



**City of St. Helena
Planning Commission
Regular Meeting
Tuesday, March 17, 2026 @ 6:00 PM
Vintage Hall Board Room - Second Floor
465 Main Street, St. Helena**

PLEASE NOTE: Any person who wishes to speak regarding an item on the agenda or make a comment under the "Public Forum" portion of the agenda may do so, but please observe the time limit of four minutes.

The Planning Commission meeting will be live-streamed on Comcast Channel 28 and on the City's website. Public comment for Planning Commission meetings will be accepted via email to publiccomment@cityofstheleena.gov. All public comments must be emailed at least three hours prior to the meeting. Emailed public comments will not be read out loud but will be publicly available and attached to the on-line agenda.

Simultaneous Spanish interpretation services during meetings can be scheduled upon request. To ensure interpreters are available, requests must be made at least 72 hours in advance by calling the Office of the City Clerk at (707) 968-2640 or emailing cityclerk@cityofstheleena.gov.

The schedule of upcoming meetings and published meeting agendas can be found on the City of St. Helena website at <https://stheleena.civicweb.net/portal/>.

Servicios de interpretación en español durante la reunión pueden ser solicitados por el público. Para asegurar que los intérpretes estén disponibles, los servicios tienen que ser solicitados al menos 72 horas antes de la reunión llamando a la oficina de la Secretaria de la Ciudad al (707) 968-2640 o por correo electrónico a cityclerk@cityofstheleena.gov.

El horario de las reuniones publicadas y próximas puede ser localizado en el sitio de web de la Ciudad en <https://stheleena.civicweb.net/portal/>.

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1. PLEDGE OF ALLEGIANCE
2. CALL TO ORDER AND ROLL CALL
Chair: Chris Warner
Vice-Chair: Sue Furdek
Commissioners: Autumn Anderson, Hector Lopez and Michelle Covell

City staff present at the meeting will be noted in the minutes.
3. PUBLIC FORUM:
This is an opportunity for the public to address the Commission on items of interest to the public that are NOT listed on the agenda. Because of restrictions imposed by the Brown Act, the Commission may not engage in discussion nor take action on matters not described on the agenda. **Please observe the time limit of four minutes.**
4. CONSENT ITEMS
Members of the Commission or the public may ask that any items be

considered individually for purposes of considering alternative action, for extended discussion, or for public comment. Unless that is done, one motion may be used to adopt all recommended actions. (Roll Call Vote)

4.1. Approval of Minutes: February 3, 2026

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[Planning Commission Minutes 02.03.26](#)

5. PUBLIC HEARINGS

5.1. Request by Legacy Modular Buildings, on behalf of We Care Animal Rescue, Inc., for approval of Major Design Review, Demolition Permit, and Minor Modifications to Design Guidelines to allow for the demolition of an existing office structure and construction of a new modular office building at 1345 Charter Oak Avenue in the Industrial Zoning District.

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CEQA Determination: The project is categorically exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15302.

Prepared By: Jackie Oneal, Senior Planner

Recommendation:

For the reasons described above, staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15302; and
2. Adopt the required findings and approve the attached resolution granting Major Design Review and Demolition Permit approval, and approving the associated Minor Modifications, for the proposed replacement building and demolition of the existing structure at 1345 Charter Oak Avenue in the Industrial zoning district.

[PC - Request by Legacy Modular Buildings, on behalf of We Care Animal Rescue, Inc., for approval of Major Design Review, Demolition Permit, and Minor - Pdf](#)

6. SCHEDULED MATTERS

7. DEPARTMENT REPORTS

This is an opportunity for staff to report on or update the Commission on any relevant matters.

8. AGENDA FORECAST AND COMMISSION REQUESTS

This is an opportunity for Staff and the Commission as a whole to request items be placed on future agendas for discussion. These items should be consistent with, and work to implement adopted Council Goals.

A list of current planning projects is available on our city website in the link below:

<https://cityofsthelena.org/230/Planning-Projects>

8.1. **Future Agenda Items (Informational Only):**

The following items are tentatively scheduled for upcoming Planning Commission meetings and are subject to change. No action will be taken.

April 7, 2026

Two new Short Term Rental Permits
Major Sign Permit
Use Permit Amendment
Zoning Code Amendments Discussion & Direction
On-Site Storage ZOA

April 17, 2026
ADU/JADU ZOA
Housing Element APR
GP Annual Review

9. ADJOURNMENT

The next Regular Planning Commission meeting is scheduled for April 7, 2026, at 6:00 p.m. in the Vintage Hall Board Room located at 465 Main Street.

This agenda was posted at City Hall, 1088 College Avenue, and at Vintage Hall, 465 Main Street, St. Helena, California on March 11, 2026.

James McCann, Interim Community Development Director

Appeal. A person who is dissatisfied with a decision of the Planning Commission may appeal that decision to the City Council pursuant to Municipal Code Section 17.12.020, Appeal procedure. Actions of the Planning Commission will be listed on the City Council agenda the following Tuesday to give the City Council opportunity to review the Planning Commission's decision. Absent of an appeal by the City Council or by a citizen, the appeal period will terminate two weeks after the Planning Commission hearing.

Special Assistance for the Disabled. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please call the City Clerk's Office (707) 967-2792. Notification 48 hours prior to the meeting will enable City to make reasonable arrangements to ensure accessibility to this meeting (28 CFR35.102-35.104 ADA Title II). However, City staff will attempt to assist at any time with accessibility. The City Clerk has equipment to assist those with a hearing impairment.

PUBLIC TESTIMONY PROCEDURES

Pursuant to the Government Code Section 54954.3, the public may address the Commission on each agenda item during the Commission's consideration of that item. Each speaker has the option to state his or her name for the record before testifying. Depending on the number of speakers or the interest of the item, the Planning Commission Chairman may also restrict, at his/her discretion, the speaker's time to three minutes. The Chairman may also restrict public comments if they become irrelevant to the agenda item or repetitious of prior comments. All persons interested may appear and be heard or submit written statements prior to the Planning Commission meeting. Please note that if you challenge the City's decision on any of these matters in court, you may be limited to raising only those issues you or someone else raised at the meeting or in written correspondence delivered to the City at, or prior to, the

meeting.

CHALLENGING DECISIONS OF CITY ENTITIES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City of St. Helena is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision, including without limitation Government Code section 65009 applicable to many land use and zoning decisions, Government Code section 66499.37 applicable to the Subdivision Map Act, and Public Resources Code section 21167 applicable to the California Environmental Quality Act (CEQA). Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. Government Code section 65009 and 66499.37, and Public Resources Code section 21167, impose shorter limitations periods and requirements, including timely service in addition to filing.

If a person wishes to challenge the above actions in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of St. Helena, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Planning Commission regarding any item on this Agenda, after the posting of the Agenda, will be available for public review in the Planning Department's Office located at 1088 College Avenue, St. Helena, California, during normal business hours. In addition, such writings or documents will be made available on the City's web site at <http://cityofsthenela.gov> and will be available for public review at the respective meeting.

MINUTES
City of St. Helena
Planning Commission Meeting
Tuesday, February 3, 2026 @ 6:00 PM
Vintage Hall Board Room - Second Floor
465 Main Street, St. Helena

A complete video recording of this meeting can be found here:

<https://sthelena.civicweb.net/document/277405/?splitscreen=true&media=true>

or by calling the City Clerk at (707) 967-2792. The Planning Commission video is the official record of the Planning Commission meeting.

Present: Chair Christopher Warner, Vice-Chair Sue Furdek, Commissioner Autumn Anderson, Commissioner Hector Lopez, and Commissioner Michelle Covell
Absent: None
Staff Present: Maya DeRosa, Community Development Director, Jackie Oneal, Senior Planner, Kylee Otto, City Attorney (via Zoom), and Xinia Gamero, Planning Commission Secretary

1. PLEDGE OF ALLEGIANCE

2. CALL TO ORDER AND ROLL CALL

3. PUBLIC FORUM:

4. CONSENT ITEMS

4.1 Approval of Minutes: January 20, 2026

Vice-Chair Sue Furdek moved to approve the minutes of January 20, 2026. The motion was seconded by Commissioner Autumn Anderson and on roll call carried by the following vote:

AYES: Christopher Warner, Autumn Anderson, Sue Furdek, and Michelle Covell

NOES: None

ABSENT: None

ABSTAIN: None

RECUSE: Hector Lopez

5. PUBLIC HEARINGS

5.1 Request for Tentative Parcel Map (TPM25-001) approval to subdivide one existing parcel totaling approximately 1.69 acres located at 710 Kidd Ranch Road into two residential parcels, including approval of a Conditional Use Permit for creation of a flag lot (CUP25-001) and a Minor Modification to Development Standards (MM25-002) to allow a reduced side yard setback for

an existing accessory dwelling unit.

Prepared By: Jackie Oneal, Senior Planner

Senior Planner Jackie Oneal shared a presentation and reported on the item.

Chair Warner opened the public hearing.

No public comment received.

Chair Warner closed the public hearing.

Commissioner Anderson shared concern with the proposed parcel map because, in her opinion, reduced total achievable density and undermines General Plan policies.

City Attorney Otto responded to Commissioner Anderson that it would be speculative to conclude there is any net loss.

Commissioner Michelle Covell moved to determine that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15315; and accept the required findings and adopt the attached resolution approving the Conditional Use Permit (CUP 25-001), Minor Modification (MM25-002), and Tentative Parcel Map (TPM25-001), subject to the conditions of approval. The motion was seconded by Commissioner Hector Lopez and on roll call carried by the following vote:

AYES: Christopher Warner, Hector Lopez, Sue Furdek, and Michelle Covell

NOES: Autumn Anderson

ABSENT: None

ABSTAIN: None

RECUSE: None

- 5.2 Request by Sutter Home Winery, Inc for a Certificate of the Extent of Legal Nonconforming Use (CELNCU25-001) in order to formally establish the legally permitted use and activities related to the winery operations located at 100 Main Street.

Prepared By: Maya DeRosa, Community Development Director

Community Development Director Maya DeRosa shared a presentation and reported on the item.

Chair Warner opened the public hearing.

No public comment was received.

Chair Warner closed the public hearing.

Vice-Chair Sue Furdek moved to find that the project is exempt from CEQA Section 15061(b)(3); and adopt a Resolution (Attachment 1) approving Certificate of the Extent of Legal Nonconforming Use (CELNCU25-001) for Sutter Home Winery, Inc, in order to formally establish the legally permitted use and activities related to the winery operations located at 100 Main Street in the Winery zoning district. The motion was seconded by Commissioner Hector Lopez and on roll call carried by the following vote:

AYES: Christopher Warner, Autumn Anderson, Hector Lopez, Sue Furdek, and Michelle Covell

NOES: None

ABSENT: None

ABSTAIN: None

RECUSE: None

6. SCHEDULED MATTERS

7. DEPARTMENT REPORTS

7.1 Planning Applications Annual Report

Community Development Director Maya DeRosa reported on the annual planning applications report as well as the following department accomplishment for 2025:

- Notice of Availability for sale of Adams St. property
- Planning Commission participation at annual governance training
- Recruitment of Assistant Planner
- Launch of online permit software eTrakIt
- Ministerial approval of Fountain St. Workforce Housing project
- Approved St. Helena Community Church
- Processed Fortunate Son Winery expansion at 825 Fulton
- End-of-year Zoning Code Study Session
- Staff authorized 5-year extension of Farmstead Development Agreement (DA)
- Secured contract with EIR consultant for Adams St. Hotel development
- Joint meeting with City Council to hold State Housing Laws Community Meeting

8. AGENDA FORECAST

Chair Warner asked when staff would present the Zoning Code Update staff recommendations to the Planning Commission. Director DeRosa shared that likely staff can bring the item back to the Planning Commission to discuss the comments received at the last Study Session at the end of Quarter 1 2026.

Chair Warner raised the topic of the annual review of the General Plan.

Vice Chair Furdek expressed concern that conducting an annual review of the General Plan could overburden staff and stated a preference for bringing specific action items forward to the Planning Commission.

Commissioner Covell requested the City Attorney's interpretation of a section of the code referencing the comprehensive review of the General Plan to be presented to the City Council. City Attorney Kylee Otto responded with her interpretation.

Senior Planner Jackie Oneal stated she would research whether a General Plan review had been conducted in prior years and report back to the Planning Commission.

Commissioner Lopez stated that it was important to move forward and not focus on how processes had been handled in the past.

Vice Chair Furdek suggested that individual Commissioners could conduct their own research and compile findings related to the General Plan to provide to staff. In addition to the Zoning Code Update comments, she directed staff to prepare a list of ZOA priorities to present to the City Council for potential updates and changes.

9. ADJOURNMENT

Chair Warner adjourned the meeting at **7:23 p.m.**, followed by the Planning Commission and staff commemorating Community Director DeRosa on her retirement.

The February 3, 2026 minutes were approved at the _____ Planning Commission meeting.

APPROVED:

ATTEST:

Christopher Warner, Chair
Planning Commission

Maya DeRosa, AICP
Community Development Director



PLANNING COMMISSION REPORT

Planning Commission Meeting of March 17, 2026

FILE NUMBER: PL25-013

SUBJECT: Request by Legacy Modular Buildings, on behalf of We Care Animal Rescue, Inc., for approval of Major Design Review, Demolition Permit, and Minor Modifications to Design Guidelines to allow for the demolition of an existing office structure and construction of a new modular office building at 1345 Charter Oak Avenue in the Industrial Zoning District.

PREPARED BY: Jackie Oneal, Senior Planner

REVIEWED BY: James C. McCann, Interim Director of Community Development

APPROVED BY: James C. McCann, Interim Director of Community Development

APPLICATION FILED:03/14/25

ACCEPTED AS COMPLETE:12/09/25

LOCATION OF PROPERTY: 1345 Charter Oak Avenue

APN: 009-180-023

GENERAL PLAN/ZONING: Industrial (I)

APPLICANT: Legacy Modular Buildings,
on behalf of We Care Animal Rescue,
Inc.

BACKGROUND

The property is within the Industrial (I) zoning district and is developed with multiple structures associated with long-standing animal rescue operations authorized pursuant to Conditional Use Permit (CUP) No. 96-137, as amended in 2006. The CUP allows up to 100 cats and 5 dogs on-site and requires that animals be kept indoors at night.

Authorized activities include animal rescue shelter operations and associated administrative functions.

The property is located along Charter Oak Avenue and is surrounded by property zoned Industrial, Service Commercial, Mixed Use, and High-Density Residential. The site includes legally established conditions that do not conform to current zoning standards, including parking within the front setback and certain fencing configurations. These legal, nonconforming features predate current standards and are not proposed to be modified as part of this project.

PROJECT DESCRIPTION

The applicant proposes to demolish an existing 1,450 square foot office structure and replace it with a 2,140 square foot modular office building to support ongoing administrative and animal exam functions associated with the approved animal rescue operation. The proposed project does not modify the approved use, expand the number of animals, or introduce new services, uses, or activities.

