURES TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY USE OF RETENTION BASINS, SWALES, BARRIERS, WATTLES, OR OTHER METHODS APPROVED BY THE BIA PER [CGC 4.106.2.1]

3. USE PEA-GRAVEL BASKS AROUND DRAINLETTS, BOTH ON- AND OFF-SITE TO PREVENT SEDIMENT INTRUSION.

SC 6. ANY DISPLACED TOPSOIL TO BE STOCKPILED ON SITE AND APPROPRIATELY PROTECTED FOR REUSE IN THE ORDER EXCAVATED PER [CGC 4.106.2.3]

1. USE APPROPRIATE EROSION CONTROL MEASURES TO PROTECT AND STABILIZE STOCKPILES AND EXPOSED SOILS TO PREVENT MOVEMENT OF MATERIALS. USE OF DEVICES SUCH AS PLASTIC SHEETING HELD DOWN WITH ROCKS OR SANDBAGS OVER STOCKPILES, AND KEEP BEHIND SILT FENCES OR HAY BALE BARRIERS TO MINIMIZE MOVEMENT OF STOCKPILED SOILS.

2. STOCKPILE EXCAVATED MATERIAL IN AREAS WHERE IT CANNOT ENTER A STREAM CHANNEL OR WATERWAY PRIOR TO START OF CONSTRUCTION, DETERMINE AND VERIFY THAT SUCH SITES ARE AVAILABLE AND DESIGNATED AT OR NEAR THE PROJECT LOCATION.

SC 7. STABILIZE SITE ENTRANCE AND TEMPORARY DRIVEWAYS WITH 3" CRUSHED ROCK UP TO 50' IN LENGTH TO PREVENT TRACKING SOIL FROM SITE.

SC 8. PLACE PORTABLE TOILET FACILITY NEAR STABILIZED SITE ENTRANCE AND AWAY FROM STORM WATER INLETS AND WATERWAYS / BODIES.

SC 9. CONSTRUCT CONCRETE WASHOUT SITE ADJACENT TO STABILIZED ENTRANCE. CLEAN AS NEEDED AND REMOVE AT END OF PROJECT. DISPOSE OF HARDENED CONCRETE PROPERLY.

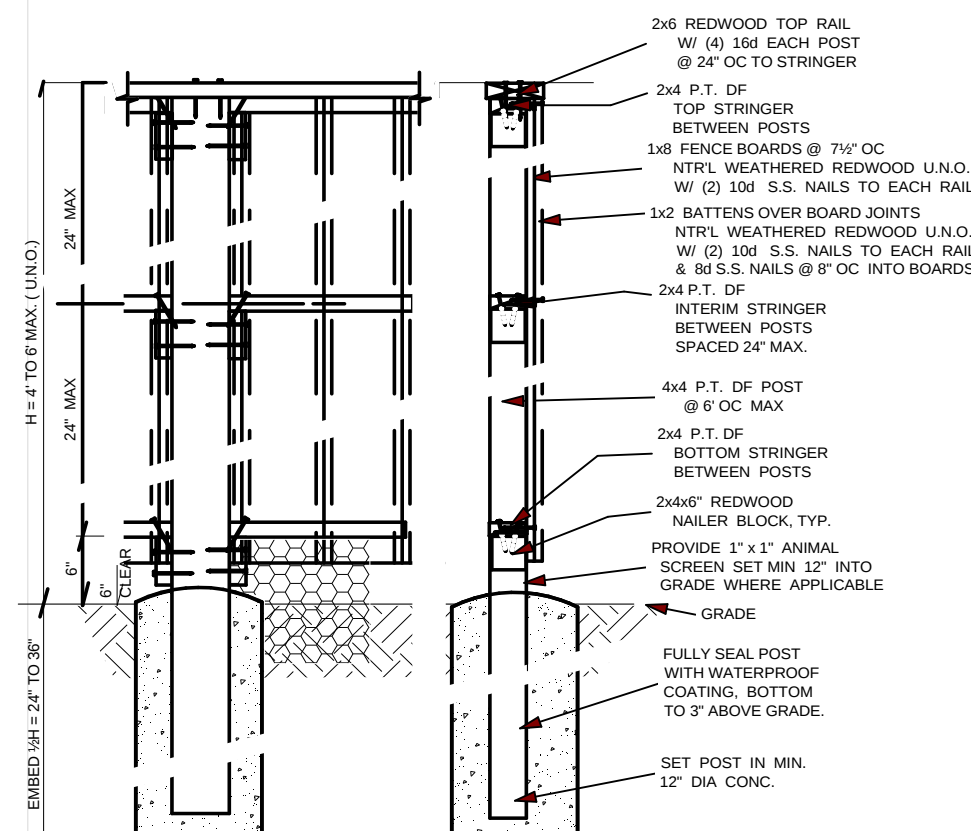
SC 10. A CONSTRUCTION WASTE MANAGEMENT PLAN AS APPROVED BY THE BIA SHALL BE IMPLEMENTED TO RECYCLE AND/OR SALVAGE FOR REUSE. MIN. 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE PER [CGC 4.408.1.1] IN ACCORDANCE WITH ONE OF THE FOLLOWING:

- A MORE STRINGENT LOCAL WASTE MANAGEMENT ORDINANCE;
- CONSTRUCTION WASTE MANAGEMENT PLAN, PER [CGC 4.408.2.1]
- COMPLIANT WASTE MANAGEMENT COMPANY, PER [CGC 4.408.2.2]
- WASTE STREAM REDUCTION ALTERNATIVE, PER [CGC 4.408.4]

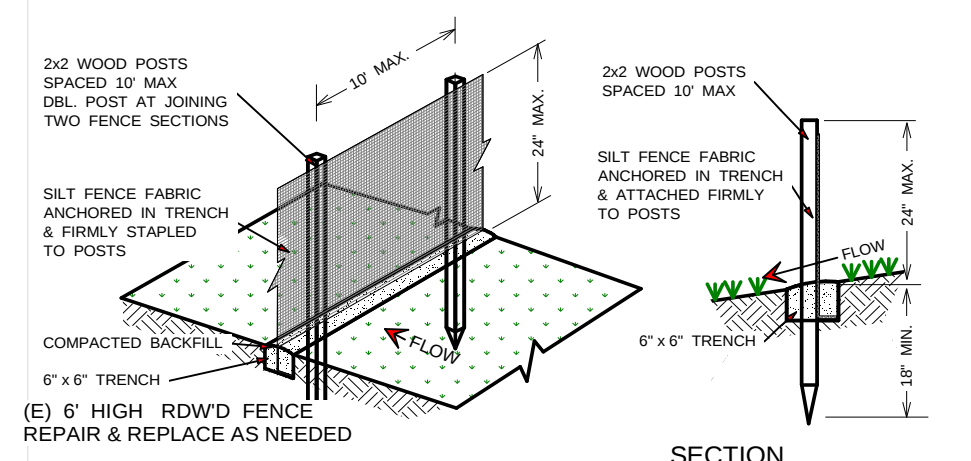
SC 11. WHEREVER POSSIBLE, AREAS DISRUPTED DURING CONSTRUCTION SHALL BE RESTORED WITH NATIVE VEGETATION WITH ANY ADDITIONAL FINISHED LANDSCAPING UTILIZING MIN. 75% NATIVE OR DROUGHT TOLERANT PLANTS AND TREES AS APPROPRIATE PER [CGC 4.4.1.6.3]

SC 12. SHOULD ANY AUTOMATIC IRRIGATION SYSTEM BE INSTALLED AT THE TIME OF FINAL LANDSCAPING, THAT SYSTEM SHALL BE WEATHER OR SOIL MOISTURE BASED CONTROLLED IN COMPLIANCE WITH THE STRICTER OF LOCAL WATER EFFICIENT LANDSCAPE ORDINANCES OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), PER [CGC 4.304.1.1]

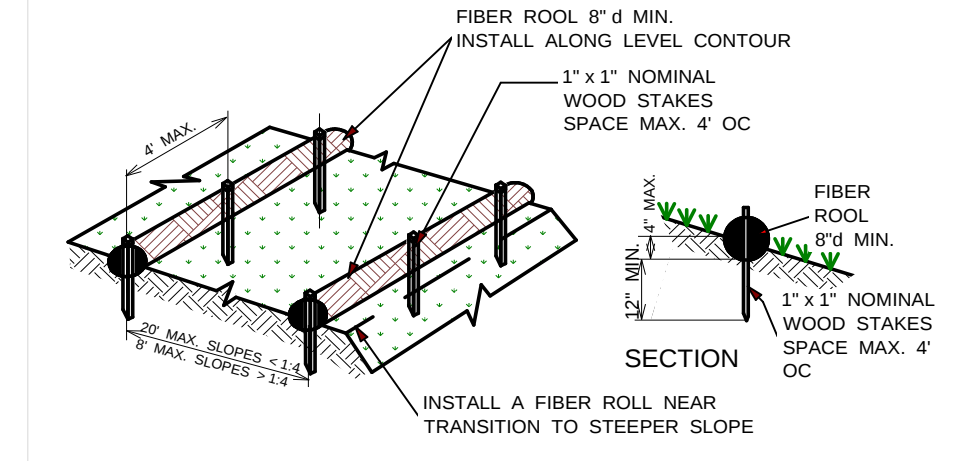
THIS BOUNDARY SHOULD BE MEASURED PRECISELY 30" ± 20" VERIFY PRINT DIMENSIONS & ADJUST SCALING ACCORDINGLY. NOTE ADJUSTMENT FACTORS: X₁ = _____ Y₁ = _____



<6FT B&B FENCE POST
SCALE: 3/4" = 1' 0"



KEY ON PLAN
TYP. SILT FENCE
N.T.S.

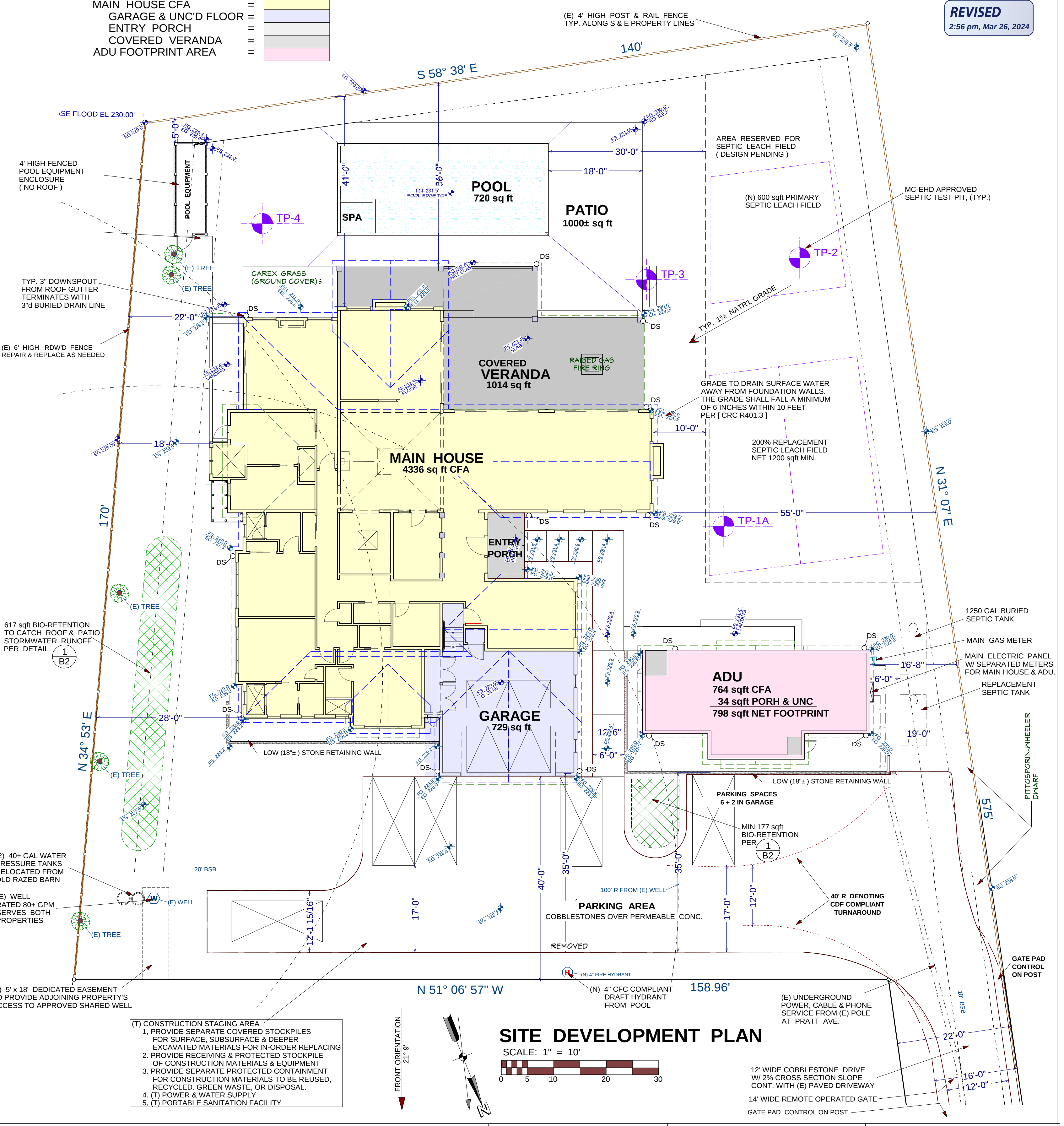


KEY ON PLAN
TYP. FIBER ROLL WATTLE
N.T.S.

SITE DEVELOPMENT NOTES

- SP 1. BUILDER SHALL TAKE APPROPRIATE MEASURES TO MINIMIZE SITE DISTURBANCE IN ORDER TO PRESERVE EXISTING NATURAL RESOURCES AND MINIMIZE FUTURE ADVERSE EFFECTS OF PROPOSED STRUCTURE PER [CGC 4.104.1]
- SP 2. SITE SHALL BE DEVELOPED TO KEEP SURFACE WATER FROM ENTERING BUILDINGS OR DRAINING ONTO NEIGHBORING PROPERTIES BY USE OF GRADING, SWALES, BASINS, FRENCH DRAINS, ETC. PER [CGC 4.106.1] FINISHED GRADE SHALL FALL MIN. 6" (5%) WITHIN FIRST 10' OF BUILDINGS MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10' OF BUILDING SHALL BE SLOPED MIN. 2% AWAY FROM BUILDING PER [CRC R401.3]
- SP 3. TERMINATE FOUNDATION DRAINS & ROOF DOWNSPOUTS INTO BURIED LINES EXTENDING @ MIN. 2% SLOPE TO PERFORATED DISPERSION LINES IN VEGETATED SELF-RETAINING AREAS. MIN. 5' FROM BUILDINGS CUTS OR PROPERTY LINES OR WITH SWELLS OR APPROPRIATE LANDSCAPED FEATURES AS NECESSARY TO PREVENT POTENTIAL OFF-SITE RUN-OFF OR EROSION
- SP 4. WHEREVER POSSIBLE, AREAS DISRUPTED DURING CONSTRUCTION SHALL BE RESTORED WITH NATIVE VEGETATION WITH ANY ADDITIONAL FINISHED LANDSCAPING UTILIZING MIN. 75% NATIVE OR DROUGHT TOLERANT PLANTS AND TREES AS APPROPRIATE PER [CGC 4.304.1.1]

COLOR KEY
MAIN HOUSE CFA
GARAGE & UNC'D FLOOR
ENTRY PORCH
COVERED VERANDA
ADU FOOTPRINT AREA



SITE DEVELOPMENT PLAN

SCALE: 1" = 10'
0 5 10 20 30

FRONT ORIENTATION
21° 9'

SITE VERIFY ALL DIMENSIONS
GIVEN DIMENSIONS HAVE PRECEDENCE OVER SCALE

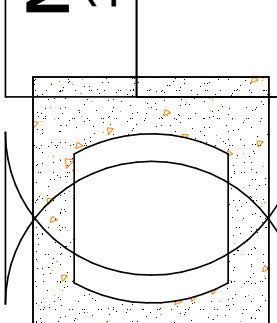
IMPORTANT!

ANY ENGINEER'S CALCULATIONS, DETAILS, PLANS, NOTES AND/OR SPECIFICATIONS SHALL HAVE PRECEDENCE.

REVISED
2:56 pm, Mar 26, 2024

RELEASE	DATE
DESIGN REVIEW	03-24-24
1	
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9	

NEW CUSTOM RESIDENCE W/ ADU
116 PRATT AVE, ST. HELENA, CA 94574
A.P. No 009-020-001 & 015
OWNER: STEVE CARREIRO
1779 EMERALD DRIVE
CALISTOGA, CA 94515
707-544-4040



STEVE CARREIRO
707-544-4040 c 707-321-7797
1779 EMERALD DRIVE
CALISTOGA, CA 94515
steve@carreibuilders.com



DRAWN BY JMD
CHECKED BY S Carreiro
DATE 02-12-2024
23356
03
SEQUENCE 3 of 12 SHEETS

2022

BASMAA NOTES



707 Huhman Drive #20519
San Jose, CA 95128
707.306.8638
www.Trunorth.co

BASMAA STORMWATER CONTROL PLAN

FOR:
PROPOSED NEW CUSTOM RESIDENCE WITH ADU
1116 PRATT AVE, ST. HELENA
APN: 009-020-001-000



SITE EXHIBIT

PREPARED BY:
TRUNORTH
DANIEL RYAN RICE 80071
DAN@TRUNORTH.CO
707-306-8638



PROPERTY OWNER(S):
STEVE CARREIRO
1779 EMERALD DRIVE, CALISTOGA
STEVE@CARREIROBUILDERS.COM
(767) 321-7797

3/14/2024

www.Trunorth.co

Page 1 | 2



March 14, 2024

Existing Site & Drainage Conditions

The project site is located on a vacant parcel adjacent to 116 Pratt Avenue in northeast incorporated City of St. Helena. The project consists of a Lot Line Adjustment resulting in the incorporation of the vacant parcel to a flag shape 0.91 acre. The resulting parcel has an existing detached garage, shed, well, and water tank accessed via an existing AC and gravel driveway. Topography is gently sloping to the east (~5%) and consists of gravel, short grasses, and sporadic oaks. The Napa River is opposite Pratt Avenue, approximately 275' from the proposed development area. The development area is entirely outside the FEMA flood plain.

Project Description

The 0.91 acre parcel is under design review for a proposed Single-Family Dwelling, ADU, and Pool triggering compliance with the BASMAA Post Construction Manual.

Total Project Site Area	0.91 acres
Total New or Replaced Impervious Surface Area	6956 sq-ft
Total Pre-Project Impervious Surface Area	8070 sq-ft
Total Post-Project Impervious Surface Area	15026 sq-ft
Runoff Reduction Measures Selected	• Disruptive runoff to vegetated areas • Bio-retention Facilities

Table 1-1	Project Description	Post-Construction
1. Project Description: The project consists of a Lot Line Adjustment resulting in the incorporation of the vacant parcel to a flag shape 0.91 acre. The resulting parcel has an existing detached garage, shed, well, and water tank accessed via an existing AC and gravel driveway. Topography is gently sloping to the east (~5%) and consists of gravel, short grasses, and sporadic oaks. The Napa River is opposite Pratt Avenue, approximately 275' from the proposed development area. The development area is entirely outside the FEMA flood plain.	2. Project Description: The project consists of a Lot Line Adjustment resulting in the incorporation of the vacant parcel to a flag shape 0.91 acre. The resulting parcel has an existing detached garage, shed, well, and water tank accessed via an existing AC and gravel driveway. Topography is gently sloping to the east (~5%) and consists of gravel, short grasses, and sporadic oaks. The Napa River is opposite Pratt Avenue, approximately 275' from the proposed development area. The development area is entirely outside the FEMA flood plain.	3. Project Description: The project consists of a Lot Line Adjustment resulting in the incorporation of the vacant parcel to a flag shape 0.91 acre. The resulting parcel has an existing detached garage, shed, well, and water tank accessed via an existing AC and gravel driveway. Topography is gently sloping to the east (~5%) and consists of gravel, short grasses, and sporadic oaks. The Napa River is opposite Pratt Avenue, approximately 275' from the proposed development area. The development area is entirely outside the FEMA flood plain.

Table 1-1

BASMAA Compliance

The project is considered a "Single-Family Home" triggering requirements outlined in table 1-1 below. The entire disturbed area area of the proposed development area is to be managed by the owner (DMS) and shall be managed by their post-construction action type. Impervious DMS is not to be used to calculate post-construction DMS or DMS on the basis of the project. The project is based on registered project requirements which include 1:24 impervious to registered DMS (2:1g and 2) apply the Reduction Factor at 4% of the contributing impervious DMS. See the attached BASMAA Stormwater Control plan for details. The results of the BASMAA shall be incorporated into the project. The plan shall be reviewed and approved by the City of St. Helena with the associated building permit.

Attachments:

- BASMAA SGP

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Page 2 | 2



CARREIRO - BASMAA SC

DMS NUMBER	DMS AREA	POST-CONSTRUCTION DMS TYPE	ORIGIN TO	RECEIVING DMS NUMBER	REDUCTION FACTOR	DRAINAGE AREA (ACRES)	STORM CHARGE CONTRIBUTED TO DMS
1	487	IMPERVIOUS	VEGETATED DMS	10	0.1	0.001	
2	444	IMPERVIOUS	BIORETENTION	14	0.04	0.001	
3	344	IMPERVIOUS	BIORETENTION	15	0.04	0.001	
4	546	IMPERVIOUS	VEGETATED DMS	7	0.1	0.001	
5	234	IMPERVIOUS	BIORETENTION	15	0.04	0.001	
6	138	VEGETATED	N/A	N/A	N/A	N/A	
7	764	VEGETATED	N/A	N/A	N/A	0.1	<0.001 (0.1)
8	054	IMPERVIOUS	BIORETENTION	15	0.04	0.001	
9	423	IMPERVIOUS	BIORETENTION	15	0.04	0.001	
10	140	IMPERVIOUS	VEGETATED DMS	7	0.1	0.001	
11	024	IMPERVIOUS	VEGETATED DMS	10	0.1	0.001	
12	179	VEGETATED	N/A	N/A	N/A	N/A	
13	464	VEGETATED	N/A	N/A	N/A	0.001	<0.001 (0.1)
14	137	BIORETENTION	N/A	N/A	N/A	0.001	<0.001 (0.1)
15	037	BIORETENTION	N/A	N/A	N/A	0.001	<0.001 (0.1)

THIS BOARDING SHOULD MEASURE PRECISELY 36" x 24" VERIFY PRINT DIMENSIONS & ADJUST SCALING ACCORDINGLY. NOTE ADJUSTMENT FACTORS: X: Y:



PROPOSED FRONT
LOOKING SOUTH-WEST

FOR REFERENCE ONLY



PROPOSED REAR
LOOKING NORTH-EAST
VIEWS OF PROPOSED HOUSE & ADU
(LANDSCAPING PENDING) N.T.S.

FOR REFERENCE ONLY



EXISTING SITE PANORAMA
LOOKING SOUTH-WEST
N.T.S.



EXISTING SITE PANORAMA
LOOKING NORTH-EAST
N.T.S.

REVISED
2:56 pm, Mar 26, 2024

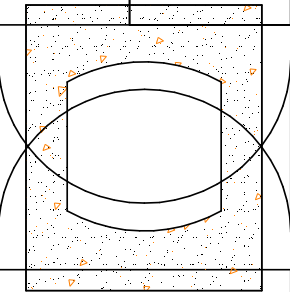


EXISTING SITE ENTRANCE
PRATT AVE LOOKING SOUTH

NEW BUILDING SITE
BARELY VISIBLE BEYOND TREES

RELEASE	DATE
1	DESIGN REVIEW
2	
3	
4	
5	
6	
7	
8	
9	

NEW CUSTOM RESIDENCE W/ ADU
116 PRATT AVE, ST. HELENA, CA 94574
A.P. No 009-020-001 & 015
OWNER: STEVE CARREIRO
1779 EMERALD DRIVE
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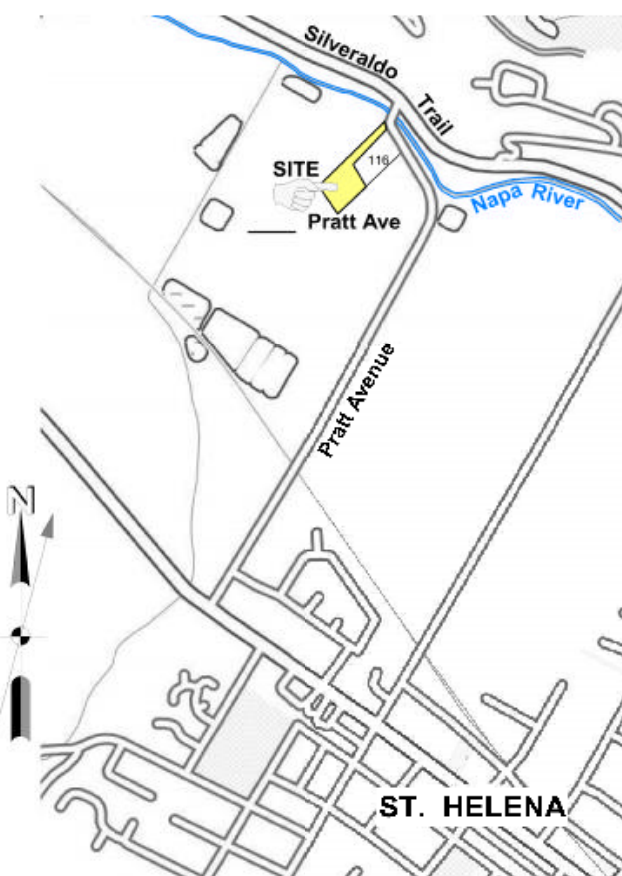
STEVE CARREIRO
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CALISTOGA, CA 94515
steve@carreirobuilders.com

DRAWN BY
JMD
CHECKED BY
S Carreiro
DATE
02-12-2024
SHEET NO.
23356
SHEET
04
SEQUENCE 4 OF 12 SHEETS

SITE VERIFY ALL DIMENSIONS
GIVEN DIMENSIONS HAVE PRECEDENCE OVER SCALE

IMPORTANT! ANY ENGINEER'S CALCULATIONS, DETAILS, PLANS, NOTES AND/OR SPECIFICATIONS SHALL HAVE PRECEDENCE.

SIGNATURE: AS RESPONSIBLE PERSON FOR THE PREPARATION AND IMPLEMENTATION OF THIS DESIGN PER DIVISION 3 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE.



LOCATION MAP
N.T.S.

PROJECT DATA

SCOPE OF PROJECT: NEW CUSTOM 4 BEDRM RESIDENCE
W/ ATTACHED GARAGE
INCORPORATING DETACHED
ADU & POOL SHED

DIRECTORY

PROPERTY OWNERS:

STEVE CARREIRO
1778 EMERALD DRIVE
CALISTOGA, CA 94515
707-321-4497

PROJECT DESIGNER:

STEVE CARREIRO
CARREIRO BUILDERS
1778 EMERALD DRIVE
CALISTOGA, CA 94515
707-321-4497

SURVEYOR:

STEVEN STEWART
ALBION SURVEYS
1113 HUNT AVE.
ST. HELENA, CA 94514
707-963-1217



REVISED
2:56 pm, Mar 26, 2024



BASMAA STORMWATER CONTROL PLAN

OWNER INFORMATION:

STEVE CARREIRO

SITE INFORMATION:

(116) PRATT AVE.
ST. HELENA, CA
APN: 009-020-001-000

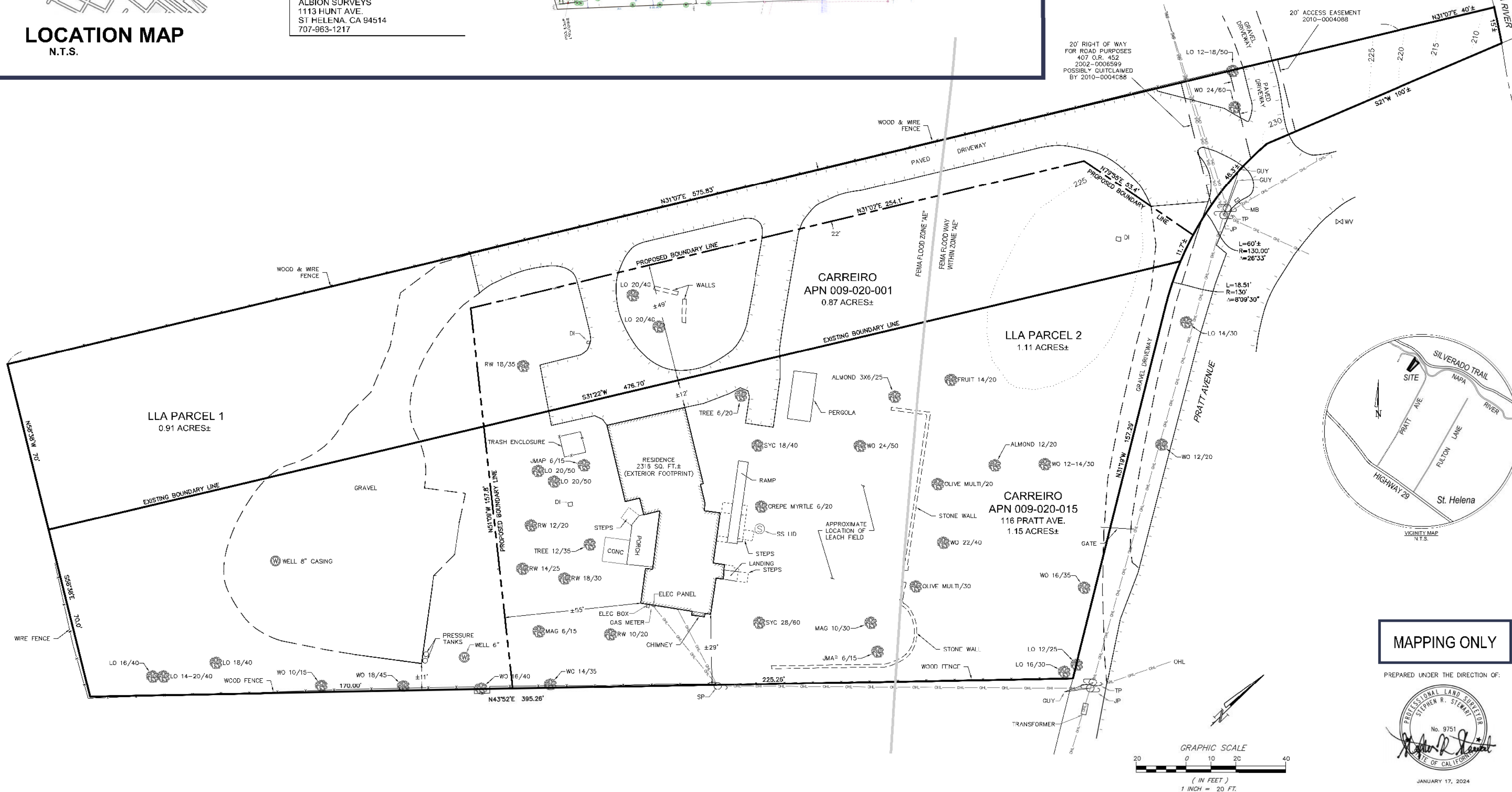
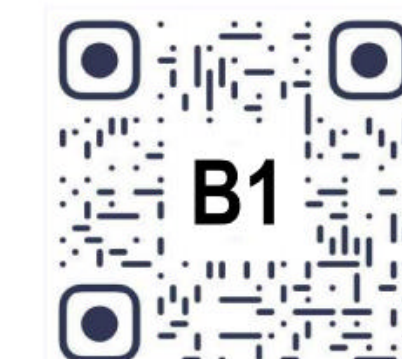


PUBLISHED 3/14/2024

SHEET TITLE:

EXISTING SITE PLAN

SHEET NUMBER:

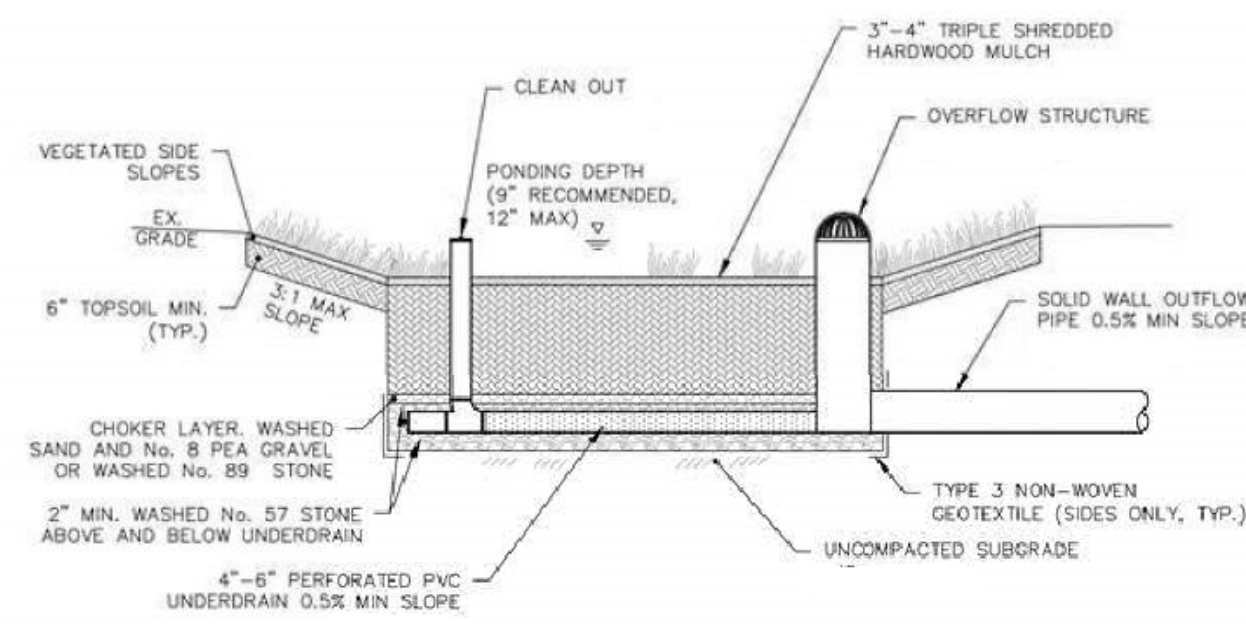


MAPPING ONLY

PREPARED UNDER THE DIRECTION OF:



JANUARY 17, 2024



1 BIO-RETENTION DETAIL, SCD

BASMAA SCP LEGEND

- DRAINAGE MANAGEMENT AREA (DMA), NUMBER, AND SQUARE FOOTAGE
- VEGETATED/LANDSCAPE
- ROOFTOP/IMPERVIOUS
- HARDSCAPE (IMPERVIOUS)
- BIO-RETENTION FACILITY



BASMAA
STORMWATER
CONTROL PLAN

OWNER INFORMATION:

STEVE CARREIRO

SITE INFORMATION:

(116) PRATT AVE.
ST. HELENA, CA
APN: 009-020-001-000



PUBLISHED 3/14/2024

SHEET TITLE:

BASMAA SCP

SHEET NUMBER:



REVISED
2:57 pm, Mar 26, 2024

- Each impervious area from which runoff will be directed, and its square footage.
 - The vegetated areas that will receive runoff, and the approximate square footage of each.
 - If necessary, explain in notes on the plan how runoff will be routed from impervious surfaces to vegetated areas.
- Confirm the following standard specifications are met:
- Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
 - The design, including slopes and soils, reflects a reasonable expectation that an inch of rainfall will soak into the soil and produce no runoff.
 - Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
 - Paved areas are sloped so drainage is routed to the receiving pervious area.
 - Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
 - Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
 - Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.

Show on your site plan:

- Impervious areas tributary to the planter box.
- Location and footprint of planter box.

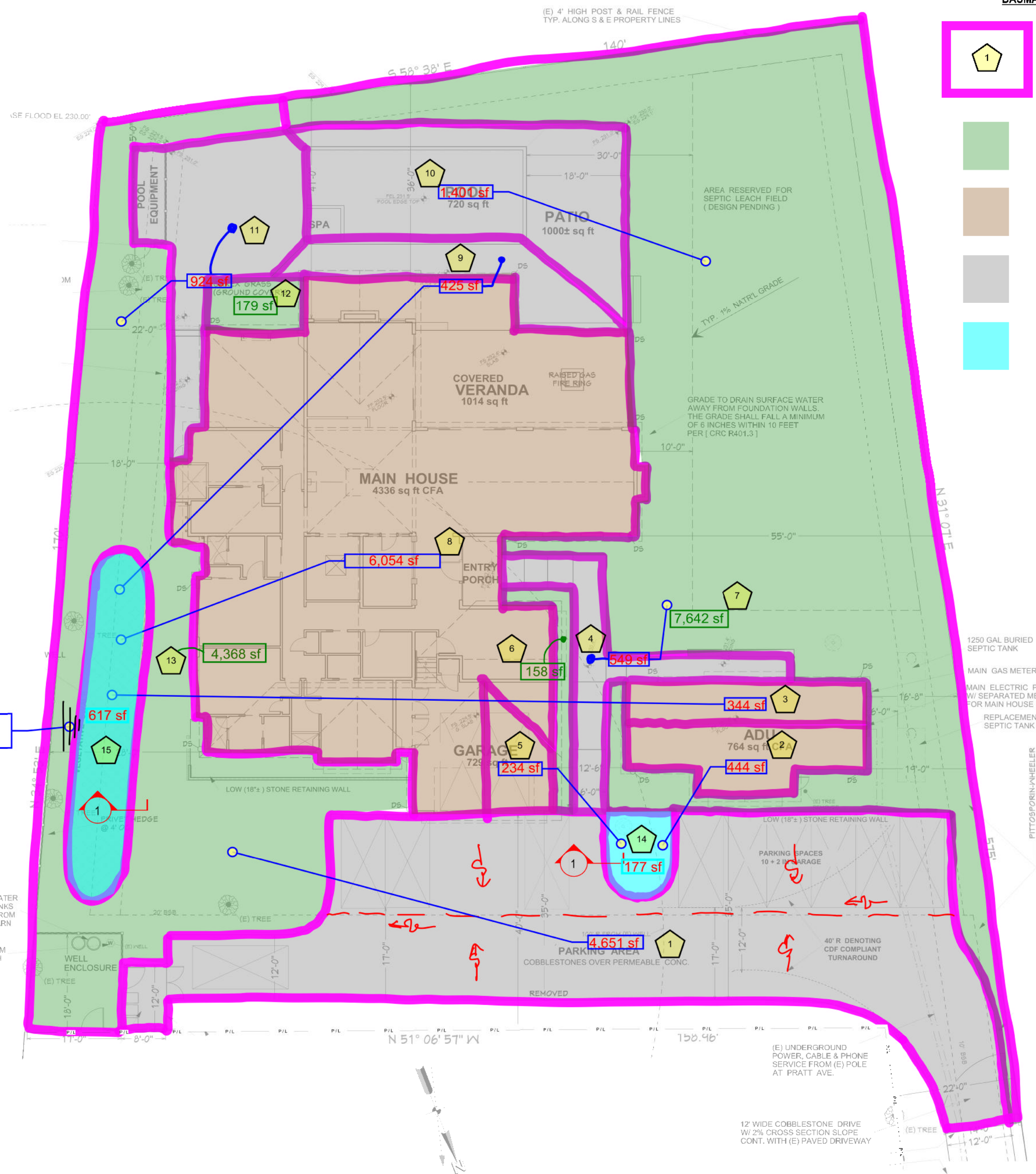
Confirm the following standard specifications are met:

- Reservoir depth is 4'-6" minimum.
- 18" depth soil mix with minimum long-term infiltration rate of 5"/hour. See <http://www.cccleanwater.org/c3-guidebook.html> for a list of soil mix suppliers.
- Surface area of soil mix is a minimum 0.04 times the tributary impervious area.
- "Class 2 perme" drainage layer 12" deep.
- No filter fabric.
- Perforated pipe (PVC SDR 35 or approved equivalent) underdrain with outlet located flush or nearly flush with planter bottom.
- Connection with sufficient head to storm drain or discharge point.
- Underdrain has a clean-out port consisting of a vertical, rigid, non-perforated PVC pipe, connected to the underdrain via a sweep bend, with a minimum diameter of 4" and a watertight cap.
- Overflow outlet connected to a downstream storm drain or approved discharge point.
- Planter is set level.
- Emergency spillage will be safely conveyed overland.
- Plantings are suitable to the climate, exposure, and a well-drained soil.
- Irrigation system with connection to water supply, on a separate zone.

RIP-RAP ARMORED
BIO-RETENTION
FACILITY OUTFALL

(2) 40+ GAL WATER
PRESSURE TANKS
RELOCATED FROM
OLD RAZED BARN

(E) WELL
RATED 80+ GPM
SERVES BOTH
PROPERTIES



12' WIDE COBBLESTONE DRIVE
W/ 2% CROSS SECTION SLOPE
CONT. WITH (E) PAVED DRIVEWAY

(E) UNDERGROUND
POWER, CABLE & PHONE
SERVICE FROM (E) POLE
AT PRATT AVE.