The new structure will be located in approximately the same footprint area and will utilize the existing concrete slab. The project includes ADA-compliant ramps and access improvements, updated utility connections, and expanded and improved interior space to enhance functionality. Existing parking, circulation, and site layout remain unchanged. The project does not modify the operational characteristics of the approved use and remains subject to the conditions of the underlying Conditional Use Permit as approved in 1997 and amended in 2006.

ANALYSIS

NONCONFORMING CONDITIONS

Pursuant to St. Helena Municipal Code (SHMC) Section 17.09.050(A) and (C), when more than fifty percent (50%) of a building is demolished and replaced, the replacement structure must comply with current development standards. The code does not require that unrelated, legally established site features be brought into compliance where they are not being modified or intensified. The proposed replacement structure does not increase the degree of nonconformity associated with existing site features.

In this case, the office building is the subject of reconstruction. The replacement structure complies with applicable development standards. Existing parking, setback, and fencing conditions are not being modified and are not required to be reconfigured as part of this application.

CEQA

The project is categorically exempt under CEQA Guidelines Section 15302 (Replacement or Reconstruction), which exempts the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure replaced.

GENERAL PLAN

The property is designated Industrial in the City of St. Helena General Plan. This land use designation provides for industrial parks, warehouses, light manufacturing, and auto- and farm-related uses. The replacement building supports an established industrial service use and enhances the operational viability of the business. The project does not expand or change the approved use and maintains compliant setbacks, parking, and circulation.

The St. Helena General Plan Update 2040 includes the following policies that are relevant to the proposed project:

- *LU4.3 Ensure that industrial projects are designed and sited to provide a positive image of the community. Landscaping and setbacks should be used to enhance industrial buildings.*
- *LU4.4 Ensure access to and from industrial areas that allows for safe and efficient circulation of goods and people.*

ZONING

The property is zoned Industrial (I). The proposed project does not deviate from the confines of the underlying CUP and complies with the applicable development standards.

Pursuant to SHMC Section 17.05.070(B)(1), construction of a new industrial structure exceeding 500 square feet and visible from a public street requires Major Design Review approval and must comply with SHMC Sections 17.18.030 and 17.18.040. As summarized in the development standards table below, the proposed building complies with all applicable objective dimensional standards, including floor area ratio, setbacks, height, and landscaping requirements.

Existing site features that are not being modified are not subject to reconfiguration as part of this application.

Industrial District Development Standards Consistency		
Standard	Permitted	Proposed
Maximum Floor Area Ratio	0.50	0.23
Maximum Height	45 ft.	15 ft.
Minimum Front Setback	25 ft.	Exceeds Minimum
Minimum Street Side Setback	25 ft.	n/a
Minimum Interior Side Setback	0 ft.	17 ft.
Minimum Rear Setback	35 ft.	Exceeds Minimum

Minimum Landscaped Area	10% of total lot area	14% of total lot area
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PARKING AND LOADING

The underlying CUP requires six on-site parking spaces. The property currently has on-site parking spaces. Under the current code, the use would require twelve spaces however, pursuant to SHMC Section 17.26.030(B)(1), additional parking is only required when a change in use, expansion of use, or expansion of floor area creates an increase of fifteen percent (15%) or more in the number of required on-site parking spaces. Accordingly, the project does not trigger additional parking requirements and does not require recalculation of parking for the entire site.

Based on the above, the project remains consistent with SHMC Chapter 17.26, and no additional parking is required.

CITYWIDE STANDARDS

The project has been reviewed for consistency with the applicable citywide development standards contained in Division IV of the Zoning Code; the proposed building installation will be in compliance with the relevant standards.

Additionally, all refuse storage and screening shall continue to comply with prior Use Permit conditions and SHMC Sections 17.24.080 and 17.24.090.

Existing outdoor areas associated with the approved animal care use are not being expanded, relocated, or intensified. The project does not introduce new outdoor activity areas or storage components.

OBJECTIVE DESIGN STANDARDS

The project has been reviewed for consistency with the objective design standards applicable to industrial development under SHMC Section 17.18.040(D). These standards address building massing, façade articulation, entries, materials, and architectural detailing for structures visible from a public street.

The proposed replacement building generally satisfies the applicable objective standards related to scale, height, setbacks, roof form, and overall building massing. The structure maintains an appropriate industrial character consistent with surrounding development and preserves the established site configuration. Materials, fenestration, and architectural elements are cohesive and appropriate for the district.

Two objective standards cannot be fully satisfied due to reuse of the existing slab and the dimensional constraints inherent in modular construction. Minor Modifications are therefore requested as described below.

Recessed Entry (SHMC 17.18.040(D)(1))

Buildings exceeding fifty (50) feet in length along a right-of-way are required to incorporate a recessed entry with a minimum depth of six (6) feet. The proposed building exceeds fifty (50) feet in length along Charter Oak Avenue but does not include a recessed entry meeting the required depth. Incorporating a recessed entry would require substantial alteration of the modular structural system and reconfiguration of accessible circulation. A Minor Modification is requested and is warranted in this case.

Horizontal Articulation (SHMC 17.18.040(D)(2))

Façades visible from a public street are required to include horizontal articulation elements such as eaves, overhangs, awnings, or differentiated base treatments. The proposed building includes modest articulation through roof form and façade treatment but does not incorporate all elements specified in the standard. Given the building's limited height and industrial character, strict compliance would require structural redesign disproportionate to the scale of the project. A Minor Modification is requested and is warranted in this case.

All other applicable objective design standards are satisfied.

MAJOR DESIGN REVIEW

SHMC Section 17.05.070(B) requires Major Design Review approval for any new commercial, industrial, or agricultural building that involves the construction of 500 square feet or more when such construction is visible from a public street. Staff has provided justifications (in italics) to make the findings required to approve this project below:

- a. The project is in conformance with the General Plan and applicable design standards in the Zoning Code.

The project is consistent with the Industrial designation of the General Plan and complies with applicable development standards. Limited relief from objective design standards is addressed through the Minor Modification process.

- b. The proposed siting, form and architectural style are appropriate for the project site and with the surrounding sites and structures.

The replacement building maintains established setbacks and site configuration and is compatible with surrounding industrial and service commercial development.

- c. In the CB District, the façade composition, door placement and design, and building fenestration encourage urban design which provides a connection to the street.

This finding is not applicable. The project site is not located within the Central Business (CB) Zoning District.

- d. The roof design, building massing, and building articulation are reflected on all sides of the building that together create a visually engaging structure.

The building massing and roof form are consistent on all elevations and appropriate for the Industrial District. While utilitarian in character, the building includes consistent treatment across elevations and appropriate scale for its setting.

- e. Project details including materials and colors are used in a manner that creates a visually cohesive design.

The proposed materials and colors are appropriate for the architectural style and industrial use of the building. Materials are cohesive and consistent throughout.

- f. The building design and landscaping support public safety and security by allowing for a visual connection between the building frontages and the right-of-way, common open spaces, and other buildings on the site.

The building design and site layout support public safety and security by maintaining clear visibility between building entrances, internal circulation areas, and surrounding open areas. The project does not introduce visual barriers that would impede site circulation.

- g. In a National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

This finding is not applicable. The project site is not located within a National Register Historic District.

MINOR MODIFICATIONS

As discussed in the Zoning and Design Review sections above, the project generally meets the intent of the applicable development and design standards. The Minor Modification request below addresses limited, site-specific deviations necessary to allow the approved design to be implemented.

Pursuant to SHMC Section 17.11.010, Minor Modifications are typically acted upon by the Community Development Director. However, when a Minor Modification request is directly associated with a discretionary entitlement subject to Planning Commission review, the Minor Modification may be considered concurrently by the Planning Commission to allow for coordinated review of the overall project. In this case, the requested Minor Modifications are integral to the proposed design and are therefore being considered by the Planning Commission in conjunction with the Major Design Review application.

The applicant requests Minor Modifications from the following objective design standards:

- Building Design – Recessed Entry (SHMC 17.18.040(D)(1))
- Building Facades Visible from a Public Street – Horizontal Articulation (SHMC 17.18.040(D)(2))

Staff has provided justifications (in italics) to make the findings required to approve the Minor Modification requests below:

1. The deviation is necessary due to the physical characteristics of the property and the proposed use or structure or other circumstances.

The requested deviations are necessary due to existing site development features and the reuse of the existing concrete slab, the dimensional constraints inherent in modular construction, and the need to maintain compliant accessible circulation and functional interior layout. Incorporating a recessed entry meeting the full depth requirement or additional façade articulation would require substantial structural redesign disproportionate to the scale of the project and inconsistent with the established building footprint.

2. The minor modification is the minimum departure from the requirements of this code necessary to grant relief to the applicant and would not be detrimental to the public welfare or injurious to the property or improvements in the vicinity or the zone in which the subject property is located.

The requested Minor Modifications represent, in staff's estimation, the minimum departure necessary to implement the approved replacement structure. The deviations are limited to façade treatment and entry configuration and do not affect setbacks, height, floor area ratio, circulation, parking, or site layout. The project does not expand the approved use, introduce new operational components, or intensify site activity. No expansion of nonconforming features will result. As proposed and conditioned, the deviations will not be detrimental to the public welfare or injurious to surrounding properties or the Industrial zoning district.

3. Granting the requested deviation will not detract from the overall appearance of the neighborhood or immediate vicinity and will not impair the provision of adequate light, air, circulation, or visual openness.

The replacement structure maintains the established scale, massing, setbacks, and orientation of the existing building. The building form is consistent with surrounding industrial and service-oriented development. The limited deviations related to façade articulation and recessed entry do not alter building bulk, height, or site organization and will not impair light, air, circulation, or visual openness.

4. The deviation, as proposed and conditioned, will achieve the general purposes of this code or the specific purposes of the zoning district in which the project is located.

As proposed and conditioned, the Minor Modifications achieve the general purposes of the Zoning Code and the intent of the Industrial Zoning District by allowing reinvestment in an established service-oriented, industrial facility while maintaining orderly site development and compatibility with surrounding land uses. The deviations are limited, site-specific, and consistent with the intent of the applicable objective design standards.

DEMOLITION PERMIT

As discussed above, the proposed replacement structure has been reviewed for consistency with applicable design standards. Staff has therefore evaluated the associated demolition request in relation to the approved replacement design, as required by SHMC Section 17.05.030.

The project includes demolition of an existing non-historic metal office building. Staff has provided justifications (in italics) to make the findings required to approve the Demolition Permit request below:

1. The building is determined not to be a significant architectural or historical building based on the public record and testimony presented at a public hearing.

The structure is not identified as architecturally or historically significant.

2. The demolition would not eliminate elements that are required to maintain the essential character of the neighborhood.

Removal of the structure will not alter the essential character of the surrounding industrial/ commercial area.

3. Design review of the proposed replacement structure is approved prior to, or in conjunction with, approval of the demolition of a structure.

Design Review of the proposed replacement building is being conducted concurrently with this demolition request, satisfying the requirement that replacement design be reviewed prior to or in conjunction with demolition approval.

4. The building to be demolished does not reflect neglect by the owner.

The demolition request is based on functional obsolescence rather than neglect. The building has reached the end of its useful life and replacement is proposed to improve safety, accessibility, and operational efficiency.

WATER

Chapter 13.12.030 of the SHMC requires mandatory water efficiency measures and water demand offset requirements for new construction. Among these provisions is the requirement that any "new development" (i.e. construction that would introduce any freestanding building that contains water-using fixtures, any floor area additions to existing nonresidential structures, or any residential additions or remodeling that increases the number of independent living units) offset new water demand by an amount equal to the new demand placed on the city water system (i.e., it must be water neutral). The offset must be clearly demonstrated to the satisfaction of the Public Works Department.

Staff Response: The applicant has provided a preliminary Water Use Analysis indicating that the project will not intensify water usage, which has been reviewed and accepted by the Department of Public Works.

ISSUES

No outstanding issues have been identified.

CORRESPONDENCE

No public comments have been submitted at the time of publication of this report.

STAFF RECOMMENDATION

For the reasons described above, staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15302; and
2. Adopt the required findings and approve the attached resolution granting Major Design Review and Demolition Permit approval, and approving the associated Minor Modifications, for the proposed replacement building and demolition of the existing structure at 1345 Charter Oak Avenue in the Industrial zoning district.

ATTACHMENTS

- [1. Draft Resolution of Approval](#)
- [2. Proposed Project Plans](#)
- [3. Applicant's Project Statement](#)
- [4. Aerial Vicinity Map](#)

CITY OF ST. HELENA PLANNING COMMISSION

RESOLUTION NO. PC2026-005

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ST. HELENA
APPROVING A MAJOR DESIGN REVIEW, DEMOLITION PERMIT, AND MINOR
MODIFICATIONS FOR A PROJECT LOCATED AT 1345 CHARTER OAK AVENUE,
CITY OF ST. HELENA, CALIFORNIA
(FILE NOS. PL25-013, DR25-002, MM25-001, DP25-001)**

PROPERTY OWNER: We Care Animal Rescue Inc.

APN: 009-180-023

Recitals

1. The project is associated with We Care Animal Rescue, Inc., which is an authorized use pursuant to Conditional Use Permit No. 96-137, as amended in 2006; and
2. The project site includes legally established conditions that do not conform to current zoning standards, including parking within the front setback and certain fencing configurations. These legal, nonconforming features predate current standards and are not proposed to be modified as part of this project; and
3. The property owner has requested adoption of a resolution approving a Major Design Review for construction of a new modular office building, a Demolition Permit to remove an existing non-historic structure, and associated Minor Modifications to Objective Design Standards for property located at 1345 Charter Oak Avenue; and
4. The project complies with the St. Helena Municipal Code requirements related to nonconforming structures; and
5. The project site is designated Industrial by the 2040 General Plan and zoned Industrial by the St. Helena Municipal Code; and
6. The above-listed entitlements are interdependent and collectively enable the proposed project, and none of the approvals would be implemented independently of the others; and
7. A public notice was published in the Napa Valley Register newspaper and mailed to residents and occupants within 300 feet of the project site in compliance with state and local law; and
8. The Planning Commission of the City of St. Helena, State of California, considered the project, staff report, and all testimony, written and spoken, at a duly noticed public hearing on March 17, 2026; and
9. The Major Design Review, Minor Modifications, and Demolition Permit are intrinsically linked and are intended to operate as a single, unified project entitlement; and
10. Now, therefore let it be found that the Planning Commission approves the Major Design Review, Demolition Permit, and Minor Modifications thereby authorizing the requests contained in said application based on the findings below and subject to the conditions of approval enumerated herein.

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March 17, 2026*

Resolution

- A. In making the findings in this Resolution, the Planning Commission relied upon and hereby incorporates by reference all documents, plans, and materials contained in the administrative record for this project, including the staff report, project plans, application materials, correspondence, and testimony presented at the public hearing.
- B. The project is categorically exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction), which exempts the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure replaced.

The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA Section 15300.2. The project site is not visible from a scenic highway, is not included on a hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts.