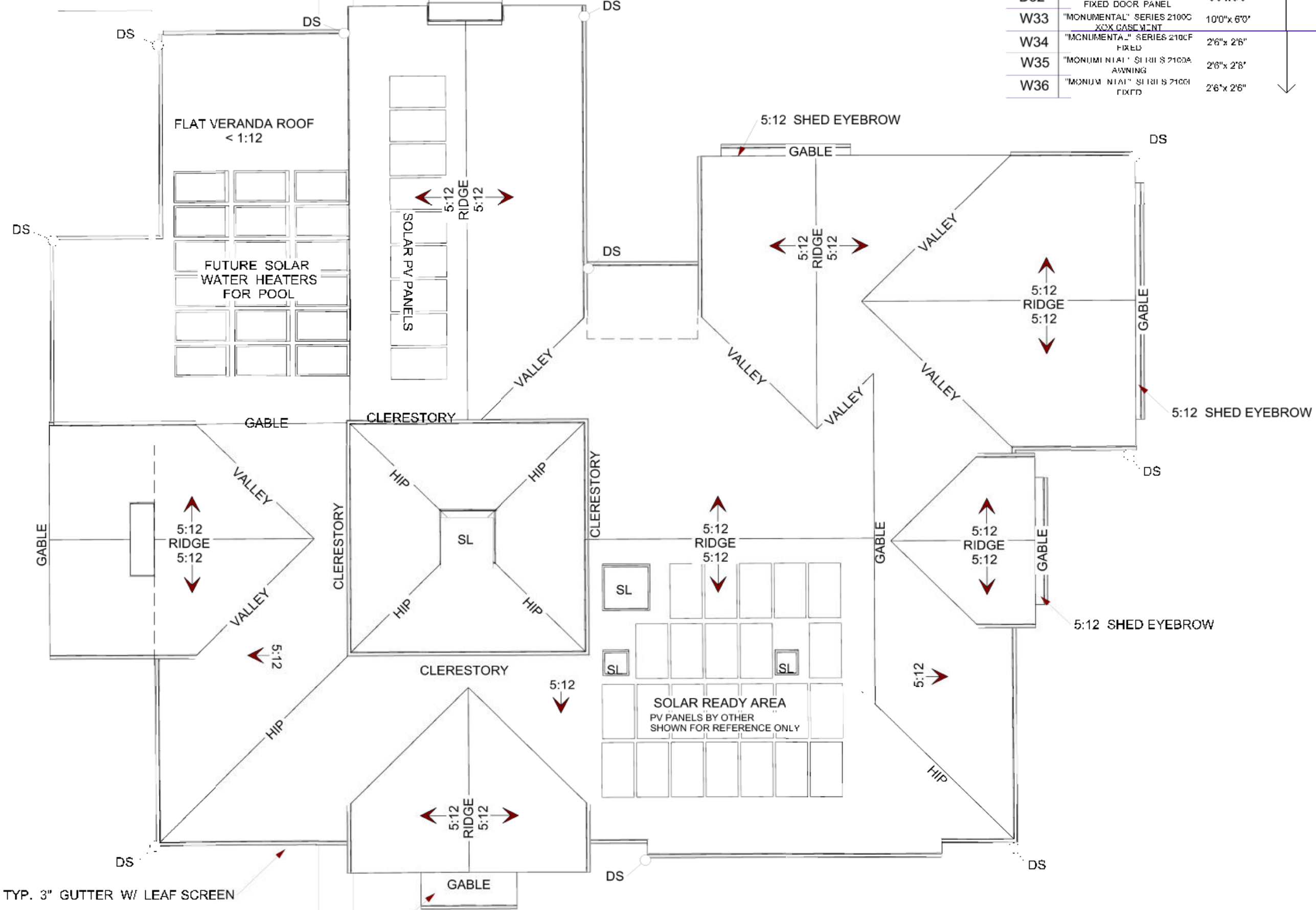
GLAZING / FENESTRATION NOTES:

- WINDOW & DOOR SIZES AS GIVEN ARE NOMINAL, CONFIRM AND CONFORM ROUGH OPENINGS & INSTALLATIONS TO MFR'S, CRC AND CES SPEC'S TYP. COMPOUND UNITS ASSUME 2" NET SPREAD MULLIONS (NON BEARING), ADJUST DIMENSIONING ACCORDINGLY
- ALL WINDOWS, EXTERIOR AND DEMISING DOORS ARE TO BE FULLY WEATHERSTRIPPED, ALL MFRD UNITS TO BE CES CERTIFIED AS MEETING ANSI AND ALL OTHER APPLICABLE STANDARDS
ALL WINDOWS AND EXTERIOR DOORS ARE TO FULLY CONFORM WITH [SFM 12-7A-2 AND 12-7A-3] AS PER CRC SPEC'S
ALL EXTERIOR GLAZING TO BE SFM CRC & T-24 COMPLIANT LOW-E INSULATING-GLASS UNITS WITH MINIMUM OF ONE TEMPERED PANE.
- PROVIDE ALL OPENING WINDOWS WITH INSECT SCREENS AND SECURITY LOCKS
PROVIDE DOORWAY WITH INSECT SCREEN / STORM DOOR
- PROVIDE MIN. 5.7 SQ. FT. CLEAR OPENING FOR EMERGENCY ESCAPE & RESCUE WITH MIN. DIMENSIONS OF 20" WIDE & 24" HIGH
AND MAX OPENING SILL HEIGHT OF 44" ABOVE FLOOR [CRC R310.1-4]
OPENING LIMIT DEVICE TO BE CLEARLY IDENTIFIED & RELEASE WITH MAX 15 LB FORCE PER [CRC R310.4]
DENOTED ON PLANS AND ELEVATIONS BY: [E]
- OPENABLE WINDOWS >6" ABOVE ADJOINING SURFACE TO BE MIN. 24" ABOVE FLOOR UNLESS OPENING RESTRICTED TO 4" W/ GUARDS [CRC R312.1]
- ALL GLAZING WITHIN HAZARDOUS LOCATIONS AND ANY GLAZING PANE OVER 9 SFT TO BE FULLY TEMPERED "SAFETY" GLASS PER [CRC R308.4]
SKYLIGHT AND HORIZONTAL GLAZING TO BE PLASTIC, LAMINATED, OR APPROVED SAFETY GLASS PER [CRC R308.6]
DENOTED ON PLANS AND ELEVATIONS BY: [T]
- ALL EXTERIOR GLAZING TO HAVE MINIMUM OF ONE TEMPERED PANE AS PER SFM 12-7A-2 REQUIREMENTS.
- DOOR(S) BETWEEN DWELLING AND GARAGE TO BE 1-3/4" S.C. WOOD (OR MIN 20 MIN. FIRE RATED) WITH AUTOMATIC CLOSURE
- DOOR LOCK & LATCHING: O = PULL LATCH, L = PASSAGE LATCH, P = PRIVACY LOCK, S = SECURITY LOCK, D = DEADBOLT, H = HASP LOCK,
A = ADA COMPLIANT, M = MOTORIZED OPERATION
- TYP. WALL OPENING HEADER TO BE DBL OR TPL 2x ON EDGE #2 DF HEADER PER [CRC TABLE R502.5(1)]
ALT - SM2x : SINGLE ON-EDGE #2 DF HEADER W/ FULL WIDTH 2x PLATES TOP & BOTTOM PER [CRC TABLE & FIGURE R602.7.1]
ALT - BOX : FULLY WSP SHEATHED BOX HEADER W/ FULL WIDTH 2x PLATES TOP & BOTTOM PER [CRC TABLE & FIGURE R602.7.2]
FULLY INSULATE RESULTANT CAVITY TO AS CLOSE TO WALL VALUE AS POSSIBLE @ #"
OPENING HEADERS ARE TYPICALLY 81" A.F.F. (80" OPENING) UNLESS OTHERWISE NOTED ON PLANS BY:
C. MAINTAIN SMOOTH AND LEVEL FLOORS AT INTERIOR DOORWAYS.
D. PROVIDE MAX 1/2" CHANGE IN FLOOR LEVELS AT EXTERIOR DOORS WITH ADA COMPLIANT "PENKE 1580" OFFSET SADDLE THRESHOLD O/E

WINDOW / DOOR SCHEDULE

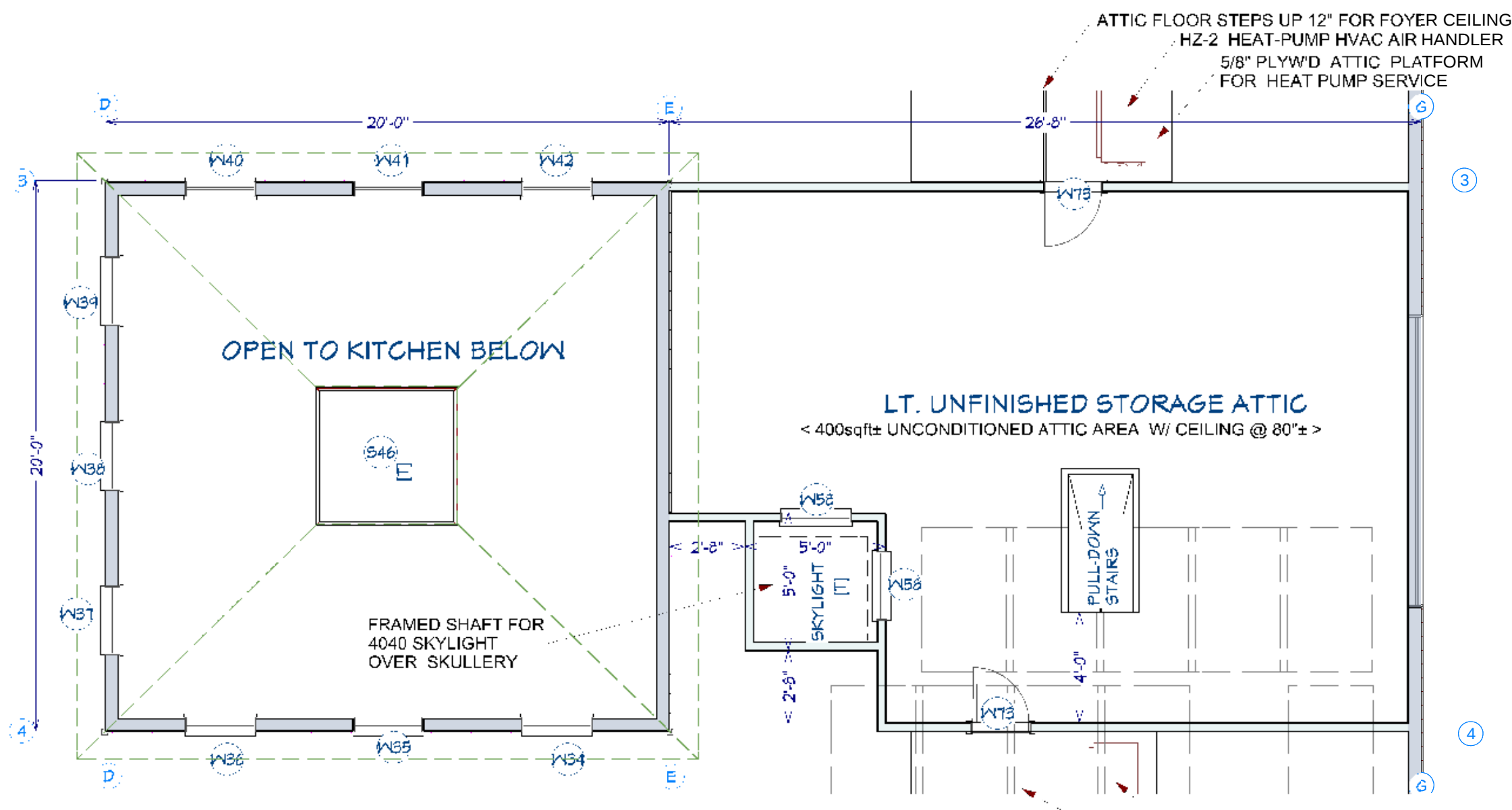
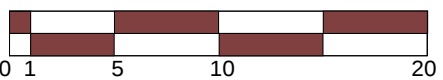
KEY	DESCRIPTION	NOMINAL SIZE	GLAZING TYPE	FRAME TYPE	CASING MAT'L	TOP A.F.F. (S.F.)	HEADERS	TRANSOMS	LATCH LOCK	ORIENTATION	FOOTNOTES
W1	"MONUMENTAL" SERIES 2100C "XOX" CASSEMENT	100"x 60"	DBL-LOW-E (T) / ARGON	THRBRK ALUM	WOOD	96"	2'-2x10 4x10	2'-2x6 4x6	1	1	1, 2, 3, 4, 9
W2	"MONUMENTAL" SERIES 2100A AWNING	26"x 26"							1	1	1, 2, 3, 6, 9
W3									1	1	1, 2, 3, 9
W4									1	1	1, 2, 3, 6, 9
W5									1	1	1, 2, 3, 6, 9
W6	"MONUMENTAL" SERIES 2100C "XOX" CASSEMENT	100"x 60"					2'-2x10 4x10	2'-2x6 4x6	2	1	1, 2, 3, 4, 9
W7									2	1	1, 2, 3, 4, 9
W8	"MONUMENTAL" SERIES 2100A AWNING	26"x 26"							1	1	1, 2, 3, 6, 9
W9									1	1	1, 2, 3, 6, 9
W10									1	1	1, 2, 3, 6, 9
W11									1	1	1, 2, 3, 6, 9
D12	"MONUMENTAL" SERIES --- HINGED DOOR	28"x 80"							1	S, D	1, 2, 3, 6, 8, 9
D13	"MONUMENTAL" SERIES 4510 "XOX" SLIDING GLASS DOOR	90"x 80"					3'-2x12 6x10	2'-2x6 4x6	2	S, D	1, 2, 3, 4, 6, 8, 9
W14	"MONUMENTAL" SERIES 2100A FIXED AWNING	46"x 70"							1	1	1, 2, 3, 6, 9
W15									1	1	1, 2, 3, 6, 9
W16									1	1	1, 2, 3, 6, 9
W17	"MONUMENTAL" SERIES 2100F FIXED TRANSOM	46"x 20"					3'-2x6 6x8	1	1	1	1, 2, 9
W18	"MONUMENTAL" SERIES 2100A FIXED AWNING	46"x 70"							1	1	1, 2, 3, 6, 9
W19	"MONUMENTAL" SERIES 2100F FIXED TRANSOM	46"x 20"					3'-2x6 6x8	1	1	1	1, 2, 9
D20	"MONUMENTAL" SERIES 4510 "XOX" LAP SLIDING GLASS DOOR	150"x 100"					(3) 11" 7/8" LVL	2	S, D	M	1, 2, 3, 4, 6, 8, 9, 10
D21	"MONUMENTAL" SERIES 4510 "XOX" LAP SLIDING GLASS DOOR	166"x 100"					(3) 11" 7/8" LVL	2	S, D	M	1, 2, 3, 6, 8, 9, 10
D22	"MONUMENTAL" SERIES 4510 "XOX" LAP SLIDING GLASS DOOR	166"x 100"						2	S, D	M	1, 2, 3, 6, 8, 9, 10
W23	"MONUMENTAL" SERIES 2100A FIXED AWNING	46"x 70"							1	1	1, 2, 3, 6, 9
W24	"MONUMENTAL" SERIES 2100F FIXED TRANSOM	46"x 30"					3'-2x6 6x8	1	1	1	1, 2, 3, 9
W25	"MONUMENTAL" SERIES 2100A FIXED AWNING	46"x 70"							1	1	1, 2, 3, 6, 9
W26	"MONUMENTAL" SERIES 2100F FIXED TRANSOM	46"x 30"					3'-2x6 6x8	1	1	1	1, 2, 3, 9
W27	"MONUMENTAL" SERIES 2100F FIXED	30"x 30"					2'-2x6 4x6	1	1	1	1, 2, 9
W28									1	1	1, 2, 9
W29									1	1	1, 2, 9
D30	"MONUMENTAL" SERIES --- FIXED DOOR PANEL	30"x 90"	DBL-LOW-E (T) / ARGON	THRBRK ALUM		108"	2'-2x6 8" BOX	1	1	1	1, 2, 3, 6, 9
D31	"MONUMENTAL" SERIES --- FIXED DOOR PANEL	30"x 90"						1	8, 0	1	1, 2, 3, 6, 8, 9, 10
D32	"MONUMENTAL" SERIES --- FIXED DOOR PANEL	30"x 90"						1	1	1	1, 2, 3, 6, 9
W33	"MONUMENTAL" SERIES 2100C "XOX" CASSEMENT	100"x 60"							1	1	1, 2, 3, 4, 6, 9
W34	"MONUMENTAL" SERIES 2100F FIXED TRANSOM	26"x 26"							1	1	1, 2, 3, 9
W35	"MONUMENTAL" SERIES 2100A AWNING	26"x 26"							1	1	1, 2, 3, 6, 9
W36	"MONUMENTAL" SERIES 2100F FIXED	26"x 26"						4x6 2'x10	2	1	1, 2, 3, 9

KEY	DESCRIPTION	NOMINAL SIZE	GLAZING TYPE	FRAME TYPE	CASING MAT'L	TOP A.F.F. (S.F.)	HEADERS	TRANSOMS	LATCH LOCK	ORIENTATION	FOOTNOTES
W37	"MONUMENTAL" SERIES 2100F FIXED	26"x 26"	DBL-LOW-E (T) / ARGON	THRBRK ALUM	WOOD	250"	2'-2x6 4x6	1	1	1	1, 2, 3, 9
W38	"MONUMENTAL" SERIES 2100A AWNING	26"x 26"						1	M	1	1, 2, 3, 6, 9
W39	"MONUMENTAL" SERIES 2100F FIXED	26"x 26"						2	1	1	1, 2, 3, 9
D40	"MONUMENTAL" SERIES 2100F FIXED	26"x 26"						2	M	1	1, 2, 3, 9
W41	"MONUMENTAL" SERIES 2100A AWNING	26"x 26"						2	1	1	1, 2, 3, 6, 9
W42	"MONUMENTAL" SERIES 2100F FIXED	26"x 26"						2	M	1	1, 2, 3, 9
D43	S.C. WOOD PANEL 20 MIN. FIRE DOOR	30"x 80"	N/A	WOOD		80"	2'-2x6 4x6	1	S, D		1, 1, 2, 7, 9
S45	"VELUX" FS D26 FIXED SKYLIGHT	20"x 20"	DBL-LOW-E (T)	METAL WOOD	WOOD	ROOF				1	1, 2, 6, 9
S46	"VELUX" FS D26 FIXED SKYLIGHT	20"x 20"	DBL-LOW-E (T)	METAL WOOD	WOOD					1	1, 2, 6, 9
S47	"VELUX" VSE 506 VENTING SKYLIGHT	38"x 310"	DBL-LOW-E (T)	METAL WOOD	WOOD				M	1	1, 2, 6, 9
S48	"GLAZING VISIONS" DIE FIXED 4 SIDED PYRAMID SKYLIGHT	40"x 40"	DBL-LOW-E (T) / ARGON	THRBRK ALUM	WOOD		2'-2x6 4x6	1	1	1	1, 2, 3, 4, 5, 6, 1, 2, 6, 9
GARAGE											
W50	"MONUMENTAL" SERIES 2100A AWNING	26"x 26"	DBL-LOW-E (T)	THRBRK ALUM	WOOD	132"					1, 2, 3, 4, 5, 6
W51									1	1	1, 2, 3, 4, 5, 6
W52	"CARRIAGE-HOUSE" DIE OH SECTIONAL GARAGE DOOR	180"x 80"	DBL CLEAR (T)	WOOD		96"	(3) 11" 7/8" LVL	2	S, D, M		1, 1, 2, 6, 9
INTERIOR											
W55	SITE BUILT WOOD FRAMED FIXED SIDE LIGHT	26"x 50"	DBL CLEAR (T)	WOOD	WOOD	96"					2, 1, 2, 6, 9
D56	INT. WOOD FRAMED GLAZED DOOR	28"x 80"								S, D	1, 1, 2, 8, 9
W57	SITE BUILT WOOD FRAMED FIXED DISPLAY WINDOW	210"x 50"									3, 1, 2, 6, 9
W58	SITE BUILT WOOD FRAMED FIXED WINDOW	26"x X 26"									2, 1, 2, 9
D60	INT. HINGED DOOR HC WOOD PANEL	30"x 80"									2, 1, 2, 8, 9
D61		28"x 80"									4, 1, 2, 8, 9
D62		30"x 80"	N/A			80"					1, 1, 2, 8, 9
D63		26"x 80"									2, 1, 2, 8, 9
D64		20"x 80"									1, 1, 2, 8, 9
D65	INT. SLIDING BI-PASS DOOR, HC WOOD PANEL	50"x 80"									1, 1, 2, 8, 9
D66		60"x 80"									1, 1, 2, 8, 9
D67	INT. SLIDING "BARN" DOOR, HC WOOD PANEL	26"x 80"									3, 1, 2, 8, 9
D68		28"x 80"									2, 1, 2, 8, 9
D69	INT. HANGING "BARN" DOOR, HC WOOD PANEL	40"x 80"				96"					2, 1, 2, 8, 9
D70	SING. HINGED DOOR, WOOD LOUVERED	30"x 80"									1, 1, 2, 8, 9
D71	DBL HINGED DOOR, WOOD LOUVERED	40"x 80"									2, 1, 2, 8, 9
ATTIC ACCESS											
D72	INT. HINGED DOOR HC WOOD PANEL	20"x 50"				60"					2, 1, 2, 8, 9



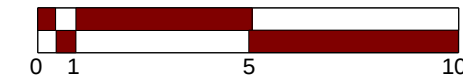
ROOF PLAN

SCALE: 1/8" = 1'0"



TOWER / ATTIC PLAN

SCALE: 1/4" = 1'0"



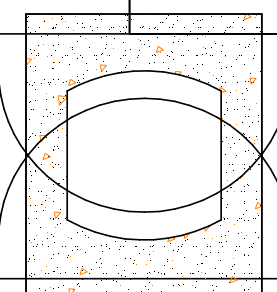
SITE VERIFY ALL DIMENSIONS
GIVEN DIMENSIONS HAVE PRECEDENCE OVER SCALE

IMPORTANT!

ANY ENGINEER'S CALCULATIONS, DETAILS, PLANS, NOTES AND/OR SPECIFICATIONS SHALL HAVE PRECEDENCE.

DATE: 02-12-2024
BY: S Carreiro
FOR: MAIN HOUSE
SEQUENCE 7 OF 12 SHEETS

NEW CUSTOM RESIDENCE W/ ADU
116 PRATT AVE, ST. HELENA, CA 94574
OWNER: STEVE CARREIRO
1779 EMERALD DRIVE
CALISTOGA, CA 94515
707-544-4040



STEVE CARREIRO
707-544-4040 c 707-321-7797
1779 EMERALD DRIVE,
CALISTOGA, CA 94515
steve@carreirobuilders.com

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DRAWN BY
JMD

CHECKED BY
S Carreiro

DATE
02-12-2024

NO. OF
2 3 5 6 A

PROJECT
MAIN HOUSE
A2

SEQUENCE 7 OF 12 SHEETS

FLOOD ZONE NOTES

UNLESS OTHERWISE SPECIFIED AND B/A VERIFIED, THIS STRUCTURE IS LOCATED WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA: "AE ZONE", DENOTING A 1% (100 YEAR) POTENTIAL OF FLOODING WHILE OUTSIDE THE IDENTIFIED FLOODWAY (FLOWING WATER). THUS THE FOLLOWING FLOOD RESISTANT CONSTRUCTION REQUIREMENTS SHALL BE ADHERED TO, PER [CRC SECTION R322].

F2.1. VERIFY THAT ALL HABITABLE FLOORS ARE TO BE SET ABOVE THE DESIGN FLOOD ELEVATION, BEING A MINIMUM OF 12" ABOVE THE DESIGNATED BASE FLOOD ELEVATION (BFE), UNLESS OTHERWISE SPECIFIED PER [CRC R322.1.5] (MINIMUM 18" ABOVE BFE PER CITY OF ST. HELENA, CA)

F2.2. ANY ENCLOSED AREAS BELOW THE DESIGN FLOOR ELEVATION SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE, PER [CRC R322.2.1.1]

F2.3. THE BUILDING AND ALL STRUCTURAL ELEMENTS ARE TO BE APPROPRIATELY ANCHORED TO RESIST FLOTATION, AND POTENTIAL LATERAL LOADS FROM FLOODING, INCLUDING IMPACT AND UPLIFT FROM FLOATING DEBRIS, FURNITURE, STORAGE, ETC. PER [CRC R322.1.2]

F2.4. BUILDING MATERIALS AND INSTALLATIONS FOR FLOORING, WALLS, INTERIOR AND EXTERIOR COVERINGS AND FINISHES BELOW THE DESIGN FLOOD ELEVATION, ARE TO BE FLOOD DAMAGE RESISTANT MATERIALS CONFORMING TO FEMA TB-2, PER [CRC R322.1.6]

F2.5. PROVIDE EACH ENCLOSED AREA BELOW THE DESIGN FLOOD ELEVATION, INCLUDING BASEMENT, GARAGE AND CRAWLSPACE WITH MIN. TWO CRC COMPLIANT FLOOD OPENINGS TOTALING MIN. 1500 NET FREE OPENING (NFO) FOR FREE FLOWING FLOOD WATER FOR EACH 1500 FT² OF ENCLOSED AREA, PER [CRC R322.2.2], UNLESS OTHERWISE ENGINEERED.

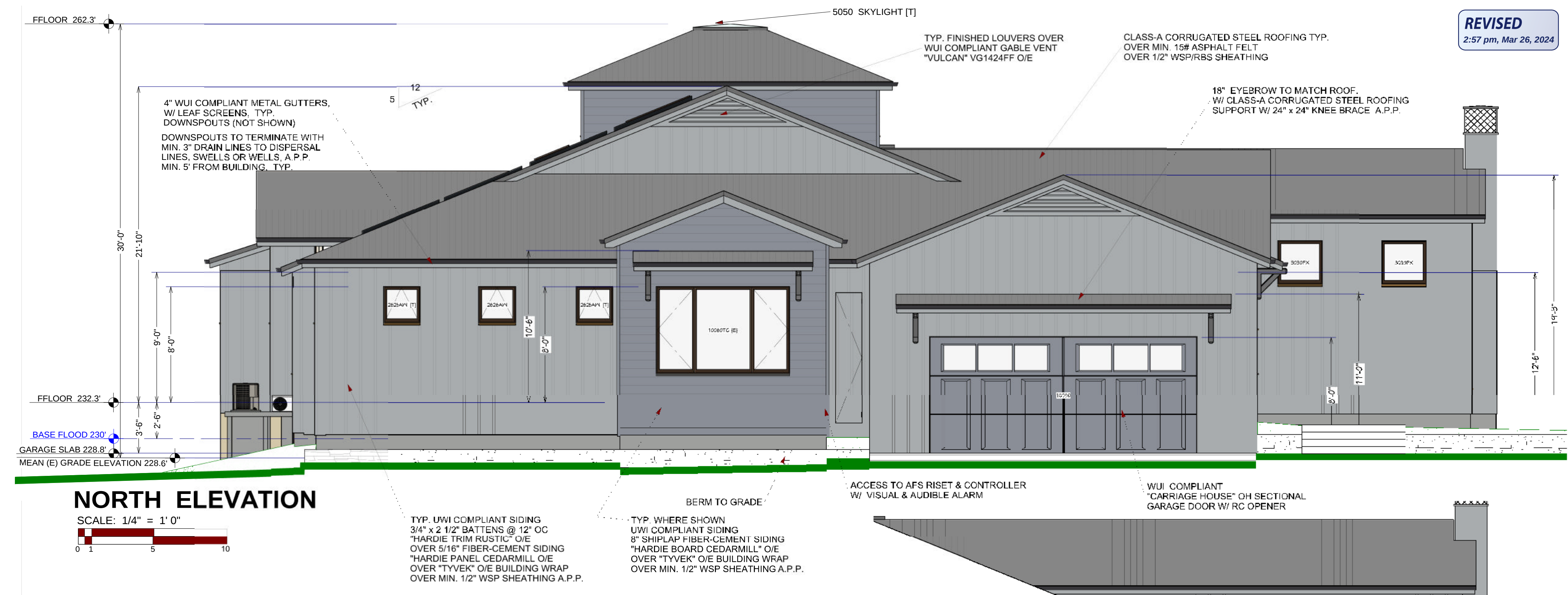
(SEE FLOOD OPENING CALCULATION WITH FOUNDATION PLAN)

1. OPENINGS TO BE MIN. 3' IN HEIGHT AND WIDTH, AND MAX. 12" ABOVE HIGHER OF FINAL INSIDE SURFACE (GRADE / FLOOR) AND FINISHED EXTERIOR GRADE, PER [CRC R322.2.2.1]
2. OPENINGS MUST BE METAL SCREENED OR OTHERWISE DESIGNED TO PREVENT INSECT OR VERMIN INTRUSION AND CONFORM TO APPLICABLE WUI REQUIREMENTS WHILE AUTOMATICALLY FULLY OPENABLE TO ALLOW THE FREE FLOWING OF FLOOD WATER. OPENINGS SHALL BE MAINTAINED CLEAR AND NOT BE BLOCKED BY LANDSCAPING, FURNITURE, STORAGE, DEBRIS, ETC.

F2.6. ALL ELECTRICAL, MECHANICAL, AND PLUMBING INSTALLATIONS, APPLIANCES, FIXTURES, DUCTWORK, ETC. SHALL BE PLACED AT OR ABOVE THE DESIGN FLOOD ELEVATION UNLESS APPROPRIATELY DESIGNED, PERMITTED AND INSTALLED AS TO PREVENT WATER INTRUSION OR DAMAGE PER [CRC R322.1.6]. ELECTRICAL INSTALLATIONS TO BE FULLY GFI PROTECTED AND CRC COMPLIANT FOR WET LOCATIONS.

F2.7. WATER SUPPLY AND SANITARY SEWER SYSTEM.

1. WATER SUPPLY AND DISTRIBUTION SYSTEM, INCLUDING WELL, SHALL BE DESIGNED AND INSTALLED TO MINIMIZE OR PREVENT POTENTIAL FLOOD AND WATER INTRUSION INTO THE SYSTEM OR BUILDING PER [CRC R322.1.7]
2. SANITARY SEWAGE, SEPTIC SYSTEM SHALL BE DESIGNED AND INSTALLED TO MINIMIZE OR PREVENT FLOOD WATER INTRUSION INTO THE SYSTEM AND POTENTIAL SEWAGE DISCHARGES INTO FLOODWATERS PER [CRC R322.1.1]
3. SEPTIC AND ALL SIMILAR UNDERGROUND TANKS SHALL BE ANCHORED TO PREVENT FLOTATION, COLLAPSE AND LATERAL MOVEMENT UNDER FLOOD CONDITIONS, PER [CRC R322.2.4]
4. ALL ABOVE GROUND TANKS, WATER, PROPANE, ETC. SHALL BE INSTALLED ABOVE THE DESIGN FLOOD ELEVATION OR APPROPRIATELY ANCHORED TO PREVENT FLOTATION OR LATERAL MOVEMENT PER [CRC R322.2.4]



EXTERIOR FINISHES / COLORS

PRIMARY SIDING: HARDIE BOARD & BATT SIDING
COLOR: BENJAMIN MORE
CHELSEA GRAY
HC-168

ACCENT SIDING: ACCYA HORIZONTAL LAP
COLOR: IKIGAI (GRAY)

ACCENTS, SOFFITS, FASCIA & TRIM: HARDIE TRIM
COLOR: BENJAMIN MORE
AMHERST GRAY
HC-167

WINDOW & DOOR FRAMES, PAINTED TB ALUMINUM
COLOR: KENDALL CHARCOAL
HC-166

ROOF GUTTERS & METAL HIGHLIGHTS
MTRL: BONDERIZED STEEL

ROOFING: "METAL SALES" CORRUGATED STEEL
COLOR: WEATHERIZED COPPER
(W50)



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SITE VERIFY ALL DIMENSIONS
GIVEN DIMENSIONS HAVE PRECEDENCE OVER SCALE

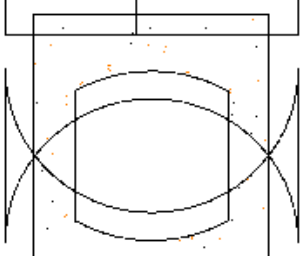
IMPORTANT! ANY ENGINEER'S CALCULATIONS, DETAILS, PLANS, NOTES AND/OR SPECIFICATIONS SHALL HAVE PRECEDENCE.

SIGNATURE: _____ DATE: _____
AS RESPONSIBLE PERSON FOR THE PREPARATION AND IMPLEMENTATION OF THIS DESIGN PLAN, DIVISION 2 OF THE CALIFORNIA UNIFORM JACOBI AND PROFESSIONAL CODE.

RELEASE	DATE
DESIGN REVIEW	03-24-24
1	
2	
3	
4	
5	
6	
7	
8	

NEW CUSTOM RESIDENCE W/ ADU
116 PRATT AVE, ST. HELENA, CA 94574
OWNER: STEVE CARREIRO
1779 EMERALD DRIVE
CALISTOGA, CA 94515
707-544-4040

MAIN HOUSE
EXT. ELEVATIONS



STEVE CARREIRO
707-544-4040 c 707-321-7797
1779 EMERALD DRIVE
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steve@carreirobuilders.com

CARREIRO BUILDERS, INC.
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CHECKED BY S Carreiro
DATE 02-12-2024
2 3 3 5 6 A
MAIN HOUSE
A3
SEQUENCE 8 OF 12 SHEETS

REVISED
2:57 pm, Mar 26, 2024

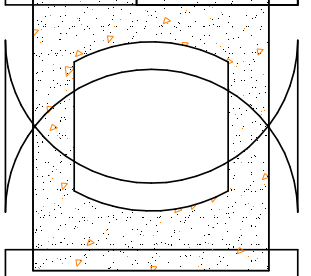


RELEASE	DATE
1 DESIGN REVIEW	03-24-24
2	
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9	

NEW CUSTOM RESIDENCE W/ ADU
116 PRATT AVE, ST. HELENA, CA 94574

OWNER
STEVE CARREIRO
1779 EMERALD DRIVE
CALISTOGA, CA 94515
707-544-4040

MAIN HOUSE
EXT. ELEVATIONS



STEVE CARREIRO
707-544-4040 • 707-321-7797
1779 EMERALD DRIVE,
CALISTOGA, CA 94515
steve@carreirobuilders.com

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JMD

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S Carreiro

DATE
02-12-2024

SHEET NO.
23356A

SHEET
MAIN HOUSE

A4

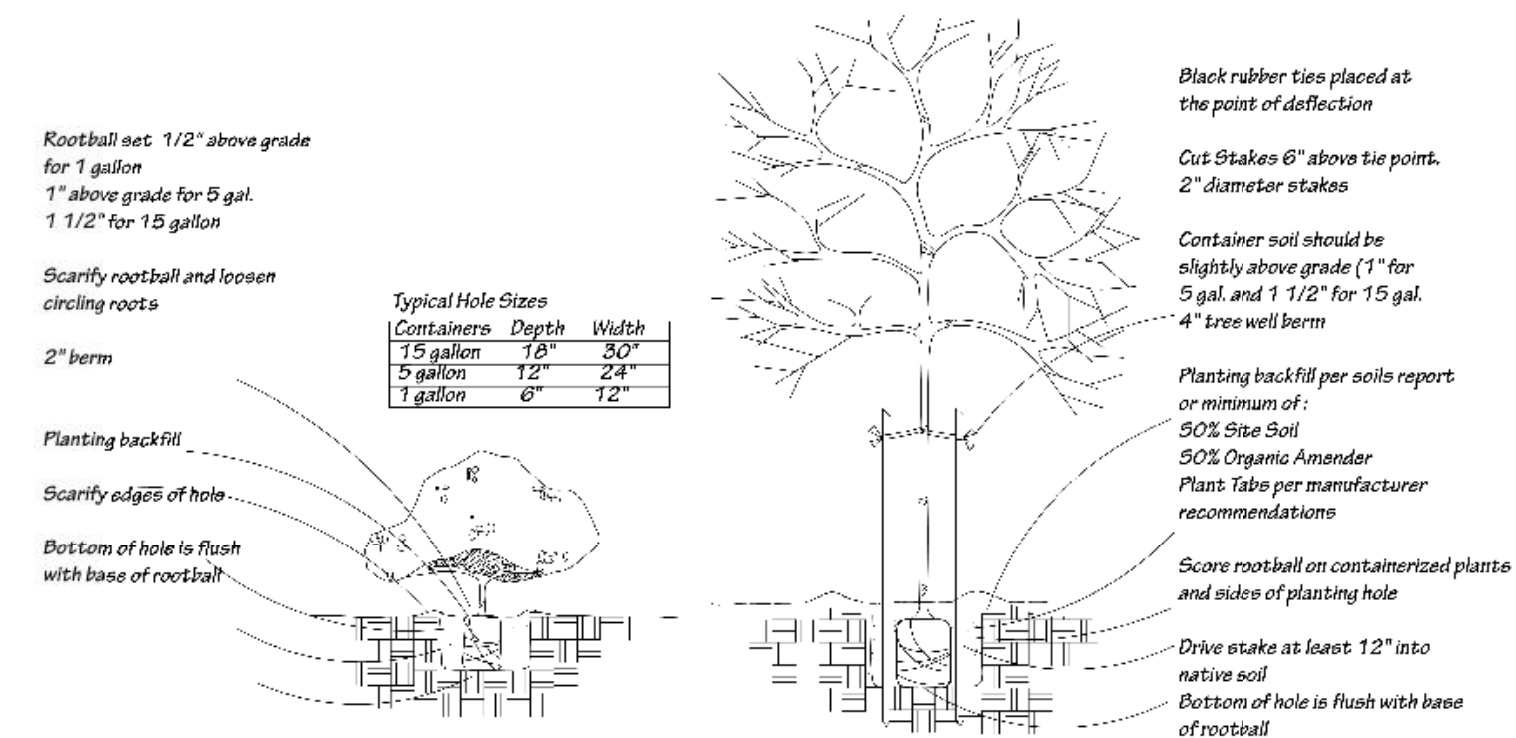
SEQUENCE **9** OF **12** SHEETS



FRATT STREET PLANTING LEGEND								3/22/24
KEY	BOTANICAL NAME	COMMON NAME	WUCOLS	PF	QUANTITY	SIZE	REMARKS	
TREES								
OE	Olea europaea 'Swan Hill'	Swan Hill Olive	L	O.1	1	36" box or FG	Non Fruiting	
SHRUBS								
PCC	Prunus caroliniana 'Compacta' 'Column' or	Carolina Cherry or	L	O.2	69	5 or 15 gallon	Foliage/Screen, 48" OC	
	Ligustrum Texanum 'Column'	Texas Privet	M	O.4		5 or 15 gallon	Foliage/Screen, 48" OC	
OLO	Olea 'Little Olive'	Little Olive	L	O.1	84	5 gallon	Hedge, 36" OC	
AUC	Arbutus undedo 'Compacta'	Dwarf Strawberry Tree	L	O.1	33	5 gallon	Flag road strip, 60" OC	
GRASSES								
CAL	Calamagrostis 'Karl Foerster'	Feather Reed Grass	M	O.4	38	1 gallon	Foliage, 3'-6" OC	
CTU	Carex tumulicola	Berkeley Sedge	L	O.1	30	1 gallon	Bioretention, 30" OC	
BIO	Delta Bluegrass Biofiltration Sod or	Native Sod Blend	L	O.3	500	SF	Bioretention Sod	
	Native Preservation Blend			O.3				
LDM	Lomandra longifolia 'Breeze'	Dwarf Matt Rush	L	O.1	23	1 gallon	Foliage, 36" OC	
LPB	Lomandra 'Platinum Beauty'	Platinum Beauty Matt Rush	L	O.1	22	1 gallon	Foliage, 36" OC	
PERENNIALS/GROUNDCOVERS								
NEP	Nepeta 'Walkers Low'	Cat Mint	L	O.1	65	1 gallon	Flowers, 36" OC	
CEA	Ceanothus griseus horizontalis 'Yankee Point' or	California Wild Lilac	L	O.1	83	1 gallon	Flowers, 60" OC	
	Ceanothus 'Joyce Coulter'		M	O.4				
SOD	Native Mow Free or	No Mow Native Sod Blend	L	O.3	3100	SF	Delta Bluegrass	
	Bolero Plus Fescue Blend		M	O.3				

PLANTING NOTES

1. All plant material shall be approved by the Landscape Architect prior to installation and will be rejected if not in accordance with industry standards. Substitution requests to be made to the Landscape Architect for approval prior to site delivery.
2. The plant count is for the convenience of the Landscape Contractor. In case of a discrepancy with the plan, the plant count shall govern.
3. All proposed planting areas shall be cleared of any weeds and debris prior to soil preparation. In the case of pernicious perennial weeds, a systemic herbicide shall be applied prior to clearing. If particularly difficult weeds, such as wild onion, are encountered, the Landscape Architect and owner shall be contacted prior to proceeding. No soil preparation shall take place in areas where soil is contaminated with cement, plaster, paint, or other construction debris. All contaminated soil shall be removed and replaced with a friable sandy loam capable of sustaining healthy plant life and containing no noxious weeds or debris.
4. A minimum of 6" of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas. Compost shall be incorporated into the soil to a minimum of 6 inches at a minimum rate of 6 cubic yards per 1,000 square feet. Soils with greater than 6% organic matter in the top 6" of soil are exempt from adding compost, and tilling. Soil Amendments shall be incorporated into existing soil according to recommendations of the soil report and what is appropriate for the plants selected. The Soil Analysis Report requirement of soil samples can be submitted to ETG Soil Testing, Petaluma CA, (707) 778-9605 entech@pacbell.net.
5. All planting operations shall be performed by personnel familiar with this type of work and under the supervision of a qualified planting foreman. Planting pits shall be 2 x the diameter by the depth of planting containers amended per Soil Testing recommendations.
6. Planting areas shall receive a 3" layer of Non Fumigal Small Particle Mulch or recycled Arbor Mulch Wood . Mulch to be spread after container planting. The landscape contractor shall provide a bark sample to the Landscape Architect prior to shipping to site.
7. 15 gallon standard trees shall be staked with 2 - 2" diameter x 8'-0" lodgepole pine tree stakes and 2 ties.
8. Planting improvements shall conform to the State Model Water Efficient Landscape Ordinance (MWELO), MAWA & WUCOLS 1V Plant List and provided per the City of St. Helena MWELO Landscape Documentation Package.
9. Landscape Plan & Planting and Irrigation, shall conform to the City of St. Helena Municipal Code Title 17, Chapter 17.25 Landscaping.
10. Upon completion of the installation, the contractor shall submit to the City of St. Helena a completed and signed "Certificate of Completion". The City of St. Helena Certificate of Completion shall be accompanied by the following Attachments: Irrigation Scheduling, Schedule of Landscape and Irrigation Maintenance, Landscape Irrigation Audit Report, Soil Management or Analysis Report.
11. See Sheet L1.1 for Flat Lot Entry Road Planting.