- C. The Planning Commission has considered the findings identified in St. Helena Municipal Code Section 17.05.070(E) to support the motion to approve the Major Design Review for the proposed nonresidential project given that the project has been found to demonstrate:
 - a. The proposed use is consistent with the goals and policies of the General Plan and any applicable specific plan.
The project is consistent with the Industrial designation of the General Plan and complies with applicable development standards. Limited relief from objective design standards is addressed through the Minor Modification process.
 - b. The proposed siting, form and architectural style are appropriate for the project site and with the surrounding sites and structures.
The replacement building maintains established setbacks and site configuration and is compatible with surrounding industrial and service commercial development.
 - c. In the CB district, the façade composition, door placement and design, and building fenestration encourage urban design which provides a connection to the street.
This finding is not applicable. The project site is not located within the Central Business (CB) zoning district.
 - d. The roof design, building massing, and building articulation are reflected on all sides of the building that together create a visually engaging structure;
The building massing and roof form are consistent on all elevations and appropriate for the Industrial District. While utilitarian in character, the building includes consistent treatment across elevations and appropriate scale for its setting.
 - e. Project details including materials and colors are used in a manner that creates a visually

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cohesive design.

The proposed materials and colors are appropriate for the architectural style and industrial use of the building. Materials are cohesive and consistent throughout.

- f. The building design and landscaping support public safety and security by allowing for a visual connection between the building frontages and the right-of-way, common open spaces, and other buildings on the site.

The building design and site layout support public safety and security by maintaining clear visibility between building entrances, internal circulation areas, and surrounding open areas. The project does not introduce visual barriers that would impede site circulation.

- g. In a National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

This finding is not applicable. The project site is not located within a National Register Historic District.

- D. The Planning Commission has considered the findings identified in St. Helena Municipal Code Section 17.11.010(G) to support the motion to approve Minor Modifications to objective design standards for the proposed project given that the request has been found to demonstrate:

- 1. The deviation is necessary due to the physical characteristics of the property and the proposed use or structure or other circumstances.

The requested deviations are necessary due to existing site development features and the reuse of the existing concrete slab, the dimensional constraints inherent in modular construction, and the need to maintain compliant accessible circulation and functional interior layout. Incorporating a recessed entry meeting the full depth requirement or additional façade articulation would require substantial structural redesign disproportionate to the scale of the project and inconsistent with the established building footprint.

- 2. The minor modification is the minimum departure from the requirements of this code necessary to grant relief to the applicant and would not be detrimental to the public welfare or injurious to the property or improvements in the vicinity or the zone in which the subject property is located.

The requested Minor Modifications represent, in staff's estimation, the minimum departure necessary to implement the approved replacement structure. The deviations are limited to façade treatment and entry configuration and do not affect setbacks, height, floor area ratio, circulation, parking, or site layout. The project does not expand the approved use, introduce new operational components, or intensify site activity. No expansion of nonconforming features will result. As proposed and conditioned, the deviations will not be detrimental to the public welfare or injurious to surrounding properties or the Industrial zoning district.

3. Granting the requested deviation will not detract from the overall appearance of the neighborhood or immediate vicinity and will not impair the provision of adequate light, air, circulation, or visual openness.

The replacement structure maintains the established scale, massing, setbacks, and orientation of the existing building. The building form is consistent with surrounding industrial and service-oriented development. The limited deviations related to façade articulation and recessed entry do not alter building bulk, height, or site organization and will not impair light, air, circulation, or visual openness.

4. The deviation, as proposed and conditioned, will achieve the general purposes of this code or the specific purposes of the zoning district in which the project is located.

As proposed and conditioned, the Minor Modifications achieve the general purposes of the Zoning Code and the intent of the Industrial Zoning District by allowing reinvestment in an established service-oriented, industrial facility while maintaining orderly site development and compatibility with surrounding land uses. The deviations are limited, site-specific, and consistent with the intent of the applicable objective standards.

- E. The Planning Commission has considered the findings identified in St. Helena Municipal Code Section 17.05.030 to support the motion to approve the Demolition Permit given that the project has been found to demonstrate:

1. The building is determined not to be a significant architectural or historical building based on the public record and testimony presented at a public hearing.
The structure is not identified as architecturally or historically significant.
2. The demolition would not eliminate elements that are required to maintain the essential character of the neighborhood.
Removal of the structure will not alter the essential character of the surrounding industrial/ commercial area.
3. Design review of the proposed replacement structure is approved prior to, or in conjunction with, approval of the demolition of a structure.
Design Review of the proposed replacement building is being conducted concurrently with this demolition request, satisfying the requirement that replacement design be reviewed prior to or in conjunction with demolition approval.
4. The building to be demolished does not reflect neglect by the owner.
The demolition request is based on functional obsolescence rather than neglect. The building has reached the end of its useful life and replacement is proposed to improve safety, accessibility, and operational efficiency.

Based on the foregoing, the Planning Commission finds that the proposed project meets the required findings for approval. The project is consistent with the Industrial land use designation of the General Plan and the Industrial zoning district. The proposal involves

demolition of an existing non-historic structure and construction of a replacement building with no expansion of the previously approved animal rescue use and no increase in operational intensity. All development is subject to applicable design, zoning, and building standards, including those related to accessibility, fire safety, and site compatibility, as conditioned herein.

Planning Department Conditions of Approval

F. The Planning Commission approves the requested Major Design Review, Demolition Permit, and Minor Modifications for the above-described project subject to the following conditions of approval. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.

1. Approval of this project is limited to the demolition of the existing structure and construction of a replacement modular office building, as shown on the approved tentative parcel map titled "WE CARE ANIMAL RESCUE MODULAR OFFICE BUILDING" Prepared by The Grove Architects & Designers Inc., dated May 13, 2025. (See Attachment 1. Exhibit A).
2. Demolition shall be limited to the structures identified on the approved plans. Any additional demolition shall require separate City approval.
3. Demolition shall not occur prior to issuance of building permits for the approved replacement structure, except as may be authorized by the Building Official for site safety purposes.
4. Existing trees and site features designated to remain on the approved plans shall be protected during demolition activities, and demolition shall be conducted to avoid damage to adjacent improvements.
5. The approved Minor Modifications apply solely to deviations from the Industrial District objective design standards identified in the staff report and approved plans, including recessed entry, horizontal articulation, and do not authorize any change in permitted uses.
6. No new paving and no modifications to existing front setback improvements are approved as part of this action. The plans specify that existing front landscape area and natural bark/ground cover under trees are to remain. The property owner is responsible for maintaining the existing landscaping on-site.
7. No new fence lines or increases in existing fence height are approved. The two new access gates shall be installed within the existing fencing system as shown on the approved plans. Vehicular gates shall comply with Fire Department and Public Works setback requirements prior to installation.
8. Any new exterior lighting associated with the replacement structure shall comply with the performance standards of SHMC Section 17.24.070 at the time of building permit

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issuance to ensure compatibility with surrounding properties. Exterior lighting associated with the project shall remain consistent with the limitations established under the 2006 Use Permit Amendment, including restrictions on lighting within the outdoor enclosure.

9. The replacement structure shall comply with all applicable floodplain regulations of Municipal Code Chapter 15.52 at the time of building permit issuance.
10. The Major Design Review, Demolition Permit, and Minor Modifications approvals shall not become effective until fourteen (14) calendar days after adoption of this resolution, providing that the action is not reviewed or appealed by the City Council or any other interested party within that 14-day period.
11. The Major Design Review, Demolition Permit, and Minor Modifications are interdependent approvals and are intended to operate as a single, unified project entitlement. None of these approvals shall become operative unless and until all such approvals become effective. In the event that any one of these approvals is appealed, denied, materially modified, or fails to become effective, the remaining approvals shall not become operative and shall be null and void
12. Any request for an extension of this approval shall be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.
13. Compliance with all permit conditions shall be clearly identified on all plans submitted for building permit approval, shall occur in accordance with specific regulations but in all cases no later than prior to occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
14. In any action or proceeding to attack, challenge, invalidate, set aside, void or annul the City's approval of applicant's Project, in whole or in part, applicant shall defend, at its own expense and without any cost to the City, and with counsel acceptable to the City, and shall fully and completely indemnify and hold the City, its agents, officers, and employees harmless from and against any and all claims, causes of action, damages, costs, attorney's fees and liability of any kind, so long as the City reasonably promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
15. Minor changes to the approved project may be approved by the Community Development Director, provided such changes are in general compliance with this approval and applicable code requirements. Requests for any such changes must be made in writing.
16. This approval shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.
17. The primary purpose of this review is for compliance with the General Plan and

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Zoning Ordinance. The property owners or their designee shall be responsible for meeting with the Building Official, Fire Inspector and/or Public Works Department to review compliance with Building Codes, Fire Codes and specific Public Works Standards including fire protection systems and any applicable accessibility standards of Title 24.

Building Division

1. Prior to issuance of any building permit for the approved project, the applicant shall resolve and finalize any previously issued building permits for existing structures on the property, including the expired permit associated with the existing manufactured building, to accurately reflect the approved and existing conditions on the site, to the satisfaction of the Building Official.
2. The applicant will be required to comply with the codes adopted at the time the applicant applies for a building permit. Currently the city of St. Helena utilizes the 2022 Title-24 California Building Code series.
3. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.
4. The applicant shall provide a Construction Waste Management Plan with the building permit application.
5. The plans for construction shall include a checklist for compliance with the California Green Building Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.
6. When submitting plans, the Title Page shall include all information referenced on the building permit application checklist Title Page requirements.
7. Building permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application.
8. Any deferral of the required submittal items shall have prior approval of the Building Official, however, deferral of the fire sprinkler design is not allowed.
9. A separate permit submittal is required fire sprinkler/standpipe systems.
10. Plans shall comply with Chapter 11B of the California Building Code for ADA requirements.
11. The manufacturer's set-up manual shall be submitted with the permit application.

Department of Public Works

1. The applicant shall notify neighboring properties regarding actual schedule of delivery

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of units that they may prepare for disruptions to access on Charter Oak.

2. An Encroachment Permit is required for all work within City right of way including obstructions, staging, or closures of the vehicular or pedestrian path of travel. Any damages to sidewalk, curb and gutter shall be repaired by the applicant. Applicant to keep roadway and sidewalk clear of construction activities and debris. Contact rwhite@cityofsthelena.gov for permit details. The legal descriptions shall describe the entire boundary of each resulting parcel.
3. Backflow prevention devices shall be installed; all public improvements utility connections shall be designed in accordance with the City of St. Helena's Construction Standards (SHMC 16.32.230).
4. Best Management Practices (BMPs) shall be employed including adequate debris management, dust control, erosion and sediment control.
5. All electrical energy and communication service laterals to any new building or structure, or to any building or structure other than a single-family residential building or structure, being remodeled or repaired when such remodeling or repair work requires the relocation or replacement of the main electrical energy or communication service equipment, shall be placed underground (SHMC 13.28.120).
6. The applicant shall verify that the existing water service and meter sizes are adequate to provide domestic and sprinkler water to the proposed development. If the existing meter size and/or services size is not adequate, the applicant shall replace the existing piping and/or meter with the appropriate size and be responsible for any fees associated with increasing the meter size.
7. No City treated water use permitted for construction activities. Raw, untreated water is available for construction purposes. Contact rwhite@cityofsthelena.gov for permit.

Fire Department

1. Plans submitted for building permit shall exhibit compliance with the current St. Helena Fire Code, as adopted and codified in St. Helena Municipal Code Chapter 15.36.
2. Fire sprinklers shall be installed as required by Fire Code and the Fire Department.
3. One hour minimum fire-resistant construction on all exterior walls within 10' of property boundary is required. Fire resistant construction of interior walls shall be determined by type of occupancy.
4. Any gates installed to control vehicular access to a property are required to be setback 30-feet from the property line and/or edge of pavement, whichever is greater. No vehicle gates may be installed without Fire Department and Public Works Department review and explicit approval.

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I HEREBY CERTIFY that the foregoing Major Design Review, Demolition Permit, and Minor Modifications were duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on March 17, 2026, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Chris Warner
Chair, Planning Commission

Jim McCann
Interim Community Development Director

Attachments:

1. Exhibit A, Project Plans

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WE CARE ANIMAL RESCUE MODULAR OFFICE BUILDING

1345 CHARTER OAK AVE. ST. HELENA, CA 94574

FIRE SUPPRESSION NOTE:

A SEPARATE APPLICATION FOR THE FIRE FIRE SPRINKLER SYSTEM TO THE BUILDING IS TO BE SUBMITTED TO THE FIRE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF THE SYSTEM.

SPECIAL INSPECTIONS POSSIBLY REQUIRED:
1. EPOXY ANCHORS IF INSTALLED.

CODE REFERENCES FOR ANY ALTERATIONS:

2022 California Administrative Code (CAC), Part 1, Title 24 CCR*
2022 California Building Code (CBC), Part 2, Title 24 CCR
2022 California Electrical Code (CEC), Part 3, Title 24 CCR
2022 California Mechanical Code (CMC), Part 4, Title 24 CCR
2022 California Plumbing Code (CPC), Part 5, Title 24 CCR
2022 California Energy Code (CEC), Part 6, Title 24 CCR
2022 California Fire Code (CFC), Part 9, Title 24 CCR
2022 California Existing Building Code (CEBC), Part 10, Title 24 CCR
2022 California Green Building Standards Code (CALGreen), Part 11, Title 24 CCR
2022 California Referenced Standards Code, Part 12, Title 24 CCR
Title 19 CCR, Public Safety, State Fire Marshal Regulations
2016 ASME A17.1/CSA 344-13 Safety Code for Elevators and Escalators (per 2022 CBC Part 2 Ch. 35)
Note: Cal/OSHA Elevator Unit enforces CCR Title 8 and uses the 2004 ASME A17.1 by adoption
PARTIAL LIST OF APPLICABLE STANDARDS:
2016 Edition NFPA 13 – Standard for the Installation of Sprinkler Systems (CA amended)
2016 Edition NFPA 14 – Standard for the Installation of Standpipe and Hose Systems (CA amended)
2017 Edition NFPA 17 – Standard for Dry Chemical Extinguishing Systems
2017 Edition NFPA 17A – Standard for Wet Chemical Extinguishing Systems
2016 Edition NFPA 20 – Standard for the Installation of Stationary Pumps for Fire Protection
2013 Edition NFPA 22 – Standard for Water Tanks for Private Fire Protection
2016 Edition NFPA 24 – Standard for the Installation of Private Fire Service Mains and Their Appurtenances (CA amended)
2016 Edition NFPA 72 – National Fire Alarm and Signaling Code (CA amended)
2015 Edition NFPA 800 – Standard on Clean Agent Fire Extinguishing Systems (CA amended)
2005 (R2010) UL 300 – Standard for Fire Testing of Fire Extinguishing Systems for Protection of Commercial Cooking Equipment
2003 Edition UL 464 – Audible Signaling Devices for Fire Alarm and Signaling Systems, Including Accessories 1989 Edition UL 521 – Standard for Heat Detectors for Fire Protective Signaling Systems
2002 (R2010) UL 1971 – Standard for Signaling Devices for the Hearing Impaired
2017 Edition ICC 300 – Standard for Bleachers, Folding and Telescopic Seating, and Grandstands See California Building Code Chapter 35 for State of California amendments to the NFPA Standards.