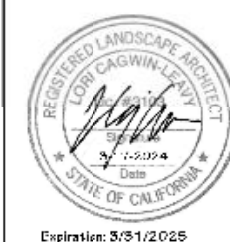
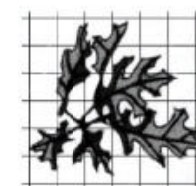


TREE & SHRUB PLANTING DETAIL

SCALE = N.T.S.

REVISED
2:57 pm, Mar 26, 2024

LORI CAGWIN
R.I.A. #3103
LANDSCAPE ARCHITECTURE
11 Jasmine Street Yountville, California 94599
707.945.0835 Phone/Facsimile
lori@loricagwin.com www.loricagwin.com



PLANTING PLAN

Carreiro Builders
AP# 009-010-001
Pratt Ave. St. Helena, CA

Revisions

3-17-2024
3-22-2024

Date: 2-9-2024

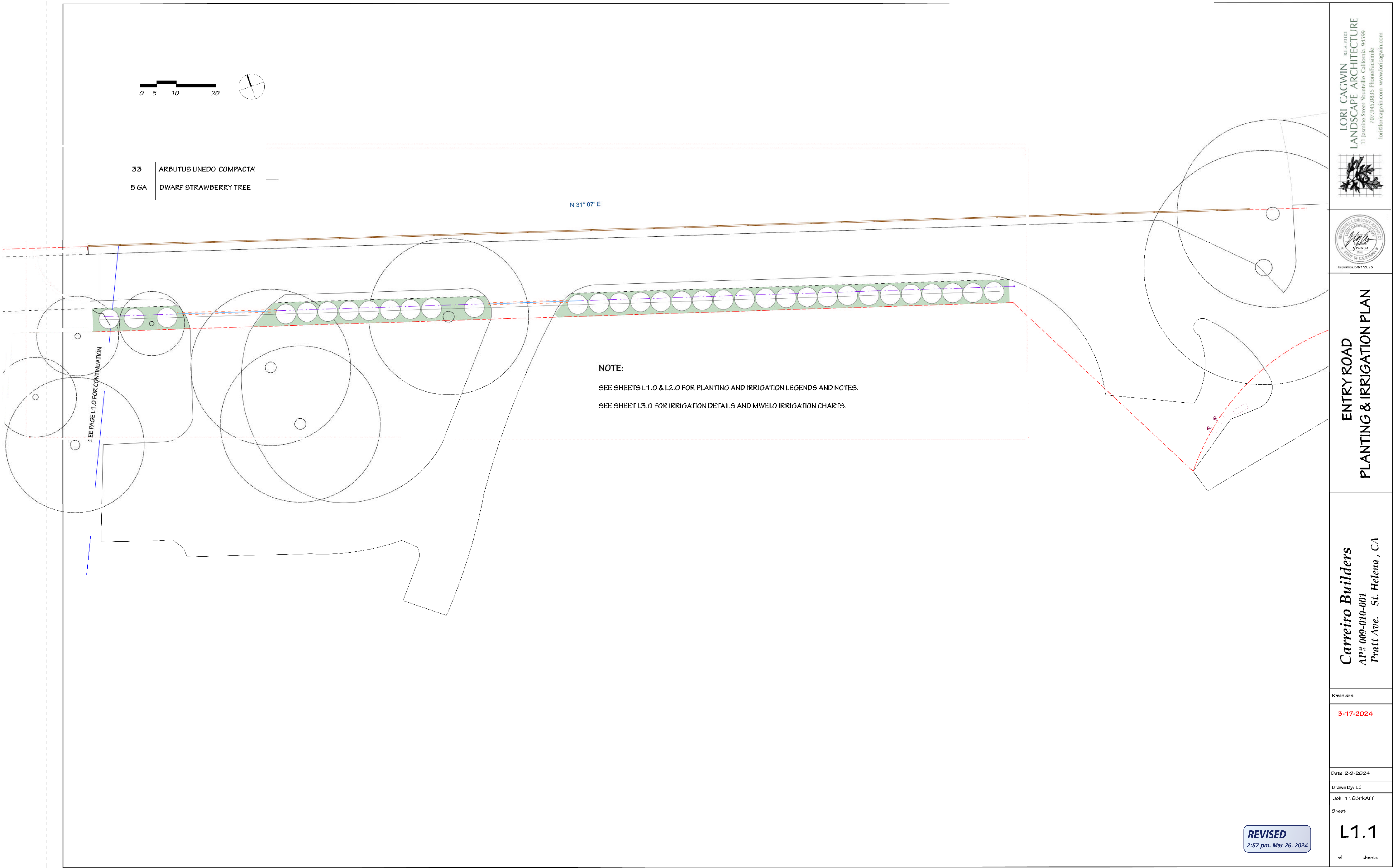
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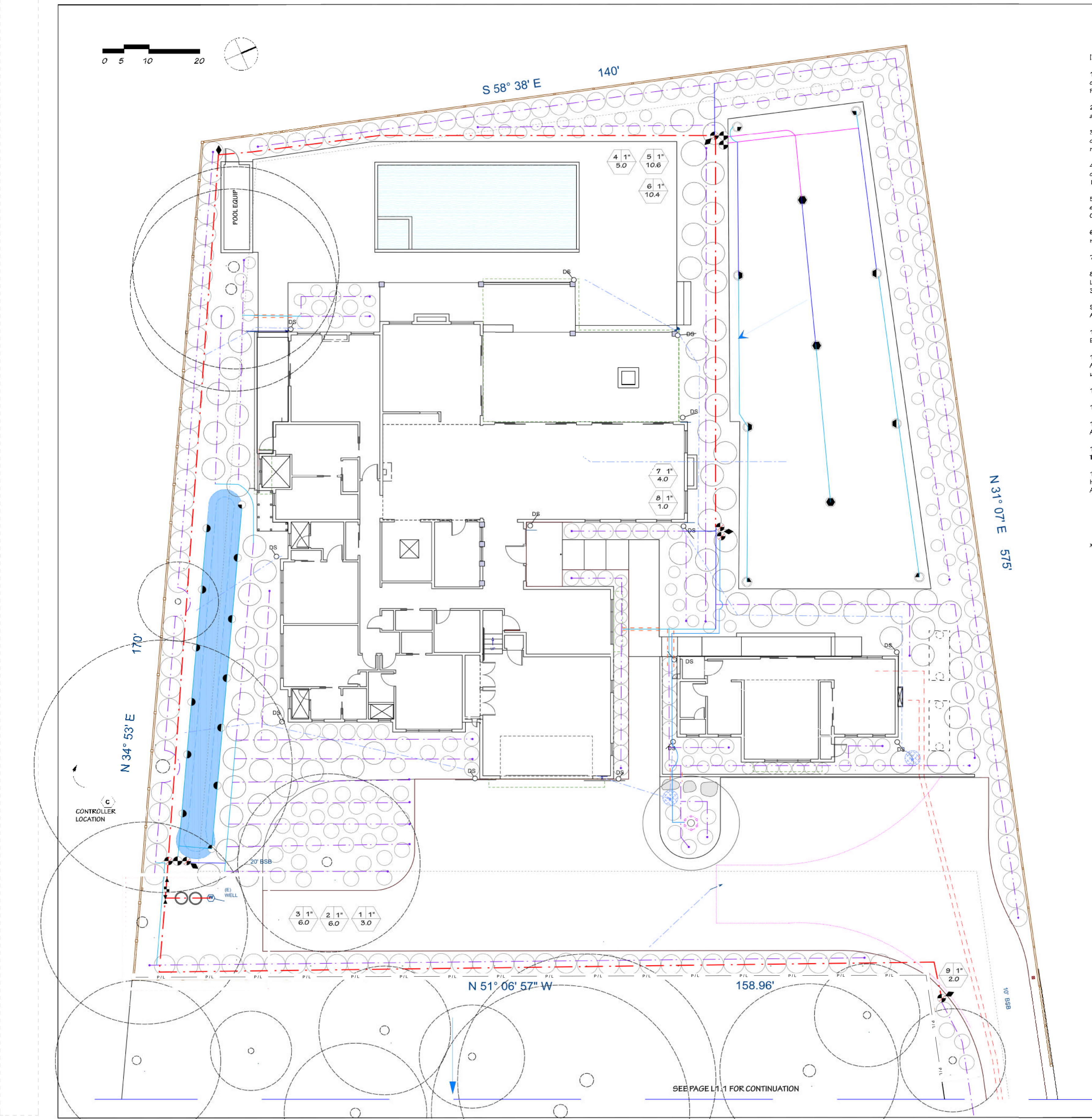
Job: 116BPM

Sheet

L1.0

of sheets





IRRIGATION NOTES

- 1. Layout of piping, valves and heads is diagrammatic and may be field adjusted for ease of installation, optimum coverage and maintenance. Trim systems to eliminate wasteful overspray onto paved surfaces or building walls. Layout of mainline, lateral and valves is for visual clarity and should be located in planting beds or lawn areas wherever possible. Parallel pipes may be installed in a common trench. Pipes shall have 3" horizontal separation, and are not to be installed directly above one another.
- 2. The contractor shall verify all existing conditions, access, eave, water pressure, and controller location. The contractor shall verify the location of existing underground utilities and structures prior to the excavation of trenches or holes. Contractor is to repair any damage caused by or during the performance of this work at no additional cost to the owner.
- 3. All irrigation material to be installed per the City of St. Helena guidelines, and current Uniform Building and Plumbing Codes and Standards. The contractor shall coordinate with related contractors to complete the entire irrigation system, including the electrical hook-up for automatic controller. The contractor shall obtain and pay for all required permits and fees relating to the work.
- 4. Trenching is to be of sufficient depth to provide 24" of cover over main lines and 12" of cover over lateral lines. During trenching operations, all underground utilities must not be disturbed or damaged. Contact appropriate agencies, Underground Utilities Alert (811), to locate utilities prior to start of work. All trenching adjacent to existing trees shall be approved by the Landscape Architect prior to start of trenching operations.
- 5. All backfill material for mainlines and lateral lines shall be free of rocks and debris and compacted to original soil density. All elbows to be two sizes larger than the line(s) held and shall extend 12" beyond paving edges. Sleeves shall be bedded in a sand or fine granular material envelope 4" on all sides of pipe. All excavations are to be backfilled to 90% compaction, minimum. Contractor to repair all settled trenches promptly for a period of one year after completion of the work.
- 6. Flush lateral lines prior to the installation of irrigation heads. Install spray heads 6" to 8" from the building or fence and within 2' of pavement, curbs or header edges. Contractor to make minor adjustments in head locations, and adjust heads for radius and arc to provide optimum coverage, and to minimize the spraying of water onto pavement, buildings or adjacent areas.
- 7. The mainline tie-in location requires an available pressure of 50 to 55 PSI.
- 8. The Irrigation Point of Connection should have an adjusted static pressure of 50 PSI. Lateral lines are sized for 2.7 PSI per 100 Linear Feet. Allowable loss with the minimum and maximum gallowage is as indicated below:
3/4" - 1 to 7 GPM 1" - 8 to 14 GPM 1 1/4" - 15 to 25 GPM 1 1/2" - 26 to 35 GPM
- 9. The proposed location of the Irrigation Controllers will be wall mounted in thalocation as shown on the drawings and field verified. A 110 V power source will be provided to the Landscape Contractor prior to start of planting operations.
- 10. All valve control wire shall be #14 AWG Copper UL approved for direct burial in ground. Run one extra control wire of a different color through all valve locations to controller. Each wire @ valve shall have a 24" excess coiled loop in each valve box.
- 11. The Landscape Contractor shall maintain an accurate As-Built Drawing of the Irrigation system for all changes in mainlines, sleeves, lateral lines, drip lines, valves and heads. A reproducible drawing, provided to the Landscape Contractor, shall be used to transfer all As-Built changes to the Irrigation Plan. A final As-Built Drawing will be provided to the owner upon project completion.
- 12. All material and workmanship shall be guaranteed by the Landscape Contractor for a period of one year from Final Acceptance.
- 13. See Sheet L1.1 for Entry Road Irrigation. See Sheet L3.0 for additional Notes and Details.
- 14. Irrigation design shall conform to the City of St. Helena MWELO Ordinance for Water Efficient Landscape Guidelines and MAWA allowances. A single valve shall not irrigate hydrozones that mix high water use plants with moderate or low water use plants.
- 15. The MAXIMUM ALLOWABLE WATER ALLOWANCE (MAWA) for 14,370 SF of proposed irrigated Landscape w/tree canopies is 216,098 gallons per year. The ESTIMATED TOTAL WATER USE (ETWU) is 124,711 gallons per year.
- 16. Upon completion of the installation, the contractor shall submit to the Engineering Development Services inspector a completed and signed "Certificate of Completion" stating that the project has been installed as designed. The Certificate of Completion shall be accompanied by an irrigation audit, irrigation schedule and a maintenance schedule, as described in the City of St. Helena ordinance. A final City inspection shall be performed. The installation contractor shall attend this inspection and make all required repairs and adjustments to achieve approval and completion.

xx

IRRIGATION LEGEND			
KEY	MAKE	MODEL NUMBER	DESCRIPTION
	Fibco	Ø25Y-BV- 1 1/2"	Reduced Pressure Backflow Preventor
	Hunter	XC-B-00 w/ W55-SEN	Ø Station Outdoor Controller w/ wireless ET Solar Sync
	Stockham	B110- 1 1/2"	FIP® Brass Gate Valve w/Box
	Hunter	HQ33DLKC- 3/4"	Quick Coupling Valve
	Netafim or Hunter	NCZ-15 or ICV-101G-F5	1" Control Zone Kit w/Control Valve or 1" Remote Control Valve with Filter Bentry
	Hunter	ICV-101G-F5	1" Remote Control Valve with Filter Bentry
	OPTION 1: Netafim	TLDL6-1210 TLFV-1 TLS6U	.6 gph TECHLINE @ 12" spacing Line Flushing Valve. 1/2" Ball Valve per planter Staples @ 4'-0" OC
	OPTION2: Netafim	Ø1 WPC -4 (1 GPH)	Pressure Compensating Emitter w/Sug Cap (2/5 gallon shrub, 1/1 gallon shrub)
	Hardy Agrifilm	Blue Stripe A-250 w/C250 & S6	3/4", 1/2" Polyethylene Tubing (6" cover) 1/4" Distribution Tubing w/Connector & barb
	Hunter	Pro-04-MP 1000-ADJ-90, 180, 210,270,360	Pro Spray 4" Pop-Up w/MF Rotator 8'-15' radius lawn head (2-.5 GPM)
	Hunter	Pro-06-MP 3000-ADJ-90, 180, 210,270,360	Pro Spray 4" Pop-Up w/MF Rotator 22'-30' radius lawn head (L8, 1.8, 3.6 GPM)
	Netafim	TLDL9-1210 TLFV-1 TLS6U	.9 gph TECHLINE @ 12" spacing (2 loops & 3 loops) Line Flushing Valve Staples @ 4'-0" OC
	EPCO/Equal	Schedule 40 PVC - 1 1/2"	Mainline - (18" Cover)
	EPCO/Equal	Class 200 PVC 1 1/4", 1", 3/4"	Lateral Line (12" Cover)
	EPCO/Equal	Schedule 40 PVC	Sleeve (24" Cover) (2 sizes larger than line held)
	Valve Number	Valve Size	Gallons per Minute per Valve

REVISED
2:57 pm, Mar 26, 2024

LORI CAGWIN
LANDSCAPE ARCHITECTURE
11 Jasmine Street, Yountville, California 94599
707.945.0835 Phone/Facsimile
lori@loricagwin.com www.loricagwin.com