A0.0 TITLE SHEET
DA1.1 CONCEPT DEMOLITION SITE PLAN
A1.1 CONCEPT SITE PLAN & FRONT ELEVATION RENDERING
A2.1 FLOOR PLANS OF ALL BUILDINGS
L1.1 LANDSCAPE PLAN & SITE PHOTOS

MODULAR BUILDING DRAWINGS

S/N= AM0624-1, AM0624-2, & AM0624-3

T1 COVER/SPECIFICATIONS

A-1.0 FLOOR PLAN & SCHEDULES

A-2.0 EXTERIOR ELEVATIONS

RAMP/STAIR MANUF. DRAWINGS (DSA PC04-1222262)

1 COVER SHEET

2 ACCESSIBLE RAMP ELEVATIONS & DETAILS

3 ACCESSIBLE RAMP DETAILS & NOTES

OWNER

WE CARE ANIMAL RESCUE
1345 CHARTER OAK AVE.
WEST SACRAMENTO, CA 95605

DESIGN/BUILD GENERAL CONTRACTOR

LEGACY MODULAR BUILDINGS INC (CSLB #1,094,256)
100 PIONEER COURT
VACAVILLE, CA 95688
(707) 479-3400
PROJECT MANAGER: MARIO CAMACHO

ARCHITECT

THE GROVE ARCHITECTS & DESIGNERS INC.
PO BOX 995
WALNUT GROVE, CA 95690
(916) 685-8800 fax: 685-8995
PROJECT ARCHITECT: CHRIS DAVIS

STRUCTURAL ENGINEER

ACUMEN ENGINEERING DESIGN LLC
12008 NORTH 144TH AVE.
SURPRISE, AZ 85379
(801) 571-9877
PROJECT ENGINEER: ADAM NIEMAN

MODULAR MANUFACTURER

AMCO STRUCTURES
13925 BENSON AVE.
CHINO, CA 91710
(909) 618-8213

RAMP/DECK MANUFACTURER

TMP SERVICES
2929 KANSAS AVE.
RIVERSIDE, CA 92507
(951) 213-3900
PROJECT ENGINEER: JAMES SIMPSON

FIRE SPRINKLER CONTRACTOR

SUMMIT FIRE PROTECTION (C-16 CSLB #362801)
520 TEXAS ST.
REDLANDS, CA 92374
(909) 793-0676
PROJECT DESIGNER: WAYNE JOHNSON

- THIS PROJECT SCOPE CONSISTS OF REMOVING (1) METAL BUILDING (LEAVING SLAB) AND INSTALLING A SINGLE TRIPLE WIDE MODULAR BUILDING CONNECTING TO (2) ELECTRICAL, TELCO, SEWER AND WATER SYSTEM WITH NEW RAMP SYSTEM.
- IN CASE OF DISCREPANCY CONCERNING DIMENSIONS, QUANTITIES AND LOCATIONS, THE CONTRACTOR SHALL, IN WRITING, CALL TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN SPECIFICATIONS, PLANS DETAILS OR SCHEDULES. THE ARCHITECT WILL THEN INFORM THE CONTRACTOR IN WRITING, WHICH DOCUMENT TAKES PRECEDENCE. THERE SHALL BE NO ADJUSTMENT TO THE COST OF THE WORK RESULTING FROM SUCH CLARIFICATIONS OF DISCREPANCIES.
- FAILURE TO REPORT A CONFLICT IN THE CONTRACT DOCUMENTS SHALL BE DEEMED EVIDENCE THAT THE CONTRACTOR HAS ELECTED TO PROCEED IN THE MORE EXPENSIVE MANNER.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT ABOUT CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK.
- PROVIDE ALL NECESSARY ANCHORAGE, BLOCKING, BACKING AND FRAMING REQUIRED FOR THE WORK. THE CONDITIONS MAY INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION OF TOILET ROOM ACCESSORIES, CASEWORK, OWNER PROVIDED EQUIPMENT AND LIGHTING FIXTURES.
- ALL DOORS NOT LOCATED BY DIMENSION ON PLAN(S) OR DETAIL(S), SHALL BE 4 INCHES FROM THE FACE OF STUD TO FACE OF NEAREST DOOR JAMB BUCK OR LOCATED IN THE CENTER OF THE ROOM.
- DOOR SIZE INDICATED ON DRAWINGS ARE OPENING DIMENSIONS. ALLOWANCES FOR THRESHOLD, WEATHER-STRIPPING AND OTHER ACCESSORIES SHALL BE TAKEN FOR NET SIZES.
- DETAILS AND NOTES MARKED "TYPICAL" (TYP.) SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION WITHIN THIS PROJECT.
- DIMENSIONS:
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE. THE CONTRACTOR IS TO CROSS-CHECK DETAILS AND DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH THOSE OF RELATED REQUIREMENTS WITHIN THE CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL OR SPECIAL CONSULTANT DRAWINGS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
 - USE DIMENSIONS RATHER THAN SCALING THE DRAWING. IF A REQUIRED DIMENSION IS NOT INDICATED ON THE DRAWING, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - ALL DIMENSIONS SHOWN ARE F.O.S. (FACE OF STUD) OR (CENTERLINE OF STUD) U.N.O.
 - ALL DIMENSIONS ARE ROUGH UNLESS NOTED OTHERWISE.
 - CEILING AND SOFFIT HEIGHTS ARE DIMENSIONED FROM THE FINISH FLOOR TO THE FINISHED FACE OF THE CEILING OR SOFFIT.

& Z C O #	And Angle Al. Centerline Diameter Number or Pound	E.J. EL. ELEV. Elevator Emergency ENCL. E.P. Electrical Panel Equal EQPT. Equipment EWC. Electric Water Cooler EXIST. Existing EXPO. Exposed EXP. Expansion EXT. Exterior	Expansion Joint ELEV. Elevation ELEV. Elevator ENCL. Enclosure E.P. Electrical Panel EQPT. Equipment EWC. Electric Water Cooler EXIST. Existing EXPO. Exposed EXP. Expansion EXT. Exterior	JAN. JIT. KIT. LAB. LAM. LAV. LOCKER LTK. Light LT. Maximum M.B. Machine Bolt M.C. Mechanical Cabinet M.D. Membrane MET. Metal MFR. Manufacturer M.H. Marble MIN. Minimum MISC. Miscellaneous M.O. Masonry Opening MTD. Mounted MUL. Mullion	Register REINFR. Reinforced REQ. Required RESIL. Resilient RM. Room R.O. Rough Opening RWD. Redwood R.W.L. Rain Water Leader S. South S. Salvage S.C. Solid Core S.C.D. Seat Cover Dispenser SCHEDULE S.D. Schedule SECT. Section S.F.P.B. Self-furring Paper-Backed SHR. Shower SHT. Sheet SIM. Similar S.N.D. Sanitary Napkin Dispenser S.N.R. Sanitary Napkin Receptacle SPEC. Specification SQ. Square S.S. Stainless Steel S.S.K. Service Sink STA. Station STD. Standard STL. Steel STOR. Storage STRUCT. Structural SUSP. Suspended SYM. Symmetrical T. Tread T.B. Towel Bar T.C. Top of Curb TEL. Telephone TER. Terrazzo T & G Thick T.P. Top of Pavement T.P.D. Toilet Tissue Dispenser TV. Television T.W. Top of Wall TYP. Typical U.N.O. Unless Noted Otherwise UR. Urinal VERT. Vertical VEST. Vestibule W. West W. With W.C. Water Closet WO. Wood W/O Without WP. Waterproof WSCOT. Wainscot WT. Weight
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E1 ABBREVIATIONS

SECTION NUMBER SHEET NUMBER	DETAIL NUMBER SHEET NUMBER	KEYNOTE NUMBER	STRUCTURAL GRID	DOOR NUMBER – SEE DOOR SCHEDULE	WINDOW NUMBER – SEE WINDOW SCHEDULE	CEILING HEIGHT – SEE REFLECTED CEILING PLAN	REVISION NUMBER	REFERENCE POINT	ROOM NAME ROOM NUMBER
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A1 SYMBOLS LEGEND

E5 GENERAL NOTES

APN: NAPA COUNTY 009-180-023-000

PROJECT ADDRESS: 1345 CHARTER OAK AVE.
ST. HELENA, CA 94574

OCCUPANCY TYPE: 'B'

TYPE OF CONSTRUCTION: TYPE X – B (FIRE SPRINKLED)

CODE REFERENCES: 2022 CBC 2022 CEC 2022 CMC 2022 CPC 2022 CFC 2022 CA ENERGY & GREEN BUILDING CODES 2022 CAC 2022 CRS TITLE 19 2016 NFPA 13 & 72

TOTAL BUILDING AREA: 1 BUILDING = 2,130 SF TOTAL
1-STORY, <14' ROOF HGT., w/ FIRE SPRINKLER & w/o FIRE ALARMS

OCCUPANT LOAD: 22 MAX. EACH SEE MANF. DRAWINGS

NEW MODULAR BUILDING DATA

BUILDING REFERENCE	BLDG. SER. NUMBER	OCCUPANCY TYPE	CONST. TYPE	NUMBER STORES	BUILDING HEIGHT	BUILDING/PROJECT S.F.	SEPARATED OR NON USE	ALLOWABLE AREA	AREA INCREASE	HEIGHT INCREASE	FIRE SPRINKLER	FIRE ALARM	BLOG O.L.	SMOKE CONTROL	OTHER FIRE PROT.	HIGH FIRE HAZARD	SEISMIC JOINTS	EMERG. RADIO
BUILDING		B – OFFICE	X-B	1	<14'	2,130	NON	9,000	N/A	N/A	YES	NO	22	NO	NO	NO	NO	NO

1. ALL BUILDINGS ARE UNDER THE ALLOWABLE BUILDING AREA AND DO NOT REQUIRE INCREASES FOR HEIGHT OR FIRE SPRINKLER.
2. EACH BUILDING IS NEW AND NONE REQUIRE SEISMIC JOINTS.
3. REFER TO MODULAR BUILDING DESIGN DOCUMENTS FOR OCCUPANCY LOADING DETAILS.

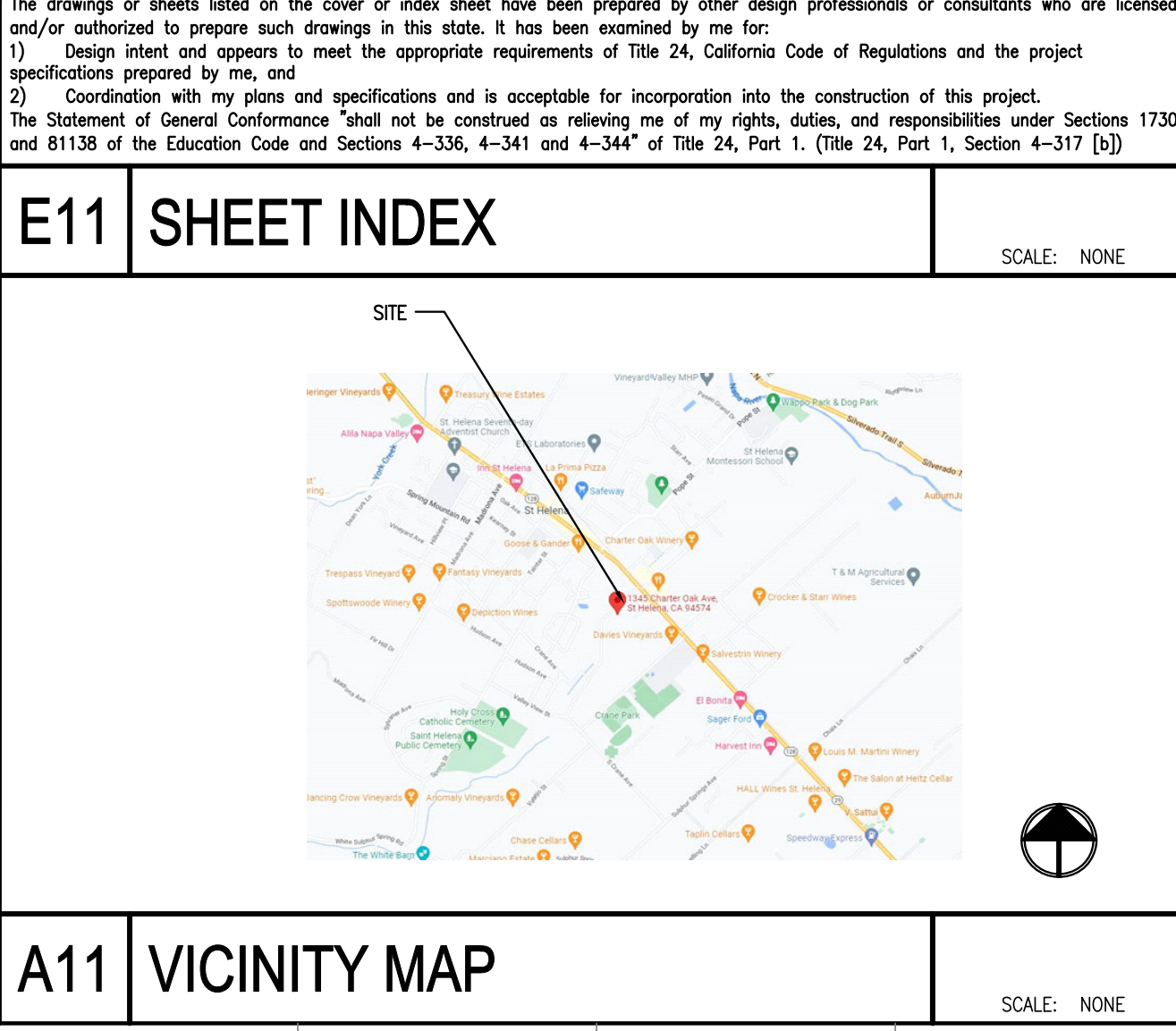
- ALL BUILDINGS ARE UNDER THE ALLOWABLE BUILDING AREA AND DO NOT REQUIRE INCREASES FOR HEIGHT OR FIRE SPRINKLERS.
- EACH BUILDING IS NEW AND NONE REQUIRE SEISMIC JOINTS.
- REFER TO MODULAR BUILDING DESIGN DOCUMENTS FOR OCCUPANCY LOADING DETAILS.

A4 PROJECT STATISTICS

E8 PROJECT REPS.