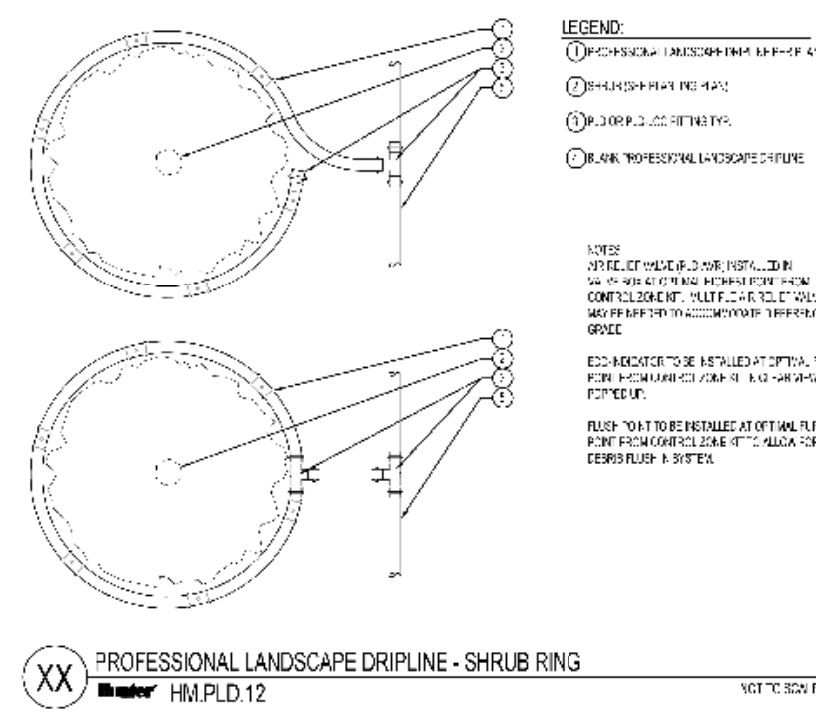
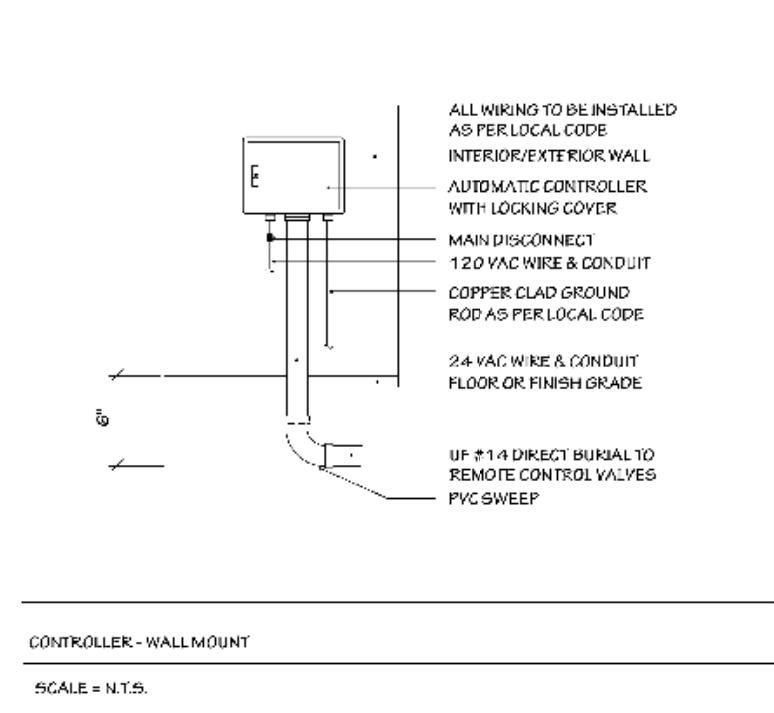
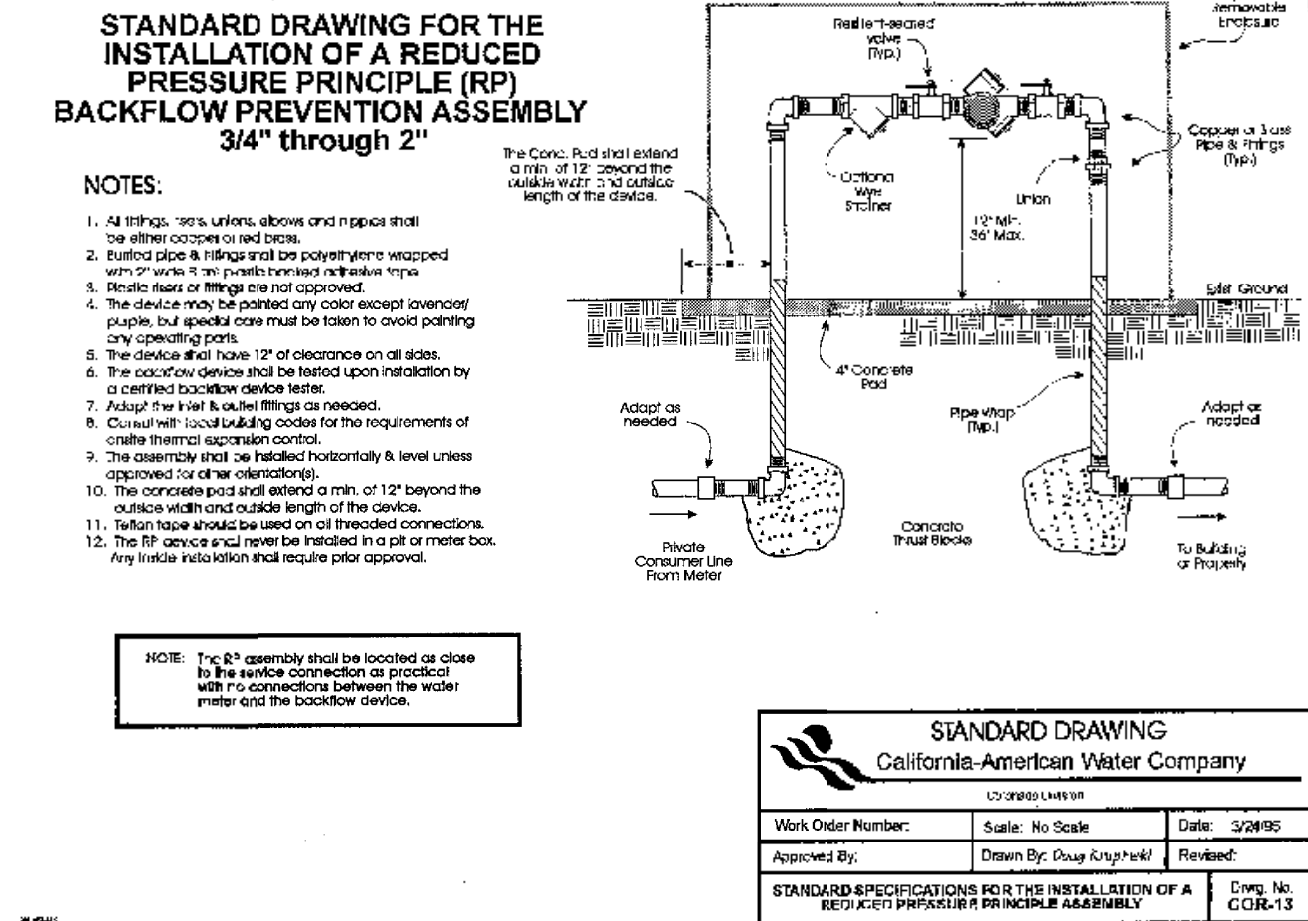


IRRIGATION PLAN

Carreiro Builders
AP# 009-010-001
Pratt Ave. St. Helena, CA

Revisions
3-17-2024
3-22-2024

Date: 2-9-2024
Drawn By: LC
Job: 1106PRATT
Sheet
L2.0
of sheets



City of St. Helena Water Efficient Landscape Worksheets

Section A: HYDROZONE INFORMATION TABLE

Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the information for each landscape area per hydrozone. If you have more than ten hydrozones, please attach additional page(s) with your application as necessary to complete hydrozone information for all portions of your project and calculation of your project's Estimated Total Water Use (ETWU). Other standard MWUO worksheets will be accepted.

1. The plant factor used shall be from sources identified above or other sources allowed by law.
2. Individual hydrozones that mix plants of moderate and low water use shall use the higher water using plant factor.
3. Use 44.1 as the ETo for the City of St. Helena.
4. *ETAF must be below .35 for residential and below .45 for non-residential.

Regular Landscape Areas									
Hydrozone No.	Planting Description	PF	IM	IE	ETAF*	Landscape Area (LA) (sq. ft.)	ETAF x Area	ETWU (gallons per year)	ETWU (gallons per year)
1	Southwest of Residence	.4	Drip	.81	1.1/81 = .12	650	1.126500	1386.239	
2	Southwest of Residence	.4	Drip	.81	.48	2460	1205	32947	
3	Southwest of Residence	.3	MP Rotators	.75	.40	500	200	5468	
4	Southwest of Residence	.1	Drip Emitters	.81	.12	1430	172	4682	
5	Southwest of Residence	.1	Drip Emitters	.81	.12	2470	296	8104	
6	Septic Area Center	.3	MP Rotators	.75	.40	1500	600	16405	
7	Septic Area Sides	.3	MP Rotators	.75	.40	1500	600	16405	
8	Northwest of Buildings	.4	Drip Emitters	.81	.48	2560	1254	34288	
9	Olive Planter	.1	Drip Emitters	.81	.12	300	36	984	
10	Entry Drive Planting Strip	.1	Drip Emitters	.81	.12	1650	198	5413	
TOTALS						A 14370	B 4561	E 124711	
Special Landscape Areas									
Special Landscape Area (SLA) (sq. ft.)									
1	N/A	N/A	N/A	N/A	1				
2	N/A	N/A	N/A	N/A	1				
3	N/A	N/A	N/A	N/A	1				
4	N/A	N/A	N/A	N/A	1				
SUBTOTALS						C	D	F	0