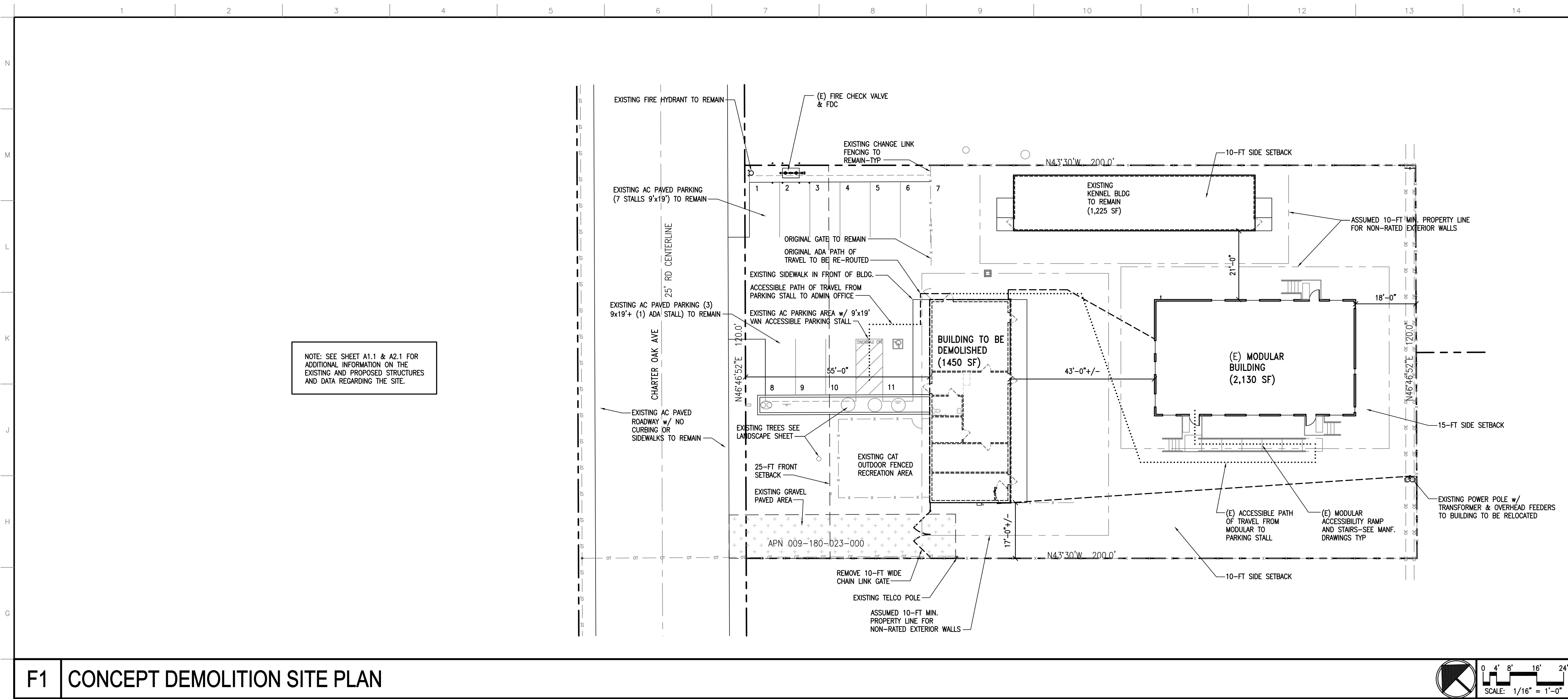
STATEMENT OF GENERAL CONFORMANCE FOR ARCHITECTS/ENGINEERS WHO UTILIZE PLANS, INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PREPARED BY OTHER LICENSED DESIGN PROFESSIONALS AND/OR CONSULTANTS (DSA Application No. _____ File No. _____ SFM # _____)	THE GROVE ARCHITECTS & DESIGNERS, INC. HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER RIGHTS IN THESE PLANS, DRAWINGS AND DESIGN, WHICH ARE HEREBY TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WITHOUT OUR WRITTEN PERMISSION FROM THE ARCHITECT. THE DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.
--	---

E11 SHEET INDEX

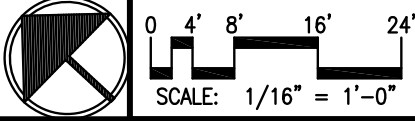


A11 VICINITY MAP

THE GROVE ARCHITECTS & DESIGNERS, INC. P.O. BOX 995, WALNUT GROVE, CA 95690 (916) 685-8800 • FAX (916) 685-8995 • THEGROVE@THEGROVEAIA.COM	
CONSULTANT:	
PROJECT:	
WE CARE ANIMAL RESCUE- MODULAR 1345 CHARTER OAK AVE., ST HELENA, CA 94574	
DRAWING TITLE:	
PLANNING COVER SHEET	
SEAL: LICENSED ARCHITECT CHRISTOPHER C. DAVIS C-27,234 10-31-25 RENEWAL DATE	DRAWN BY: C. DAVIS CHECKED BY: C. DAVIS DATE: 5-13-25 SCALE: NONE
PROJECT NUMBER: 22020.402b DRAWING NO. 22020402B-A0_0 DRAWING _____ OF _____	



F1 CONCEPT DEMOLITION SITE PLAN



THE GROVE ARCHITECTS & DESIGNERS, INC. 1345 CHARTER OAK AVE., ST HELENA, CA 94574

CONSULTANT:

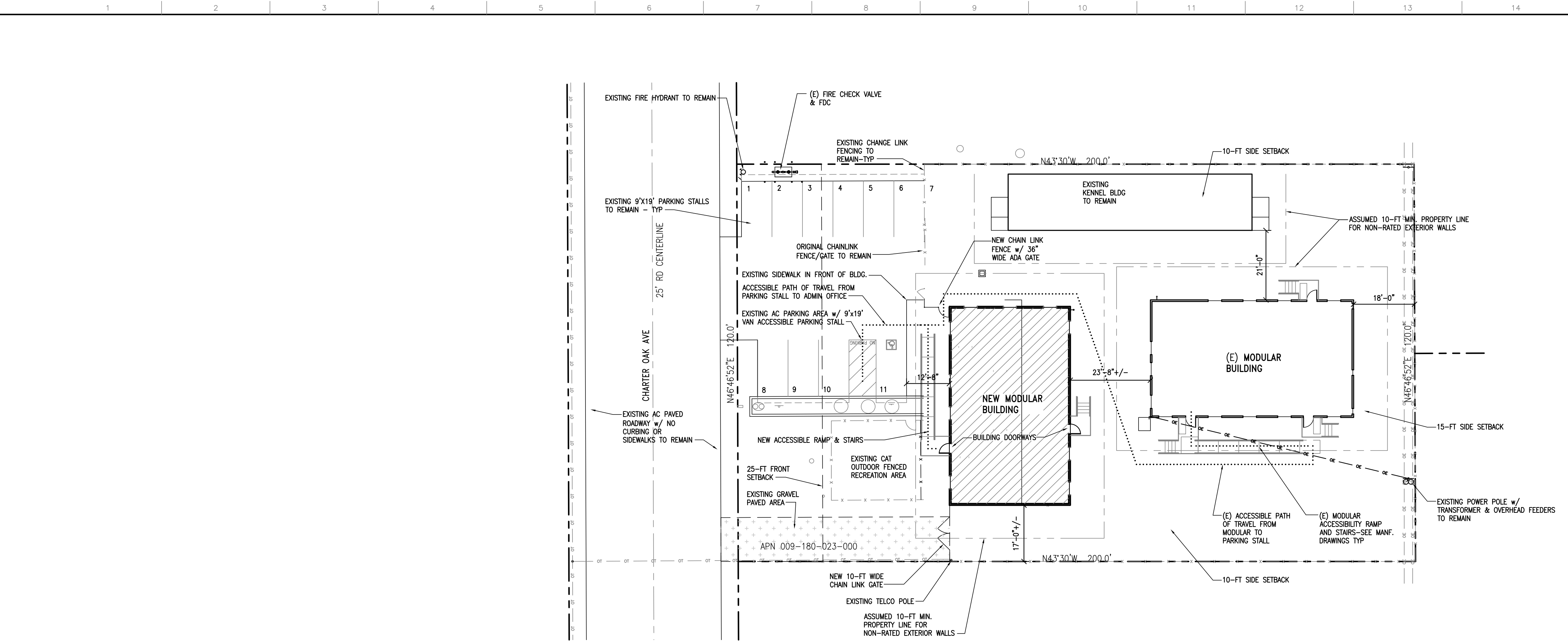
PLANNING APPL.	REV	DATE
	5-13-25	

PROJECT: WE CARE ANIMAL RESCUE- MODULAR 1345 CHARTER OAK AVE., ST HELENA, CA 94574

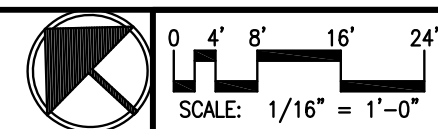
DRAWING TITLE: DEMOLITION SITE PLAN

SEAL	DRAWN BY:	PROJECT NUMBER:
	C. DAVIS	22020.402b
	CHECKED BY:	CADD FILE NAME:
	C. DAVIS	22020402B-DA1_1
	DATE:	DRAWING NO.

5-13-25	DA1.1
SCALE:	DRAWING _____ OF _____
AS NOTED	



F1 CONCEPT SITE PLAN



EPDM ROOF - "WHITE" - TYPICAL (LIKELY UNSEEN)

GUTTERS & DOWN SPOUTS - "REGAL WHITE" - TYPICAL

VINYL WINDOWS - "WHITE" - TYPICAL



EXTERIOR WALL SCONCE LIGHTS - WHITE - TYPICAL

WOOD TRIM PAINTED "EXTRA WHITE" SW #SW7006 - TYPICAL

GROOVED EXTERIOR PLYWOOD SIDING PAINTED "SUMMIT GREY" SW #SW7669 - TYPICAL

EXTERIOR METAL DOOR PAINTED "NAVAL" SW #SW6244 - TYPICAL

EXTERIOR METAL STAIRS, RAMP & RAILINGS PAINTED GREY - TYPICAL

A1 CONCEPT FRONT BUILDING ELEVATION

SITE DATA:
LOT AREA: 24,000 SF
ZONING: "I" INDUSTRIAL
EXISTING BUILDINGS:
1. (C) OFFICE BUILDING BEING REMOVED 1,450 SF
2. (E) KENNEL BUILDING TO REMAIN 1,225 SF
3. (E) MODULAR BUILDING TO REMAIN 2,130 SF
4. (N) MODULAR OFFICE BUILDING 2,140 SF
TOTAL PRIOR TO OFFICE REMOVAL = (20.0 FAR) 4,805 SF
TOTAL WITH NEW OFFICE = (22.9% FAR) 5,495 SF

HEIGHT OF NEW BUILDING = <15'-0"
FRONT SETBACK = 25'-FT
SIDE SETBACK = 0'-FT
REAR SETBACK = 0'-FT

3,250 SF EXISTING FRONT LANDSCAPE AREA (13.5% OF PARCEL)

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CONSULTANT:

PLANNING APPL. REV	5-13-25

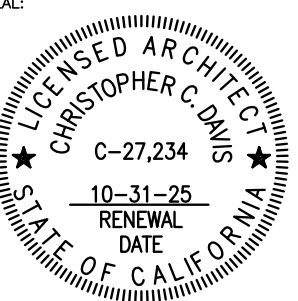
PROJECT:

WE CARE ANIMAL RESCUE- MODULAR
1345 CHARTER OAK AVE., ST HELENA, CA 94574

DRAWING TITLE:

SITE PLAN

SEAL:



DRAWN BY:

C. DAVIS

CHECKED BY:

C. DAVIS

DATE:

5-13-25

SCALE:

AS NOTED

PROJECT NUMBER:

22020.402b

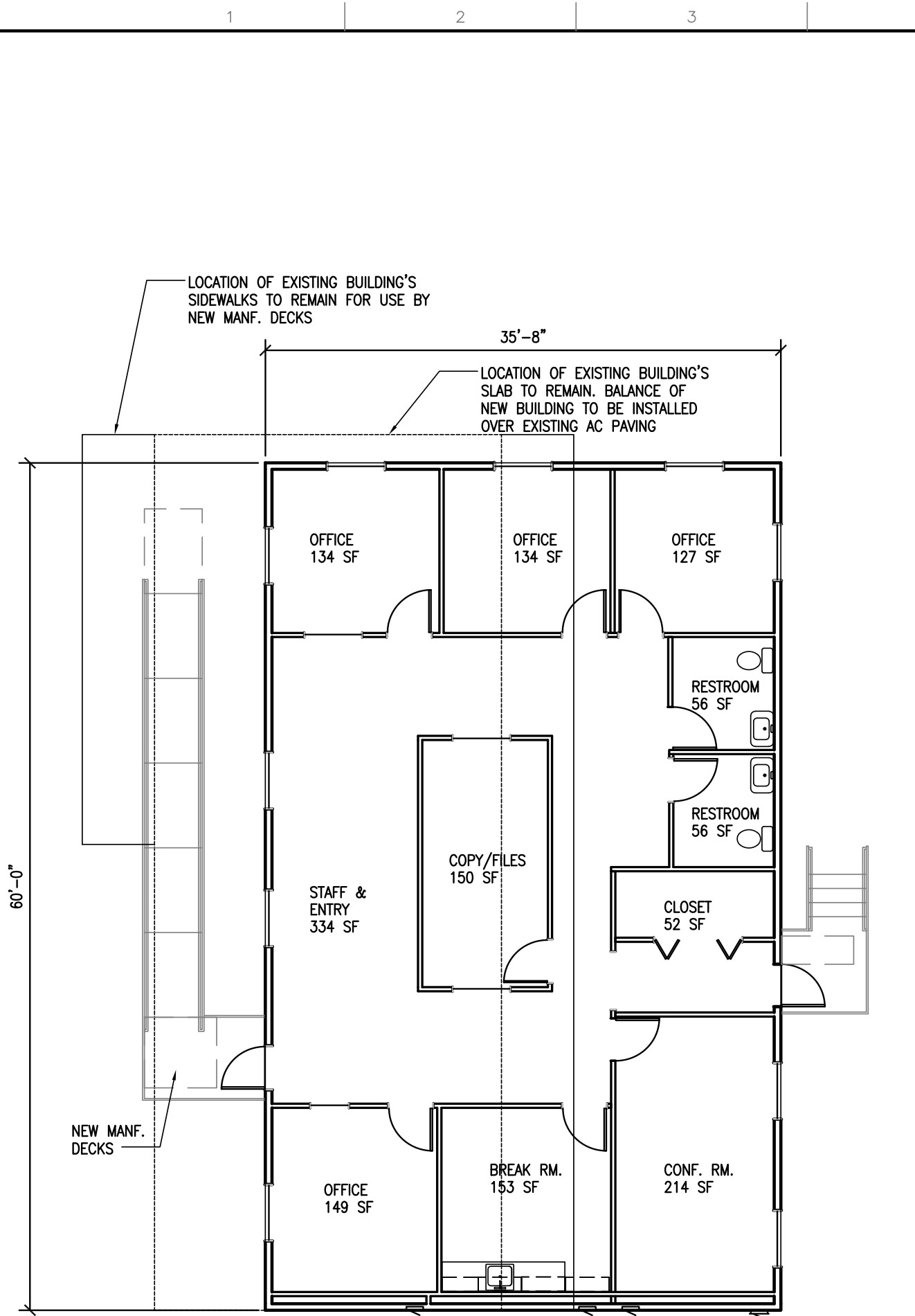
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22020402B-A1_1