MWUO Updated 7/25/2016 Page 6 of 6

Section B: Calculations

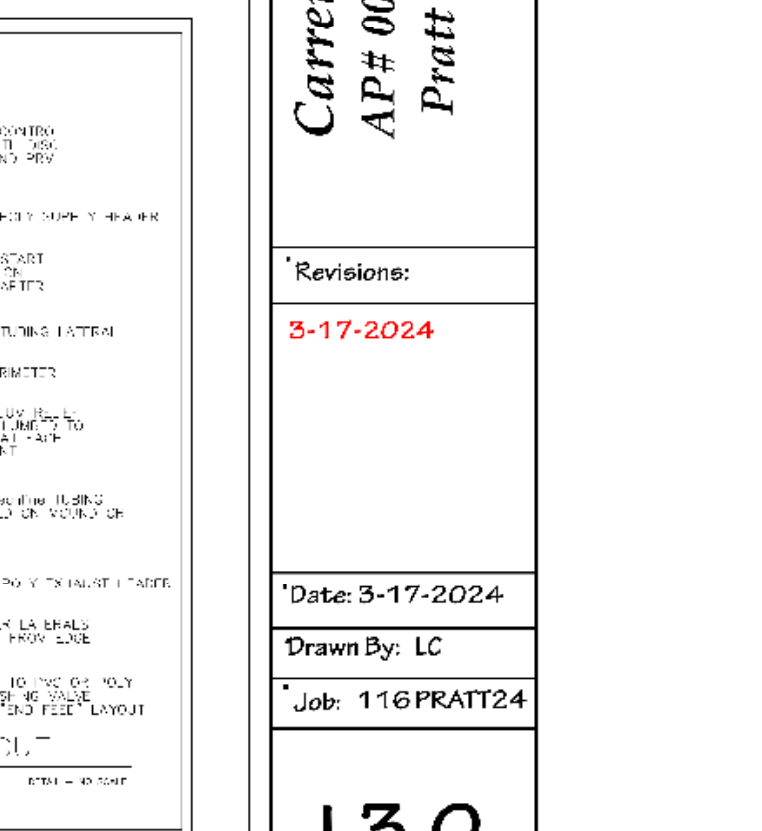
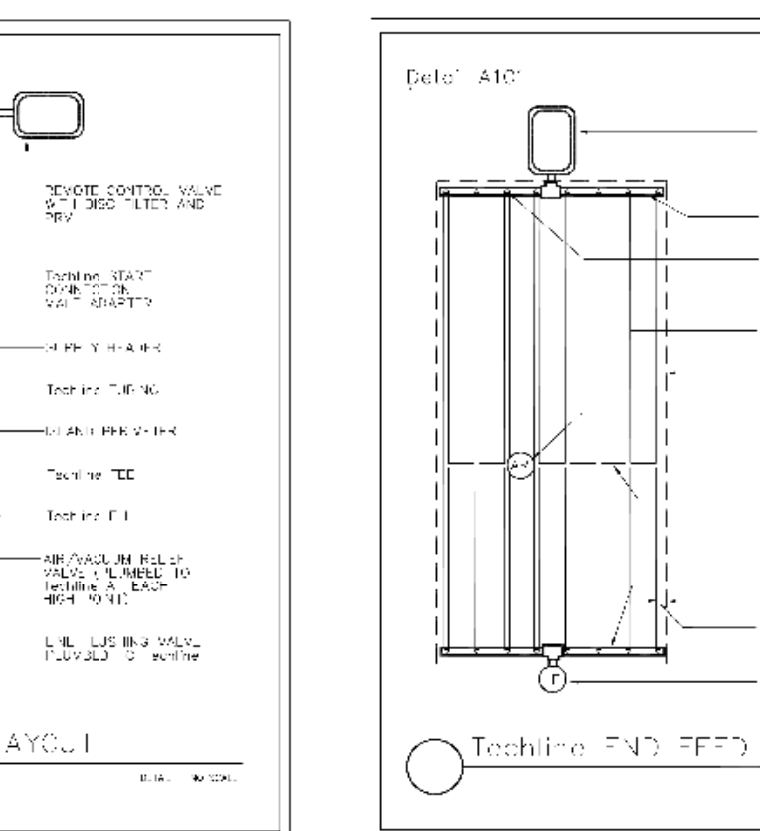
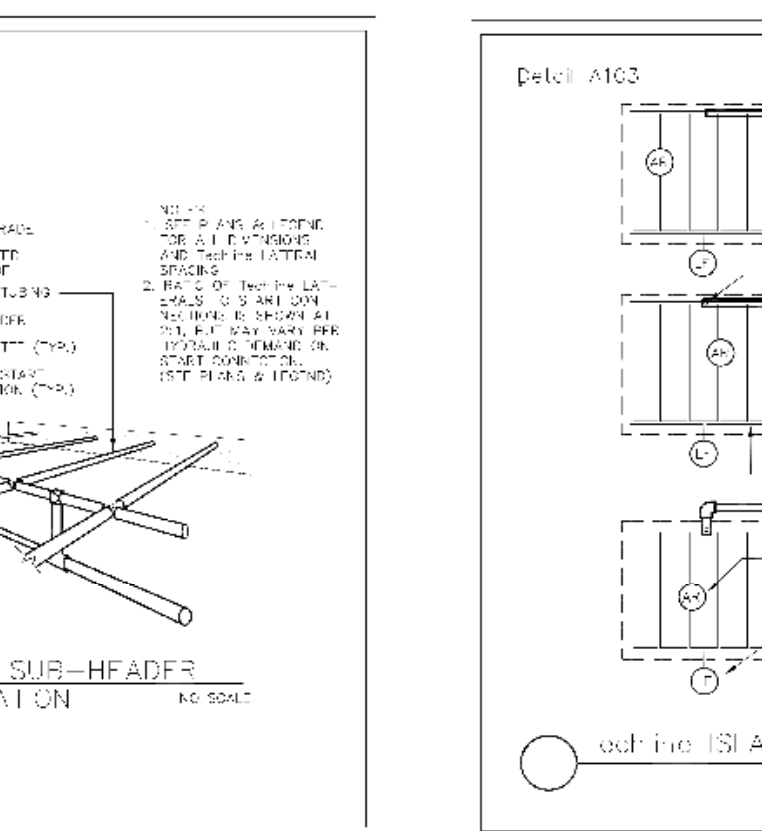
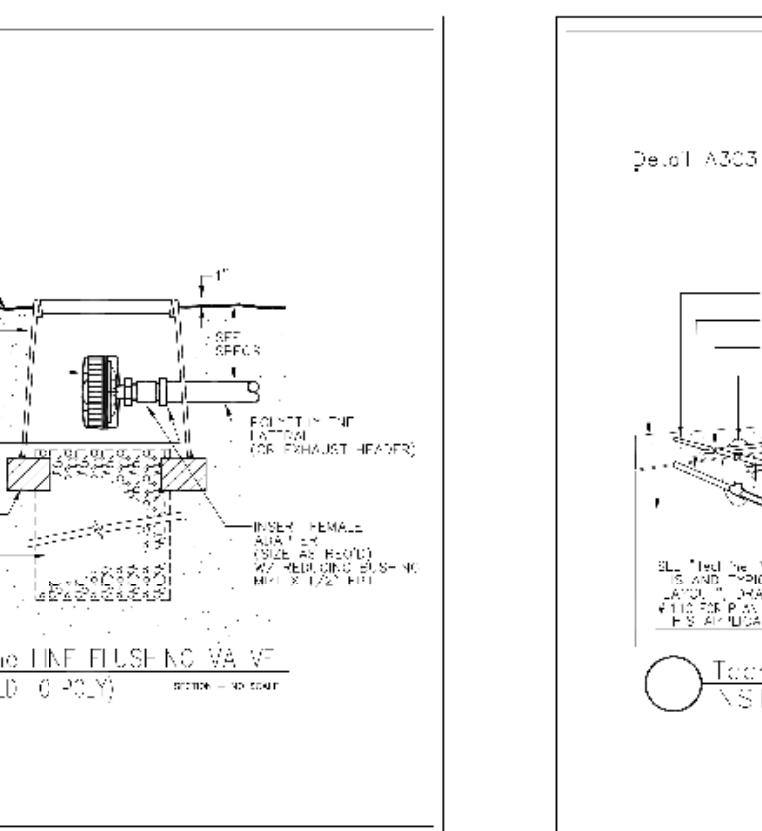
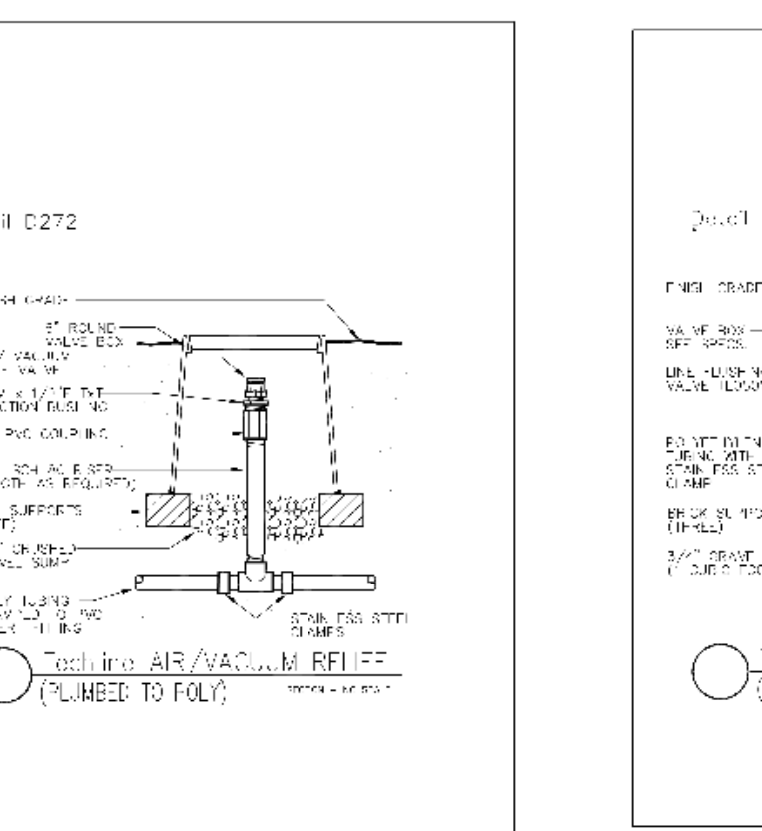
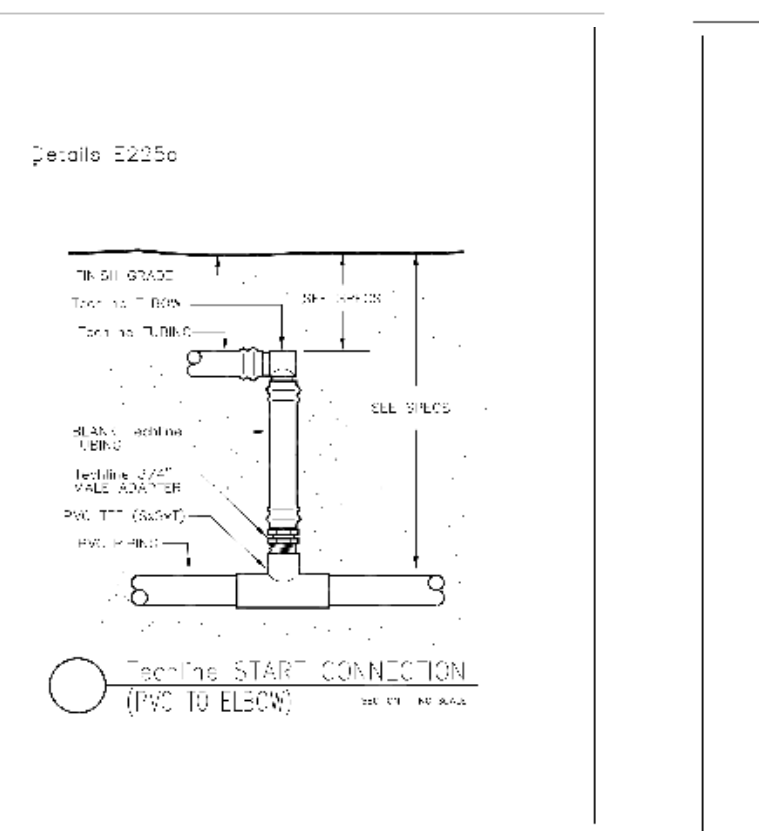
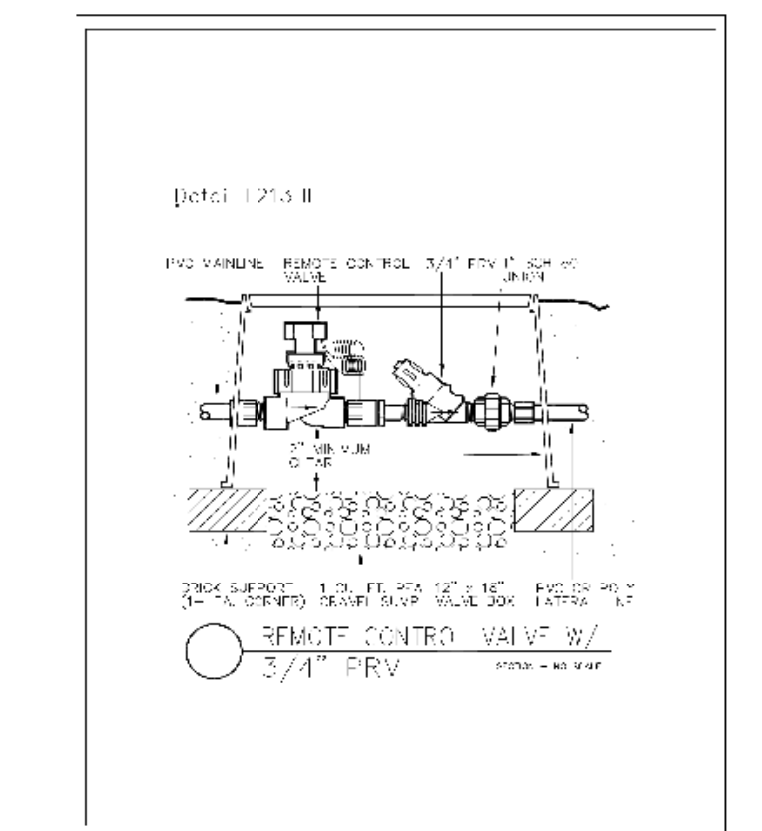
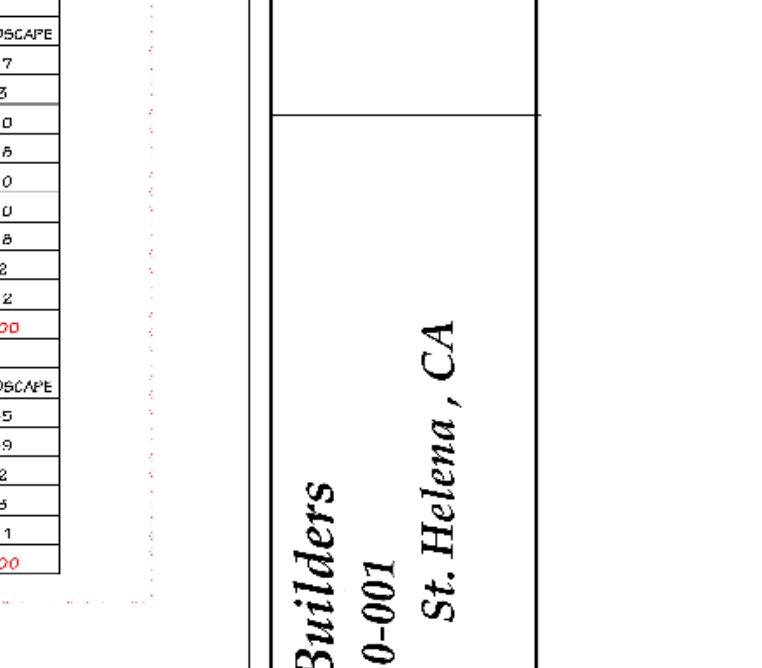
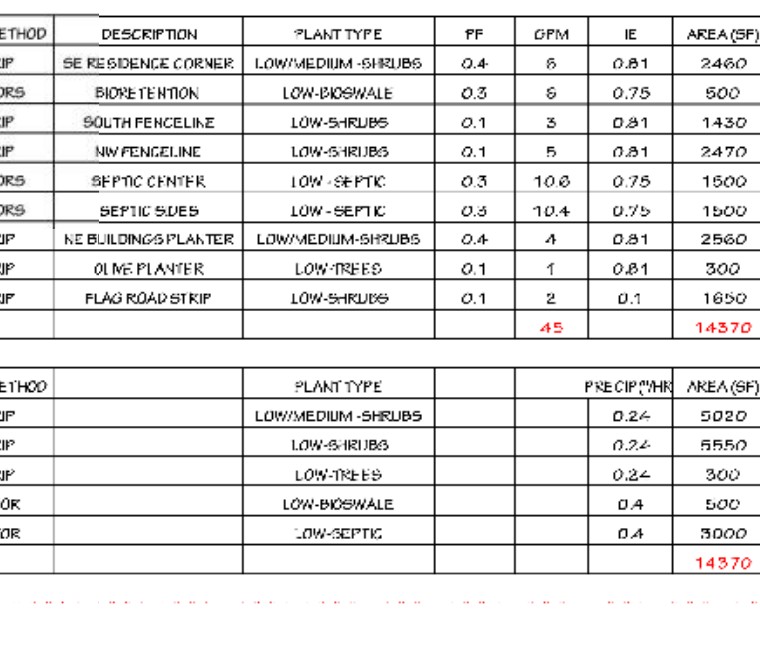
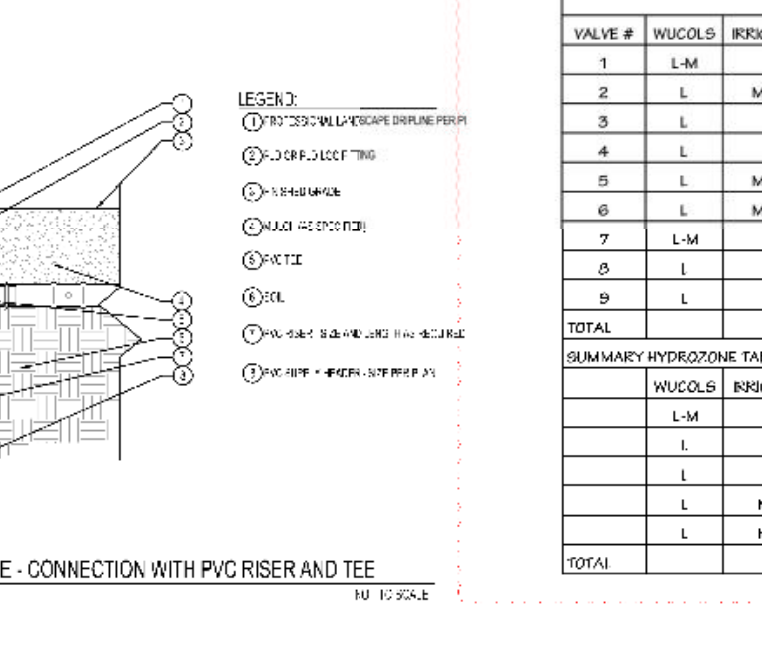
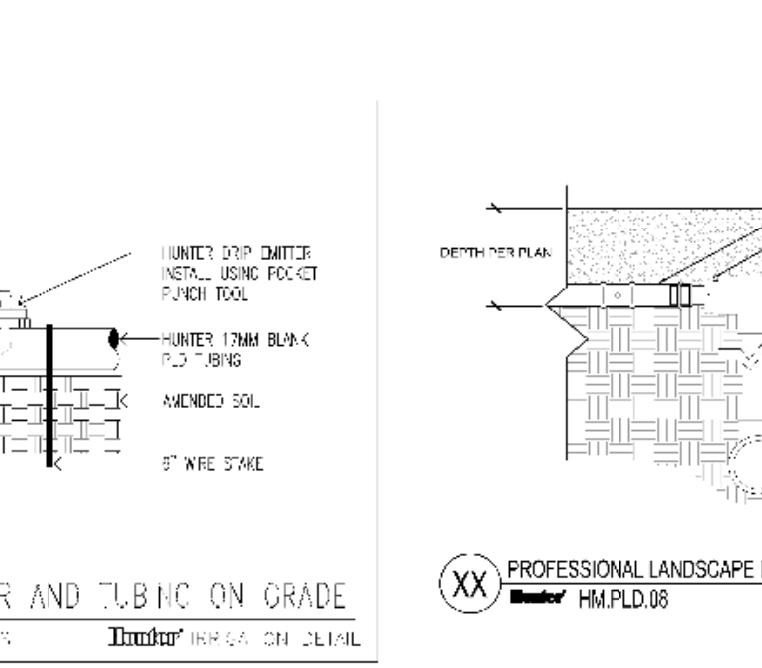
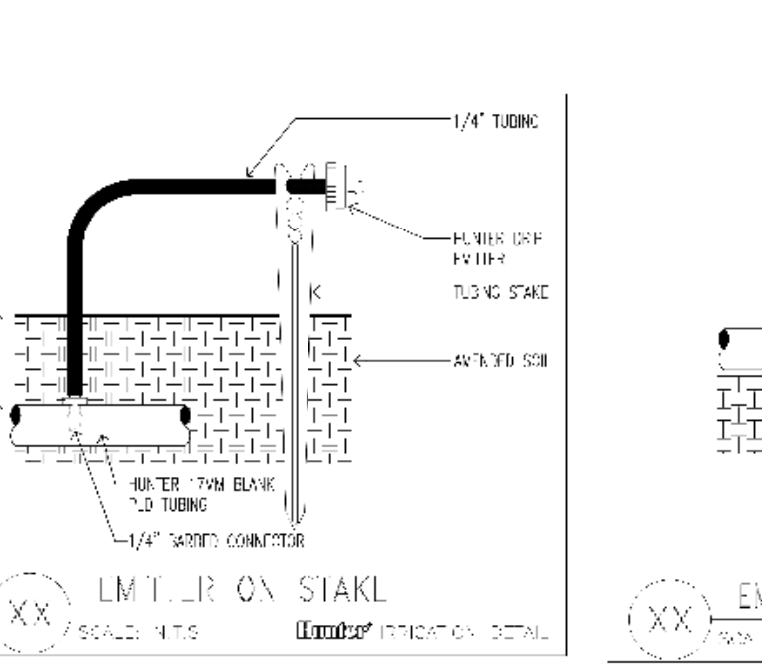
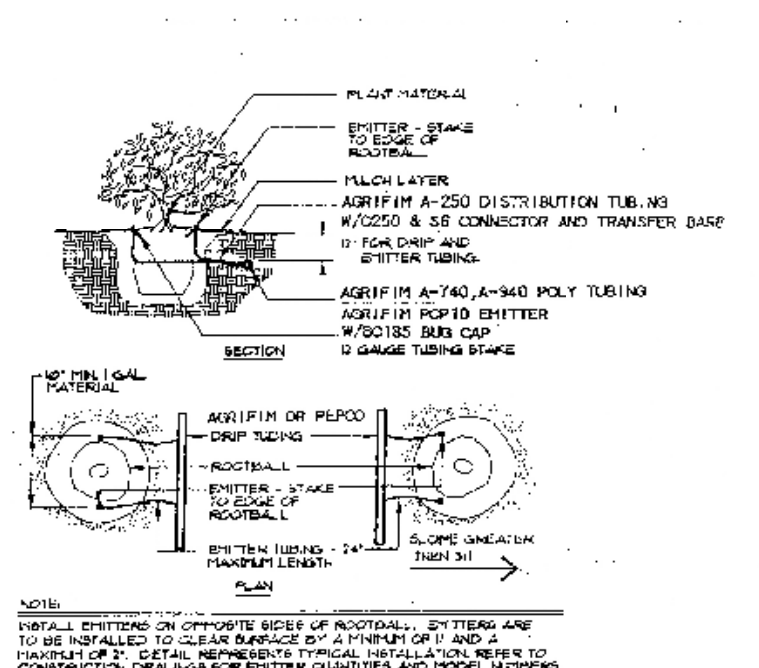
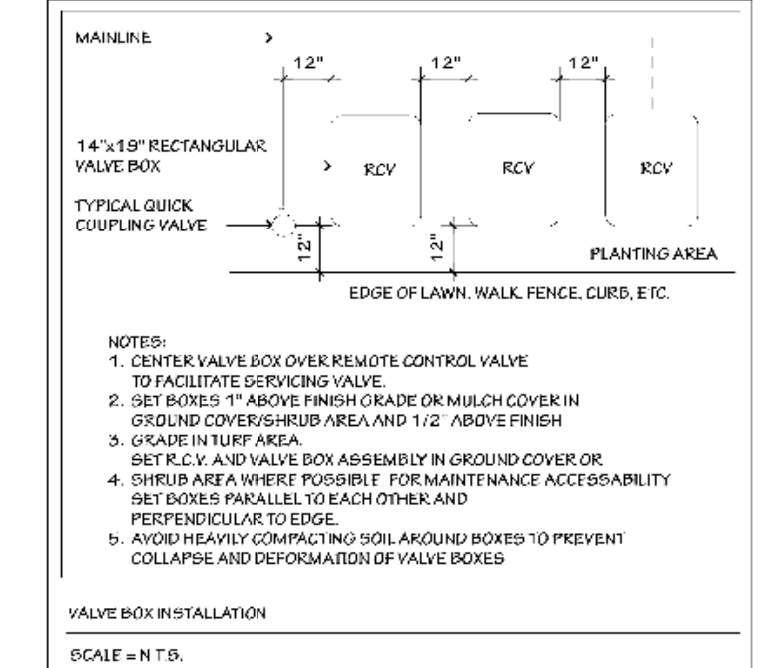
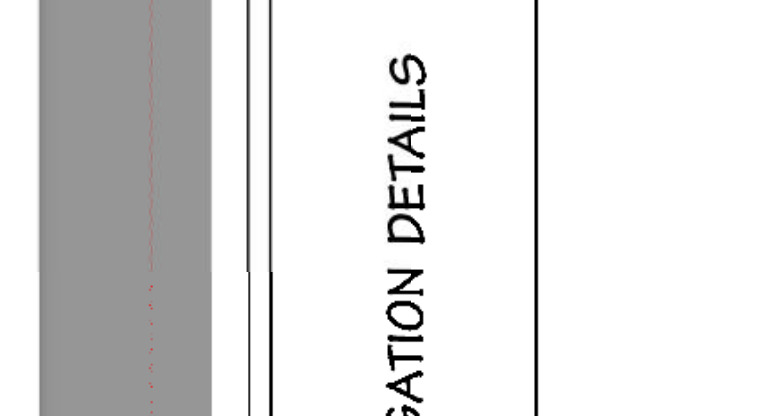
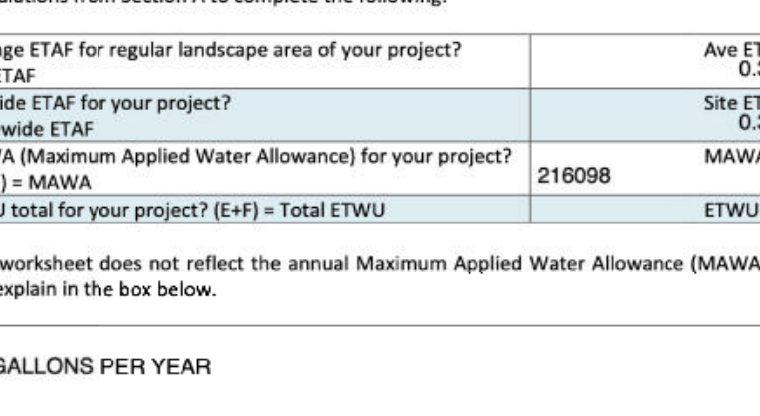
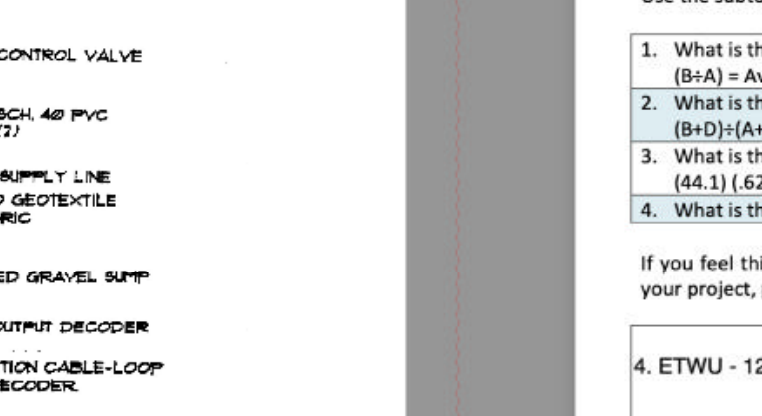
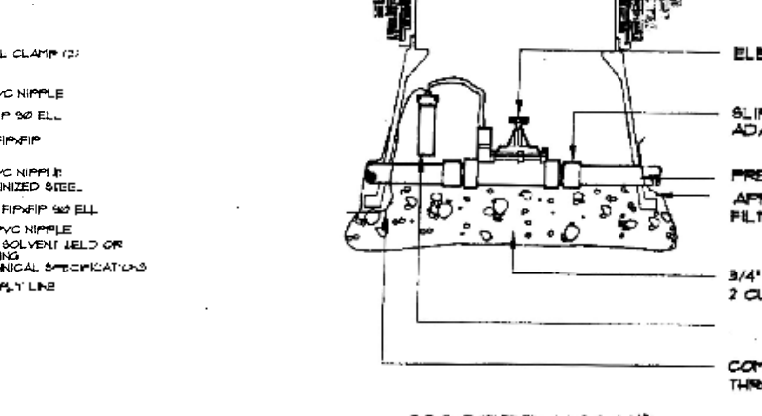
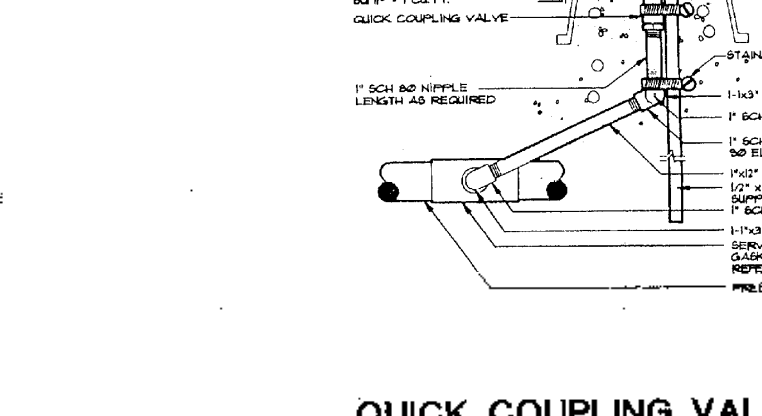
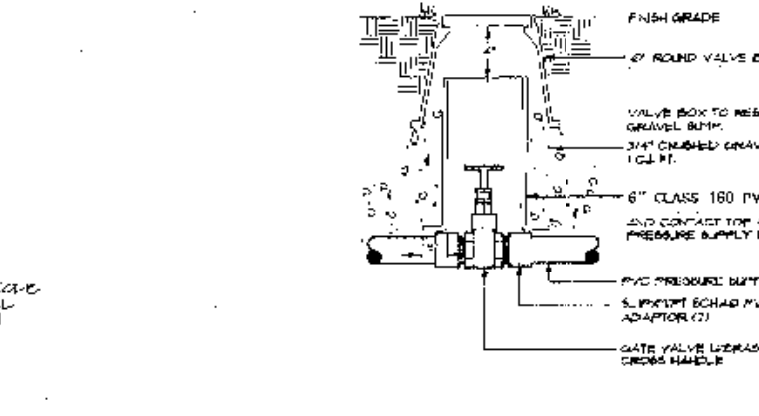
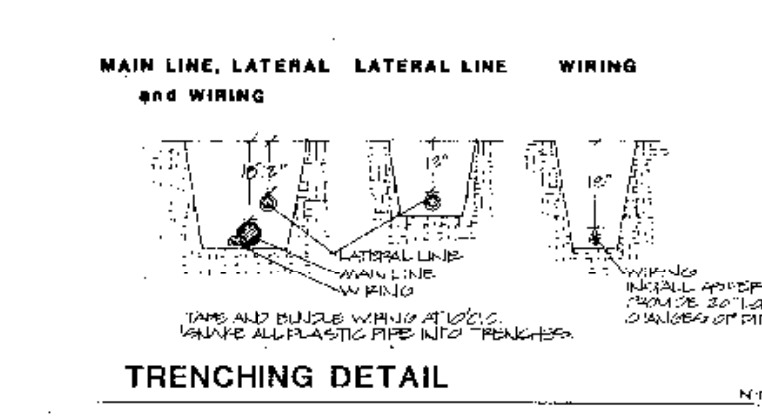
Use the subtotal calculations from Section A to complete the following:

1. What is the Average ETAF for regular landscape area of your project?
(B+A) = Average ETAF
0.32
2. What is the site-wide ETAF for your project?
(B+D)/(A+C) = site-wide ETAF
0.32
3. What is the MAWA (Maximum Applied Water Allowance) for your project?
(44.1) (6.2) (B + D) = MAWA
216098
4. What is the ETWU total for your project? (E+F) = Total ETWU
ETWU

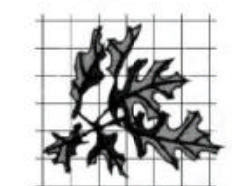
If you feel this does worksheet does not reflect the annual Maximum Applied Water Allowance (MAWA) for your project, please explain in the box below.