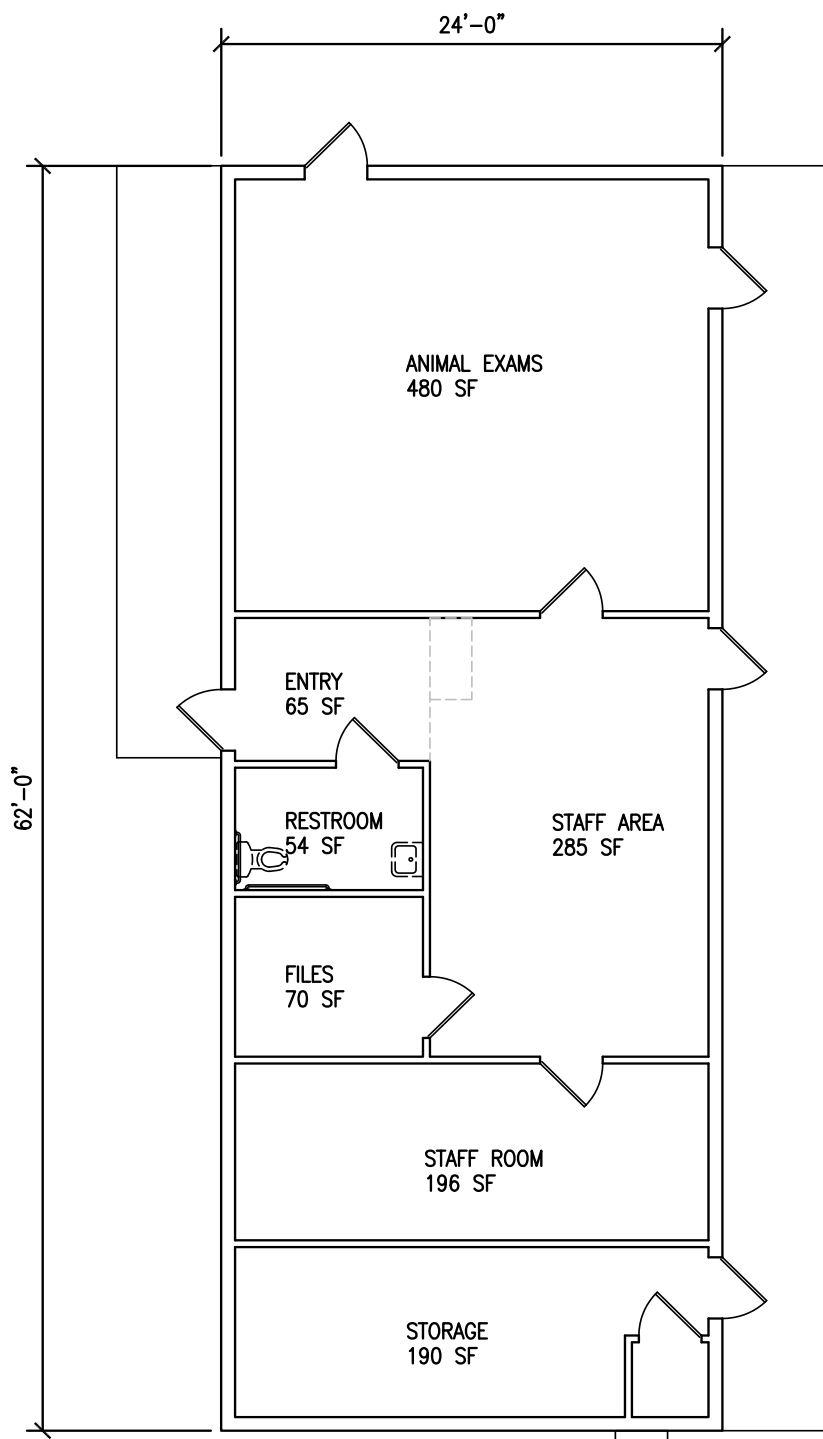
DRAWING NO.

A1.1

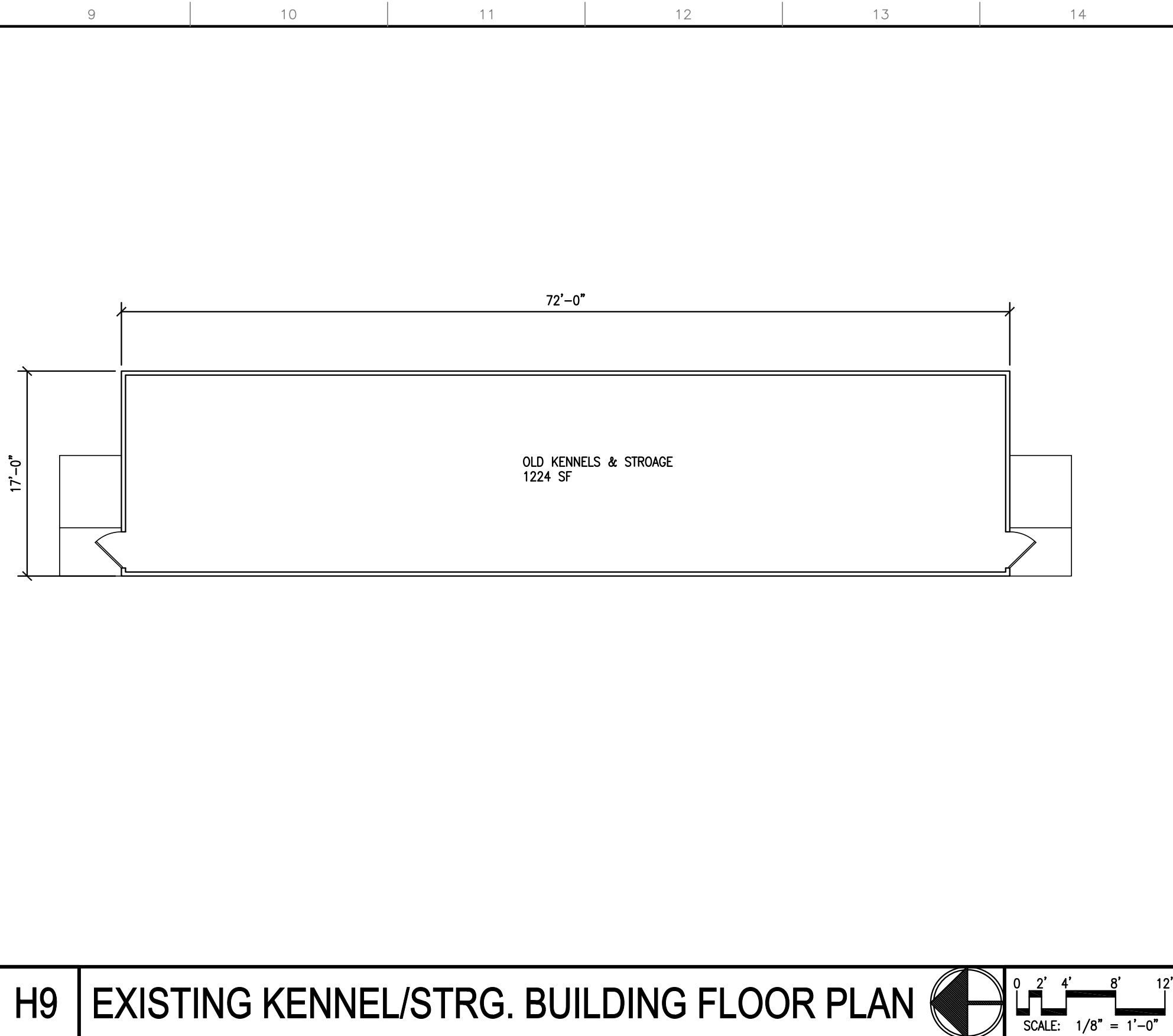
DRAWING _____ OF _____



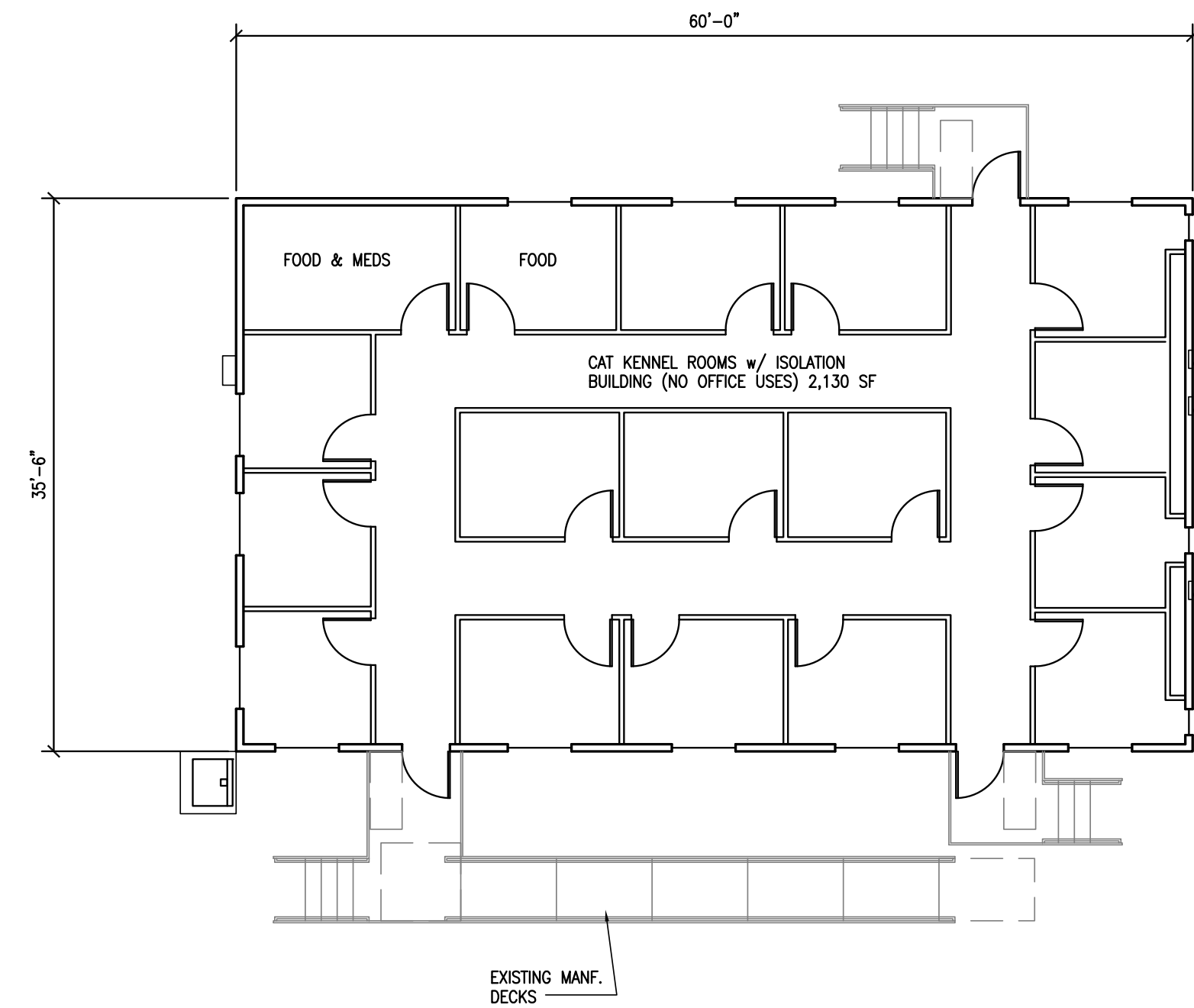
A1 NEW ADMIN BLDG. PLAN



A4 EXISTING ADMIN BLDG. PLAN



H9 EXISTING KENNEL/STRG. BUILDING FLOOR PLAN



A9 EXISTING MODULAR BUILDING FLOOR PLAN

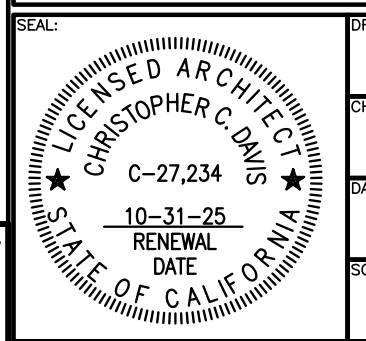
THE GROVE ARCHITECTS & DESIGNERS, HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGN, WHICH ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE REPRODUCED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION FROM THE ARCHITECT. THE DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

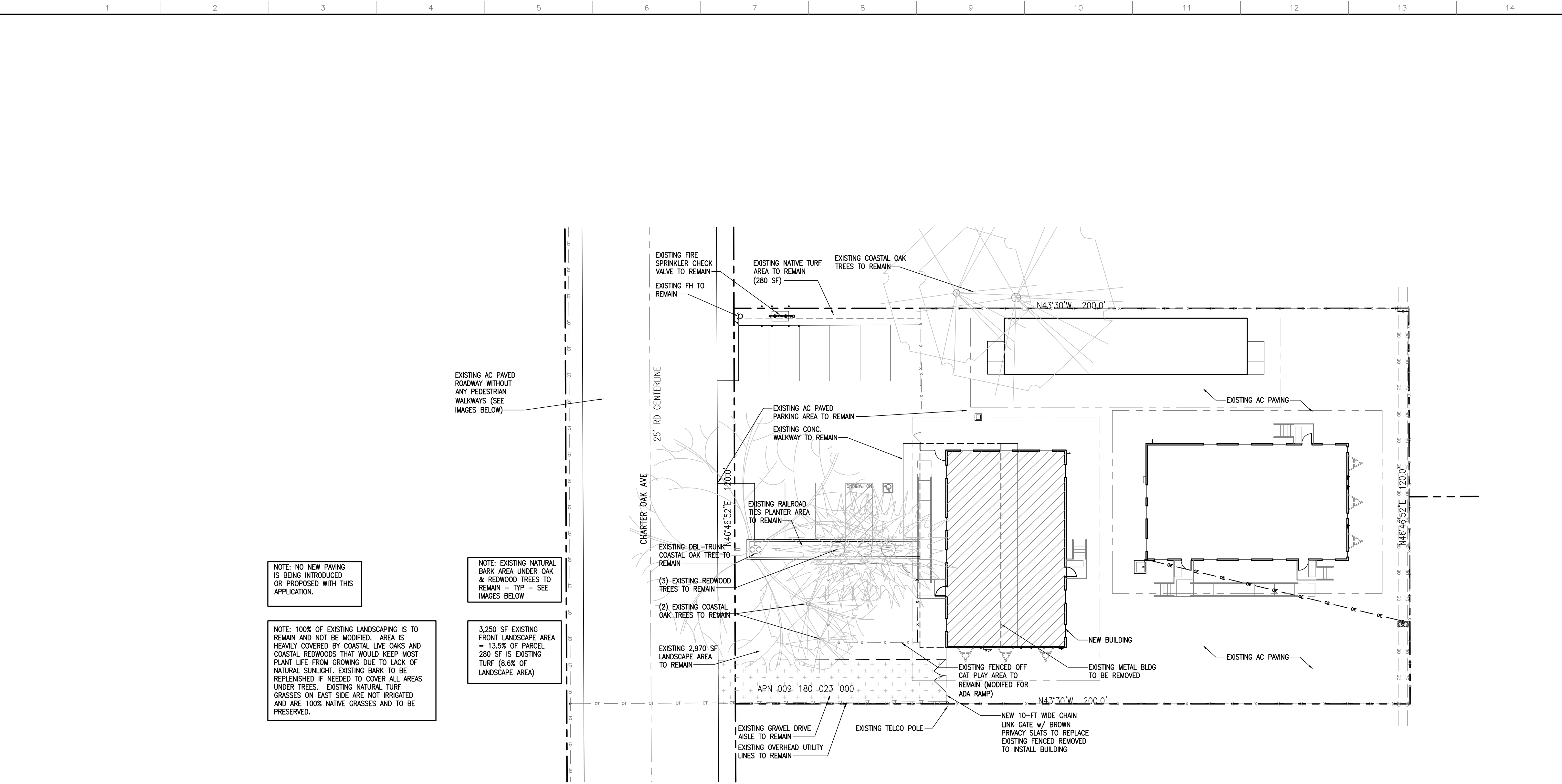
 **THE GROVE ARCHITECTS & DESIGNERS, INC.**
P.O. BOX 999, WALNUT GROVE, CA 95690
(916) 465-8600 • FAX (916) 465-8993 • THEGROVE@THEGROVEAIA.COM

CONSULTANT:	
PLANNING APPL. REV	8-7-25

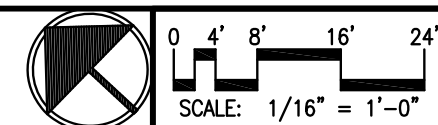
PROJECT:
WE CARE ANIMAL RESCUE- MODULAR
1345 CHARTER OAK AVE., ST HELENA, CA 94574

DRAWING TITLE:
BUILDING FLOOR PLANS

	DRAWN BY: C. DAVIS	PROJECT NUMBER: 22020.402b
	CHECKED BY: C. DAVIS	CADD FILE NAME: 22020402B-A2_1
	DATE: 5-13-25	DRAWING NO.
	SCALE: 1/8"=1'-0"	A2.1



E1 CONCEPT LANDSCAPE SITE PLAN



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THE GROVE ARCHITECTS & DESIGNERS, INC.
P.O. BOX 999, WALNUT CREEK, CA 94596
(916) 465-8600 • FAX (916) 465-8993 • THEGROVE@THEGROVEAIA.COM

CONSULTANT:	
PLANNING APPL. REV	5-13-25

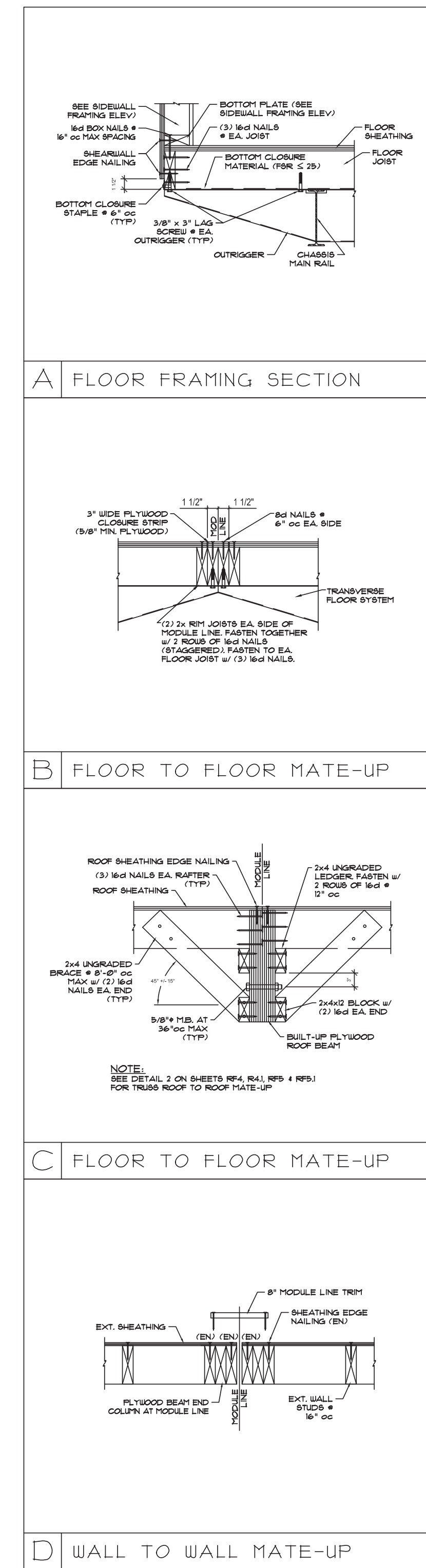
PROJECT:
WE CARE ANIMAL RESCUE- MODULAR
1345 CHARTER OAK AVE., ST HELENA, CA 94574

DRAWING TITLE:
LANDSCAPE SITE PLAN

	DRAWN BY: C. DAVIS	PROJECT NUMBER: 22020.402b
	CHECKED BY: C. DAVIS	CADD FILE NAME: 22020402B-L1_1
	DATE: 5-13-25	DRAWING NO. L1.1
	SCALE: AS NOTED	DRAWING _____ OF _____

A1 STREET PHOTOS





THIS SHEET HAS BEEN REVIEWED AND HAS BEEN
FOUND TO BE IN COMPLIANCE WITH THE STATE
APPROVED STRUCTURAL PACKAGE (INTERTEK-ATI
APPROVAL NUMBER R-21001)

IN WHOLE OR IN	SEAL
	PE SEAL IS ONLY VALID FOR SITE ADDRESS SHOWN IN THE TITLE BLOCK.
	WET STAMPED PE SEAL IS ONLY VALID WHEN RED w/ BLUE SIGNATURE (COPIES NOT PERMITTED)
	ELECTRONIC SIGNATURE ONLY VALID WITH A VALID CERTIFICATE

ACUMEN
ENGINEERING DESIGN, LLC

12008 N. 144TH AVE
SURPRISE, AZ 85379
(801) 571 - 9877

AND SHALL BE HELD CONFIDENTIAL
URER

amo
structures

13925 BENSON AVENUE
CHINO, CALIFORNIA 91710
(909) 239-0087

ON HEREIN IS FOR THE SOLE USE OF THE CUSTOMER

SALE

IM|LEGACY
MODULAR BUILDINGS

100 PIONEER COURT
VACAVILLE, CALIFORNIA 95688
(707) 479-3400

**ELEVATIONS, CROSS
SECTION & DETAILS**

TITLE TO THESE PLANS REMAINS WITH THE PROJECT	VERSION					
	BY		DATE		BY	
DATE:		4/2024				
SCALE:		SHOWN				
DWN:		A.C.				
JOB:		240324				
SHEET						

A-2.0

OF 8 SHEETS

TMP SERVICES DSA RAMP & LANDING - STEEL SHEET 1.DWG

TMP SERVICES

2929 KANSAS AVE.
RIVERSIDE, CA 92507
(951) 213-3900
FAX (651) 213-3997

DSA 103-22: LISTING OF STRUCTURAL TESTS & SPECIAL INSPECTIONS, 2022 CBC		
Application Number:	School Name:	School District:
DSA File Number:	Increment Number:	Date Created:

2022 CBC

IMPORTANT: This form is only a summary list of structural tests and some of the special inspections required for the project. Generally, the structural tests and special inspections noted on this form are those that will be performed by the Geotechnical Engineer of Record, Laboratory of Record, or Special Inspector. The actual complete test and inspection program must be performed as detailed on the DSA approved documents. The appendix at the bottom of this form identifies work NOT subject to DSA requirements for special inspection or structural testing. The project inspector is responsible for providing inspection of all facets of construction, including but not limited to, special inspections not listed on this form such as structural wood framing, high-load wood diaphragms, cold-formed steel framing, anchorage of non-structural components, etc., per Title 24, Part 2, Chapter 17A (2022 CBC).

****NOTE:** Undefined section and table references found in this document are from the CBC, or California Building Code.

KEY TO COLUMNS		2. PERFORMED BY	
1. TYPE		GE (Geotechnical Engineer) - Indicates that the special inspection shall be performed by a registered geotechnical engineer or his or her authorized representative. LOR (Laboratory of Record) - Indicates that the test or special inspection shall be performed by a testing laboratory accepted in the DSA Laboratory Evaluation and Acceptance (LEA) Program. See CAC Section 4-335. PI (Project Inspector) - Indicates that the special inspection may be performed by a project inspector when specifically approved by DSA. SI (Special Inspection) - Indicates that the special inspection shall be performed by an appropriately qualified/approved special inspector.	
Continuous - Indicates that a continuous special inspection is required			
Periodic - Indicates that a periodic special inspection is required			
Test - Indicates that a test is required			
C3. POST-INSTALLED ANCHORS:			
Test or Special Inspection	Type	Performed By	Code References and Notes
☐ a. Impact installation of post-installed anchors	See Notes	SI*	1617A.1.19, Table 1705A.3 Item 4a (Continuous) & 4b (Periodic), 1705A.2.8 (See Appendix (end of this form) for exemptions), ACI 318-14 Sections 17.8.26.13. * May be performed by the project inspector when specifically approved by DSA.
☐ b. Test post-installed anchors.	Test	LOR	1910A.5. (See Appendix (end of this form) for exemptions.)
S/A1. STRUCTURAL STEEL, COLD-FORMED STEEL, AND ALUMINUM USED FOR STRUCTURAL PURPOSES			
Test or Special Inspection	Type	Performed By	Code References and Notes
☐ a. Verify identification of all materials and: • Mill certificates indicate material properties that comply with requirements. • Material sizes, types and grades comply with requirements.	Periodic	*	Table 1705A.2.1 Item 3a-3c, 2202A.1; AISI S100-20 Section A3.1 & A3.2, AISI S240-20 Section A3 & A5, AISI S220-20 Sections A4 & A6. * By special inspector or qualified technician when performed off-site.
☐ b. Test unidentified materials.	Test	LOR	2202A.1.
☐ c. Examine seam welds of HSS shapes.	Periodic	SI	DSA IR 17-3.
☐ d. Verify and document steel fabrication per DSA-approved construction documents.	Periodic	SI	Not applicable to cold-formed steel light frame construction, except for trusses (1705A.2.4).
S/A3. WELDING:			
Test or Special Inspection	Type	Performed By	Code References and Notes
☐ a. Verify weld filler material identification markings per AWS designation listed on the DSA-approved documents and the WPS.	Periodic	SI	1705A.2.5, Table 1705A.2.1 Items 4 & 5; AWS D1.1 and AWS D1.8 for structural steel; AWS D1.2 for Aluminum; AWS D1.3 for cold-formed steel; AWS D1.4 for reinforcing steel; DSA IR 17-3.
☐ b. Verify weld filler material manufacturer's certificate of compliance.	Periodic	SI	DSA IR 17-3.
☐ c. Verify WPS, welder qualifications and equipment.	Periodic	SI	DSA IR 17-3.
S/A4. SHOP WELDING (IN ADDITION TO SECTION S/A3):			
Test or Special Inspection	Type	Performed By	Code References and Notes
☐ a. Inspect groove welds, multi-pass fillet welds, single pass fillet welds > 5/16", plug and slot welds.	Continuous	SI	Table 1705A.2.1 Items 5a.1-4; ASC 360-16 (and ASC 341-16 as applicable); DSA IR 17-3.
☐ b. Inspect single-pass fillet welds < 5/16", floor and roof deck welds.	Periodic	SI	1705A.2.2, Table 1705A.2.1 Items 5a.5 & 5a.6; ASC 360-16 (and ASC 341-16 as applicable); DSA IR 17-3.
☐ c. Inspect welding of stairs and railing systems.	Periodic	SI	1705A.2.1; ASC 360-16 (and ASC 341-16 as applicable); AWS D1.1 & D1.3; DSA IR 17-3.

"CONSTRUCTION OF" AND "STOCKPILE OF" EXAMPLE DSA 103 FORM (DSA 103 FORM NOT REQUIRED FOR RELOCATION OF CERTIFIED RAMP & LANDING).

THE EXAMPLE FORM DSA-103 SHOWN ON THIS SHEET IS FOR ILLUSTRATION PURPOSES ONLY TO ASSIST IN THE COMPLETION OF FUTURE PROJECT-SPECIFIC FORM DSA-103'S. A FORM DSA-103 IS TO BE COMPLETED FOR EACH APPLICATION THAT THIS PC IS BEING INCORPORATED INTO AND THE EXAMPLE FORM DSA-103 IS TO BE CROSSED OUT ON THIS DRAWING.

PC ACCESSIBLE RAMPS/ LANDINGS/STAIRS (STEEL + OPTIONAL ALUM. DECK)

STATE OF CALIFORNIA - 2021 IBC/2022 CBC

PROPRIETARY DESIGN: THIS DRAWING AND THE MATERIAL CONTAINED THEREIN ARE THE PROPERTY OF TMP SERVICES, INC. AND SHALL NOT BE REPRODUCED, COPIED OR OTHERWISE DISPOSED OF DIRECTLY OR INDIRECTLY AND SHALL NOT BE USED IN WHOLE OR IN PART TO ASSIST IN THE MAKING OF OR THE PURPOSE OF FURNISHING ANY INFORMATION FOR THE MAKING OF DRAWINGS, PRINTS, APPARATUS OR PARTS THEREOF WITHOUT THE FULL KNOWLEDGE AND CONSENT OF TMP SERVICES, INC. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATED WITH TMP SERVICES, INC. SHALL BE THE PROPERTY OF TMP SERVICES, INC.