4. ETWU - 124711 GALLONS PER YEAR

116 PRATT HYDROZONE TABLE COMPLETE FOR ALL VALVES FOR ALL PLANTING (ORDINANCE #39075)									
VALVE #	WALCOLS	IRRIGATION METHOD	DESCRIPTION	PLANT TYPE	PF	OPM	IE	AREA (SF)	% LANDSCAPE
1	L-M	INLINE DRIP	SE RESIDENCE CORNER	LOW-MEDIUM SHRUBS	0.4	8	0.81	3460	17
2	L	MP ROTATORS	ROSE TERRACE	LOW-MEDIUM SHRUBS	0.5	6	0.75	500	3
3	L	INLINE DRIP	SOUTH FENCE LINE	LOW-MEDIUM SHRUBS	0.1	5	0.81	1430	10
4	L	INLINE DRIP	WINTERLINE	LOW-MEDIUM SHRUBS	0.1	5	0.81	2470	18
5	L	MP ROTATORS	SEPTIC CENTER	LOW-SEPTIC	0.3	10.0	0.75	1500	10
6	L	MP ROTATORS	SEPTIC SIDES	LOW-SEPTIC	0.3	10.4	0.75	1500	10
7	L-M	INLINE DRIP	NE BUILDING PLANTER	LOW-MEDIUM SHRUBS	0.4	4	0.81	2560	18
8	L	INLINE DRIP	OLIVE PLANTER	LOW-TREE	0.1	1	0.81	300	2
9	L	INLINE DRIP	PLANT ROAD STRIP	LOW-MEDIUM SHRUBS	0.1	2	0.1	1650	12
TOTAL						45		14370	100
SUMMARY HYDROZONE TABLE									
WALCOLS	IRRIGATION METHOD	DESCRIPTION	PLANT TYPE	PF	OPM	IE	AREA (SF)	% LANDSCAPE	
L-M	INLINE DRIP	LOW-MEDIUM SHRUBS		0.4	8	0.81	3460	17	
L	MP ROTATORS	LOW-MEDIUM SHRUBS		0.5	6	0.75	500	3	
L	INLINE DRIP	LOW-MEDIUM SHRUBS		0.1	5	0.81	1430	10	
L	MP ROTATORS	LOW-MEDIUM SHRUBS		0.3	10.0	0.75	1500	10	
L	MP ROTATORS	LOW-MEDIUM SHRUBS		0.3	10.4	0.75	1500	10	
L-M	INLINE DRIP	LOW-MEDIUM SHRUBS		0.4	4	0.81	2560	18	
L	INLINE DRIP	LOW-MEDIUM SHRUBS		0.1	1	0.81	300	2	
L	INLINE DRIP	LOW-MEDIUM SHRUBS		0.1	2	0.1	1650	12	
TOTAL						45		14370	100



LORI CAGWIN
LANDSCAPE ARCHITECTURE
11 Jasmine Street, Yountville, California 94599
707.945.0835 Phone/Facsimile
lori@loricagwin.com www.loricagwin.com



Expiration: 3/31/2025

IRRIGATION DETAILS

Carreiro Builders
AP# 009-010-001
Pratt Ave. St. Helena, CA

Revisions:
3-17-2024

Date: 3-17-2024
Drawn By: LC
Job: 116PRATT24

L3.0

of 5 sheets

REVISED
2:57 pm, Mar 26, 2024

707 310 - 7575
Darlene Galusha

RECEIVED

SEP 17 2013

**LOT LINE ADJUSTMENT & USE PERMIT EXTENSION CITY OF ST. HELENA
OF THE CITY OF ST. HELENA, STATE OF CALIFORNIA
GRANTED TO 116 PRATT AVENUE**

PROPERTY OWNER: Steven & Darlene Galusha

APN: 009-020-001, -015

Recitals

A. The applicant, Steven & Darlene Galusha, submitted an application on October 2, 2011 for a one year extension of time for a previously approved Lot Line Adjustment between two properties and a Use Permit (2010-39) for the establishment of a flag lot on Parcel 2, as provided below:

Site Address	APN	Existing	Proposed Size	Net Change
Parcel 2 – Pratt Ave	009-020-001	0.82 acres	0.82 acres	- 0 -
Parcel 1 - 116 Pratt Ave	009-020-015	1.12 acres	1.12 acres	- 0 -

B. The previously approved Lot Line Adjustment will reconfigure the boundaries of these parcels. No change is proposed to the total site area and there will be no increase in the number of parcels on the site.

C. The Planning Commission of the City of St. Helena, State of California, held a noticed public hearing on November 15, 2011 for the purpose of reviewing the extension of time of a previously approved Lot Line Adjustment and Use Permit application (2010-39).

Resolution

The Planning Commission of the City of St. Helena, State of California, reconfirms the decision of the Planning Director and Public Works Director on the Lot Line Adjustment referenced above and reapproves the Use Permit based on the following findings:

A. The Planning Commission hereby finds that this project is exempt from the California Environmental Quality Act pursuant to Section 15305 Class 5(a) of the CEQA Guidelines, which exempts minor lot line adjustments that do not involve the creation of any new parcel and do not exceed an average slope of 20%.

B. Pursuant to Section 17.168.050 and Section 17.112.100(I) of the Zoning Ordinance, the Planning Commission makes the following findings to support the motion to approve a Use Permit for establishment of a flag lot:

1. That the proposed use would not generate odors, fumes, dust, light, glare, radiation or refuse that would be injurious to surrounding uses or to the community.
2. That the proposed use would not generate levels of noise that adversely affect the health, safety, or welfare of neighboring properties or uses.

3. That the proposed use would not generate traffic noise in excess of the "normally acceptable" range identified in the General Plan.
4. That the proposed use would not make excessive demands on the provision of public services including water supply, sewer capacity, energy supply, communication facilities, police protection, and fire protection.
5. That the proposed use would provide adequate ingress and egress to and from the proposed location.
6. That allowing the proposed use would not conflict with the City's goal of maintaining the economic viability of a local serving economy.
7. That the proposed use would be compatible with surrounding land uses and would not conflict with the purpose established for the district within which it would be located.
8. That the proposed use would not be in conflict with the City's General Plan.
9. That the proposed use would not be injurious to public health, safety, or welfare.
10. That granting the use permit would not set a precedent for the approval of similar uses whose incremental effect would be detrimental to the City or would be in conflict with the General Plan.
11. That, as demonstrated on a detailed plan submitted by the applicant, adequate off-street parking to accommodate the long term parking needs of employees and business owners and customers is available.
12. That the capacity of surrounding streets is adequate to serve the automobile and delivery truck traffic generated by the proposed use.
13. The creation of a flag lot is consistent with neighborhood character and density.
14. Development upon the flag lot will not result in a significant loss of privacy for adjoining residential units.
15. Development on the flag lot will not result in excessive noise, traffic and parking congestion.

C. The parcels resulting from the Lot Line Adjustment as described above are found to conform with the General Plan and zoning ordinance for the City of St. Helena. The one year extension of time of a previously approved Lot Line Adjustment and Use Permit (2010-39) are granted subject to compliance with the following conditions. Permit shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of a building permit. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.

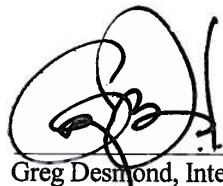
1. The Lot Line Adjustment and Use Permit extension of time approval is valid for one (1) year from the date of approval. If the revised lots are not a matter of public record within that one (1) year period, the approval shall expire.
2. The Lot Line Adjustment and Use Permit shall not become effective until ten (10) days after approval, providing that the action is not appealed by the City Council or any other interested party within that ten (10) day period.
3. Any request for an extension of the Lot Line Adjustment and Use Permit must be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.

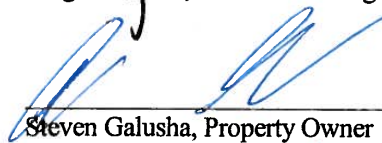
4. All required fees shall be paid prior to issuance of a building permit, if one is required. Compliance with all permit conditions shall occur in accordance with specific regulations, but in all cases no later than prior to occupancy or initiation of use, unless another time is set by law or by this approval.
5. The applicant and property owner will defend and indemnify and hold the City, its agents, officers, and employees harmless of any claim, action or proceedings to attack, set aside, void or annul an approval so long as the City promptly notifies the applicant and property owner of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
6. Any future development on the flag lot parcel (APN 009-020-001) shall receive approval of Design Review prior to issuance of a building permit. Development shall comply with all development standards of the A-20: Twenty Acre Agriculture zoning district and with the Flag Lot Development Standards.
7. Prior to issuance of a building permit for the development of the flag lot parcel (APN 009-020-001), the applicant shall submit a grading and drainage plan for review and approval if deemed necessary by the City Engineer.
8. A landscape plan shall be submitted for review and approval prior to issuance of a building permit for development on the flag lot parcel. In particular, there shall be a two (2') foot landscaped area on either side of the access drive. The landscaping shall not encroach into the required sixteen (16') foot wide access drive.
9. Any future fencing shall comply with the standards of Section 17.120.010 of the zoning ordinance.
10. Concurrent with future development on the flag lot, the site address shall be placed on a sign in the panhandle portion of the lot that is clearly visible to Police, Fire, and other emergency services personnel.
11. An Agreement to grant an easement and water rights for the water system located on proposed Parcel 2 and serving proposed Parcel 1 must be reviewed and approved by Napa County Environmental Management and recorded concurrently with the legal descriptions.
12. This Lot Line Adjustment shall be reflected in revised deeds, which shall be provided to the Public Works Director and Planning Director for review and approval for consistency with this action. Deeds shall be consistent with the exhibits provided with this application included herein. The applicant or property owner shall submit two (2) copies of the lot line adjustment draft deed documents' legal descriptions. The deeds shall include legal descriptions of the lots before and after the lot line adjustment describing the entire boundary of each parcel. The legal descriptions shall be prepared, signed and stamped by a registered Land Surveyor or a licensed Civil Engineer, authorized to practice land surveying in California. The purpose of the revised deeds is to show the lot line adjustment in the chain of title.
13. The following statement shall be included on each revised deed document:
The purpose of this conveyance and the conveyances being recorded concurrently herewith is to create a lot line adjustment pursuant to California Government Code Section 66412(d) and all local subdivision ordinances.

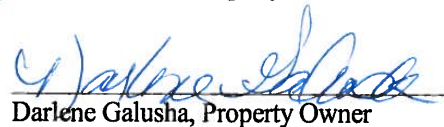
14. The applicant or property owner shall record the revised deeds, as determined by the City's Public Works Director.
15. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The property owners or their designee shall be responsible for meeting with the Building Official/Fire Inspector to review compliance with Building and Fire Codes, including fire protection systems and any applicable accessibility standards of Title 24.
16. If one or more of the parcels affected by this lot line adjustment is encumbered by a deed of trust, a mortgage, or lien for a special assessment by a special district the applicant or property owners shall advise all lenders associated with the parcels subject to the lot line adjustment of the City's action to approve the application and any deeds of trust on the subject parcels shall be modified to conform to the new boundary configurations prior to recording documents.
17. The applicant or property owners shall submit proof of payment of the mapping services fee, as required by the Napa County Board of Supervisors, Resolution 92-119.
18. The applicant or property owners shall submit proof of prepayment of property taxes
19. Within 30 days of approval of the revised deeds and their recording by the Napa County Recorder's Office, two (2) conforming copies of the recorded deed documents shall be submitted to the Planning Department for its files and use in issuing "Notice of Completion" statements.

I HEREBY CERTIFY that the Planning Director and Director of Public Works decision to approve the foregoing Lot Line Adjustment was duly and regularly reviewed and confirmed and that the foregoing Use Permit was duly and regularly adopted by the by the Planning Commission of the City of St. Helena at its regular meeting of said Planning Commission held on November 15, 2011, by the following roll call vote:

AYES: COMMISSIONERS PITTS, HEIL, PARKER, & CHAIRPERSON GALBRAITH
NOES: NONE
ABSTAIN: NONE
ABSENT: COMMISSIONER KISTNER


 Greg Desmond, Interim Planning Director


 Steven Galusha, Property Owner


 Darlene Galusha, Property Owner



WATER AUDIT CALIFORNIA
A PUBLIC BENEFIT CORPORATION

952 SCHOOL STREET #316 NAPA CA 94559
VOICE: (707) 681-5111
EMAIL: General@WaterAuditCA.org

June 4, 2024

St. Helena Planning Commission

Sent via email to: publiccomment@cityofsthelena.org, cityclerk@cityofsthelena.org,
planningcommission@cityofsthelena.org, ahecock@cityofsthelena.org

Re: City of St. Helena City Planning Commission Meeting June 4, 2024;
Agenda Item 5.1

5.1. Request by Steve Carreiro for adoption of a resolution approving a lot line adjustment, conditional use permit and major design review in order to adjust the property boundary between two contiguous parcels creating a flag lot to accommodate the construction of a new single family home, pool and ADU on the property located at 116 Pratt Avenue in the A-20 zoning district. (the "Project")

CEQA Determination: Exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15303, 15304 and 15305 Prepared By: Aaron Hecock, Senior Planner

The City has not made sufficient and diligent inquiry into the potential public trust injuries that may arise from this project, and accordingly, the staff's CEQA determination is in error.

There is **no NOTICE** in the Hearing Packet and therefore no proof of compliance with the requirements for public comment.

The project is inadequately defined as there is:

- No Preliminary Title
- No Legal Description
- No Assessor Page to Affirm Parcel Size
- No Topo Map
- No Site Plan demonstrating distance to the Napa River

There has been inadequate communication and coordination with the County of Napa; for example, there has been no County Public Works Review regarding Groundwater.

Water Audit California Comment Letter to Planning Commission
 June 4, 2024
 Page 2 of 4

There has been inadequate inquiry as to whether the project causes unlawful interference with neighboring properties or the environment. For example, there are:

- No Well Completion Reports or Well Permits
- No Neighboring Wells Sited
- No Water Availability Analysis regarding interference with proximate wells and the Napa River
- No Well Test
- No Soils Report
- No Septic and Reserve Map
- No WMELO Landscape Package

Water Audit has performed field surveys in the reach of the Napa River proximate to this Project and has proof of the presence of fish and other aquatic organisms that are killed by the habitual drying of the watercourse. The City has a duty to inquire whether injury is being caused by this Project as a whole before granting new entitlements.

The Public Trust

Water Audit California ("Water Audit") is an advocate for the public trust. Through Government Code, section 65800 et seq. the Legislature conveyed to the City of St. Helena (the "City") the authority to adopt regulations and ordinances to promote the general welfare of the State's residents.

The City remains subordinate to the control and direction of the senior levels of government. The state endows the highest priority on fish and wildlife protection and conservation. "The Legislature finds and declares that the protection and conservation of the fish and wildlife resources of the state are of utmost public interest. Fish and wildlife are the property of the people and provide a major contribution to the property of the state ..." (Fish and Game Code, § 1600) This statement is one of the foundations of Water Audit's mission, both generally and herein. The City must consider the substantial potential public trust impacts of proposed projects.

The essential idea of the public trust doctrine is that the government holds and protects certain natural resources in trust for the public benefit. (See *Illinois Central Railroad v. Illinois* (1892) 146 U.S. 387, 452, 456; *National Audubon Society v. Superior Court* ("Audubon") (1983) 33 Cal.3d 419, 441; *Berkeley v. Superior Court* (1980) 26 Cal.3d 515, 521.)

WATER AUDIT CALIFORNIA
 A California Public Benefit Corporation

952 School Street, #316
 Napa, CA 94559

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Water Audit California Comment Letter to Planning Commission
 June 4, 2024
 Page 3 of 4

Public trust theory has its roots in Roman and common law. (*United States v. 11.037 Acres of Land* (N.D. Cal. 1988) 685 F. Supp. 214, 215.) Its principles underlie the entirety of the State of California. Upon its admission to the United States in 1850, California received the title to its tidelands, submerged lands, and lands underlying inland navigable waters as trustee for the benefit of the public. (*People v. California Fish Co. (California Fish)* (1913) 166 Cal. 576, 584; *Carstens v. California Coastal Com.* (1986) 182 Cal.App.3d 277, 288.) The People of California did not surrender their public trust rights; the state holds land in its sovereign capacity in trust for public purposes. (*California Fish*, *Ibid.*)

The courts have ruled that the public trust doctrine requires the state to administer as a trustee all public trust resources for current and future generations, precluding the state from alienating those resources into private ownership and requiring the state to protect the long-term preservation of those resources for the public benefit. (*Audubon*, *supra*. 33 Cal.3d 419, 440-441; *Surfrider Foundation v. Martins Beach 1, LLC* (2017) 14 Cal.App.5th 238, 249-251.)

The public trust fulfills the basic elements of a trust: intent, purpose, and subject matter. (*Estate of Gaines* (1940) 15 Cal.2d 255, 266.) It has both beneficiaries, the people of the state, and trustees, the agencies of the state entrusted with public trust duties.

The beneficiaries of the public trust are the people of California, and it is to them that the trustee owes fiduciary duties. As the City of St. Helena is a legal subdivision of the state, it must deal with the trust property for the beneficiary's benefit. No trustee can properly act for only some of the beneficiaries – the trustee must represent them all, taking into account any differing interests of the beneficiaries, or the trustee cannot properly represent any of them. (*Bowles v. Superior Court* (1955) 44 C2d 574.) This principle is in accord with the equal protection provisions of the Fourteenth Amendment to the US Constitution.

A public trust trustee "may not approve of destructive activities without giving due regard to the preservation of those [public trust] resources." (*Center for Biological Diversity, Inc. v. FPL Group, Inc. ("Bio Diversity")* (2008) 166 Cal.App.4th 1349, 1370, fn. 19, 83 Cal.Rptr.3d 588.) [Emphasis added]

Common law imposes public trust considerations upon the City's decisions and actions. (*Biological Diversity*, *supra*. 166 Cal.App.4th 1349; *Environmental Law Foundation v. State Water Resources Control Board ("ELF")* (Cal. Ct. App. 2018) 26 Cal.App.5th 844.) The courts have recognized the State's responsibility to protect public trust uses whenever feasible. (See, e.g., *Audubon*, *supra*. 33 Cal.3d 419, 435; *California Trout, Inc. v. State Water Resources Control Bd.* (1989) 207 Cal.App.3d 585, 631; *California Trout, Inc. v. Superior Court* (1990) 218

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Water Audit California Comment Letter to Planning Commission
June 4, 2024
Page 4 of 4

Cal.App.3d 187, 289.) The City of St. Helena, under Public Resources Code, section 6009.1, has an affirmative duty to administer the natural resources held by public trust solely in the interest of the people of California.

The public trust doctrine requires the State (i.e. City of St. Helena), as a trustee, to manage its public trust resources (including water) so as to derive the maximum benefit for its citizenry. Even if the water at issue has been put to beneficial use, it can be taken from one user in favor of another need or use. The public trust doctrine therefore means that no water rights in California are truly "vested" in the traditional sense of property rights.

Furthermore, there can be no vested rights in water use that harm the public trust. Regardless of the nature of the water right in question, no water user in the State "owns" any water. Instead, a right to water grants the holder thereof only the right to use water, an "usufructuary right". The owner of "legal title" to all water is the State in its capacity as a trustee for the benefit of the public. Both riparian and appropriative rights are usufructuary only and confer no right of private ownership in the watercourse, which belongs to the State. (*People v. Shirokow* (1980) 26 Cal.3d 301 at 307.)

Respectfully,



William McKinnon
General Counsel
Direct Dial: 530.575.5335

From: [Sue Whitaker](#)
To: [Public Comment](#)
Cc: [Maya DeRosa](#)
Subject: [External] 116 Pratt Avenue comment
Date: Tuesday, June 4, 2024 3:04:59 PM

Hello:

My name is Sue Whitaker and my family owns the property at 330 Pratt Avenue, St. Helena. We never received notice of this project and, although we don't have any objections to the parcel split or intended development, we want to make sure that our easement over the driveway of 116 Pratt will not be altered or affected in any way by this project. Currently, we have an easement over the driveway to the back of our vineyard for access by the vineyard managers, farming etc. I can't tell from the drawings if this easement is being altered. Can someone please address this?

Thank you. I can be reached at the cell number below.

Sue Whitaker

Susan Whitaker

Law Offices of Susan Kan Whitaker -PLEASE NOTE NEW ADDRESS BELOW:

1 Belvedere Pl. Suite 200

Mill Valley, CA

94941

415-272-4371 cell **best phone to reach me at

415-956-1022 office phone

415-956-1023 fax

susan@skwesq.com

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