NOTES:

LOADS:

- RAMP LIVE LOAD = 100 PSF
- NO SNOW LOADING
- NO FLOOD LOADING
- WIND:

WIND SPEED = 110 MPH
RISK CATEGORY = II & III
EXPOSURE = C
K_{zt} = 1.0

WIND DESIGN PER ASCE 7-16 CHAPTER 29

5. SEISMIC:

RISK CATEGORY = II

I₀ = 1.0

S_S = 2.55

S₁ = 1.0

SITE CLASS = D DEFAULT

S_{DS} = 1.428

C_S = 1.14 (ASCE 7-16 EQUATION 15.4-2)

R = 1.25 (ASCE 7-16 TABLE 15.4-1)

6. ALLOWABLE SOIL BEARING = 1000 PSF

5. SEISMIC:

RISK CATEGORY = III

I₀ = 1.25

S_S = 1.43

S₁ = 1.0

SITE CLASS = D DEFAULT

S_{DS} = 1.14

C_S = 1.14 (ASCE 7-16 EQUATION 15.4-2)

R = 1.25 (ASCE 7-16 TABLE 15.4-1)

CODES: (TITLE 24 CODES)

2022 CALIFORNIA ADMINISTRATIVE CODE (CAC)....(PART 1, TITLE 24, CCR)

2022 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1 AND 2 (PART 2, TITLE 24, CCR) (2021 EDITION INTERNATIONAL BUILDING CODE WITH 2022 CALIFORNIA AMENDMENTS)

2022 CALIFORNIA FIRE CODE (CFC), (PART 9, TITLE 24, CCR) (2021 EDITION INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS)

2022 CALIFORNIA GREEN CODE (CGC), (PART 9, TITLE 24, CCR)

2022 CALIFORNIA REFERENCED CODE, (PART 12, TITLE 24, CCR)

2022 CODE SECTIONS FOR APPLICABLE STANDARDS
2022 CBC, CHAPTER 35

TABLE OF CONTENTS			
Sheet No.	Description	Dated	Revised
1	COVER SHEET	02 AUG 2023	
2	ACCESSIBLE RAMP ELEVATIONS & DETAILS	02 AUG 2023	
3	ACCESSIBLE RAMP DETAILS & NOTES	02 AUG 2023	
4	DETAILS & NOTES	02 AUG 2023	
5	ACCESSIBLE RAMP SWITCH BACK DETAILS	02 AUG 2023	
6	STAIRS - OPTIONAL	02 AUG 2023	
7	ACCESSIBLE RAMP OPTIONAL ALUMINUM DECK	02 AUG 2023	
8	ACCESSIBLE RAMP ELEVATIONS & PLAN VIEWS	02 AUG 2023	
ALTERNATE RAMPS/LANDINGS/STAIRS			
Sheet No.	Description	Dated	Revised
1A	COVER SHEET	02 AUG 2023	
2A	ACCESSIBLE RAMP ELEVATIONS & DETAILS	02 AUG 2023	
3A	ACCESSIBLE RAMP DETAILS & NOTES	02 AUG 2023	
4A	DETAILS & NOTES	02 AUG 2023	
5A	ACCESSIBLE RAMP SWITCH BACK DETAILS	02 AUG 2023	
6A	STAIRS - OPTIONAL	02 AUG 2023	
7A	ACCESSIBLE RAMP OPTIONAL ALUMINUM DECK	02 AUG 2023	
8A	ACCESSIBLE RAMP ELEVATIONS & PLAN VIEWS	02 AUG 2023	

DSA APPROVALS

COVER SHEET

SITE:

TMP SERVICES
2929 KANSAS AVE
RIVERSIDE, CA 92507
PHONE: (951) 213-3900
FAX: (951) 213 3997

STATE OF CALIFORNIA
PC

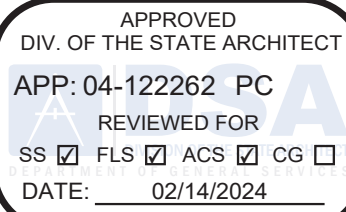
-2022 CBC

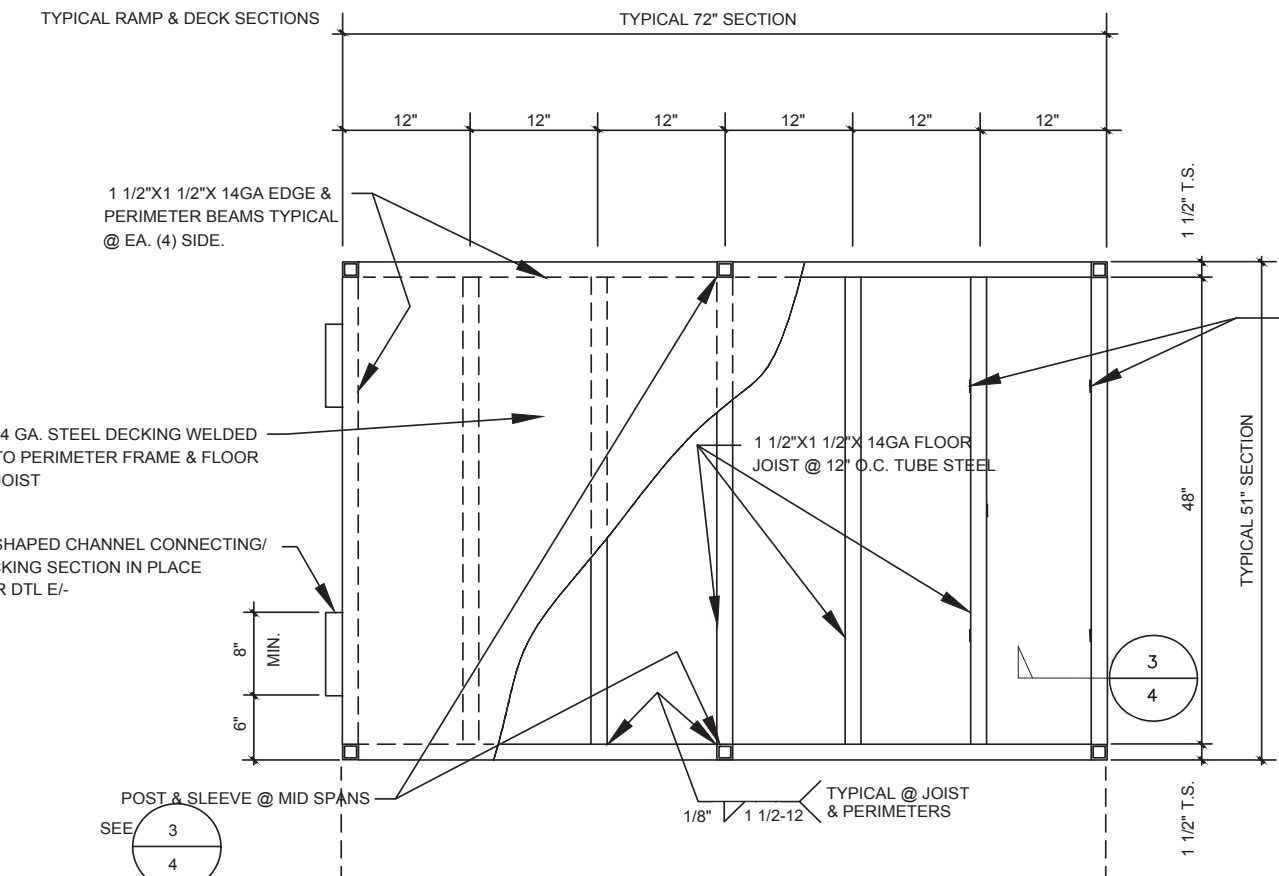
DRAWN
CHECKED
DATE 02 AUG 2023
SCALE
JOB NO.
1
1 OF 16 SHEETS

PRE-CHECK (PC) DOCUMENT
CODE: 2022 CBC
A SEPARATE PROJECT
APPLICATION FOR CONSTRUCTION
IS REQUIRED

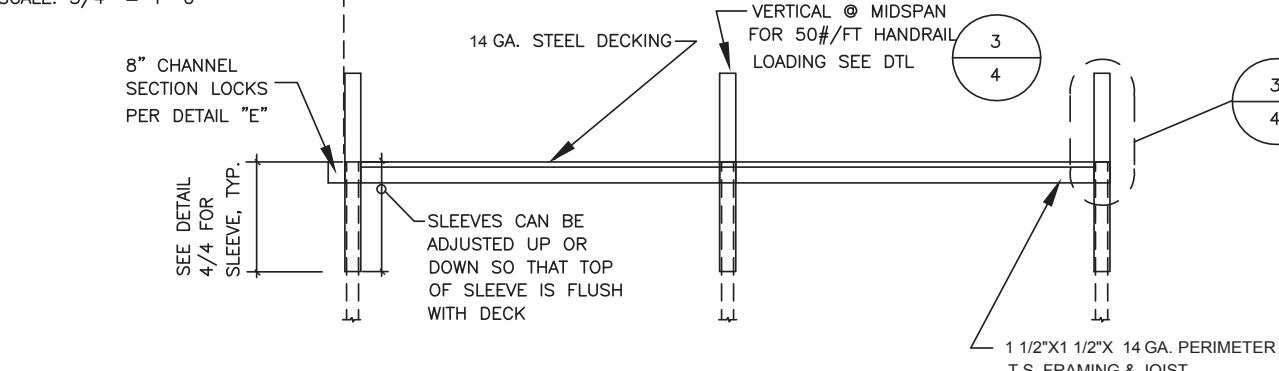


DATE SIGNED

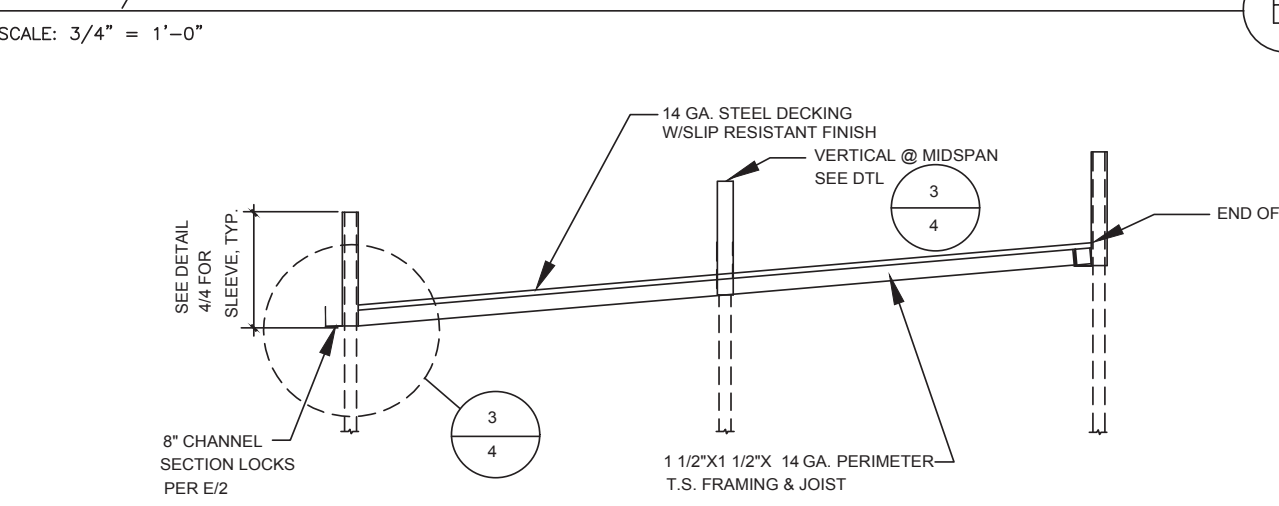




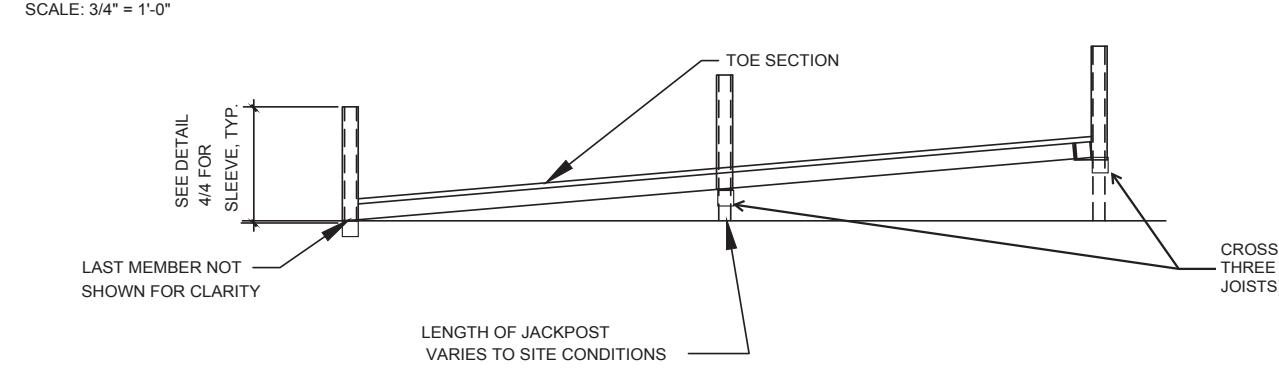
TYPICAL 6'-0" RAMP SECTION PLAN VIEW



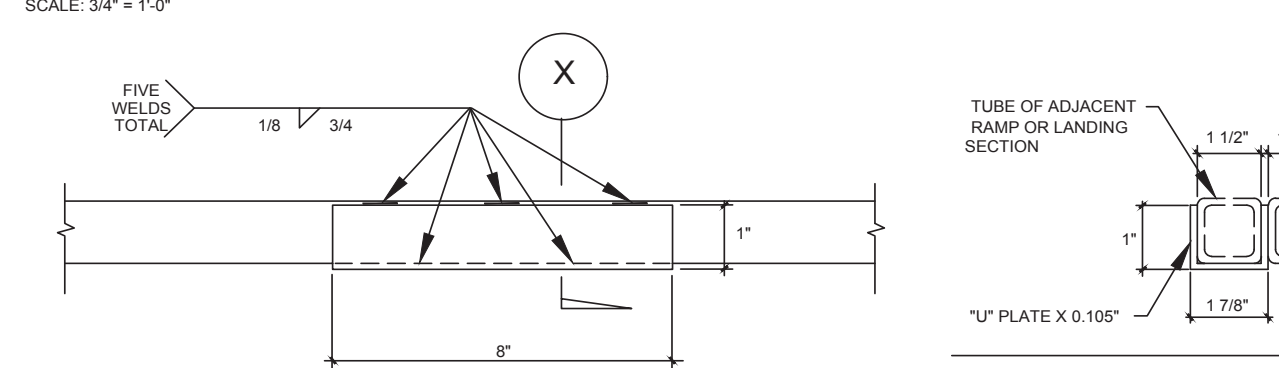
SIDE/END VIEW OF LEVEL DECK SECTION



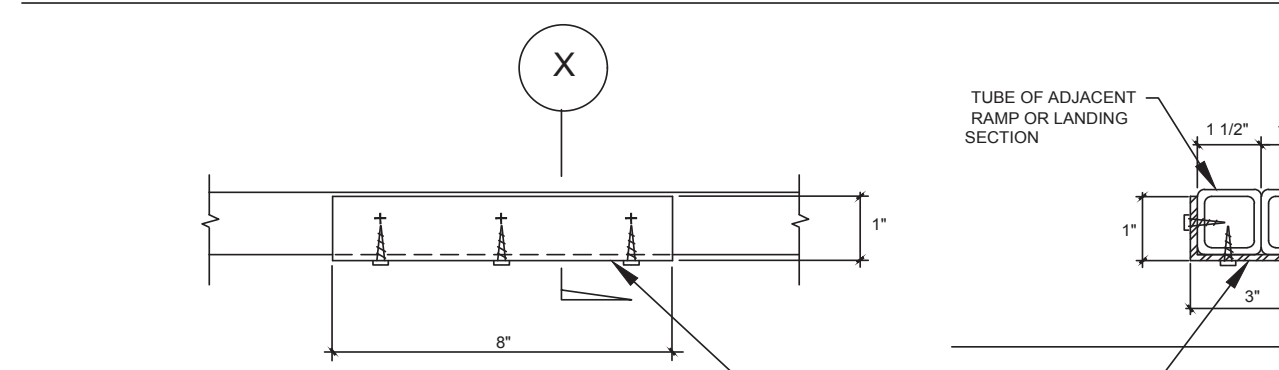
SIDE VIEW OF SLOPING RAMP SECTION TYPICAL



TOE SECTION

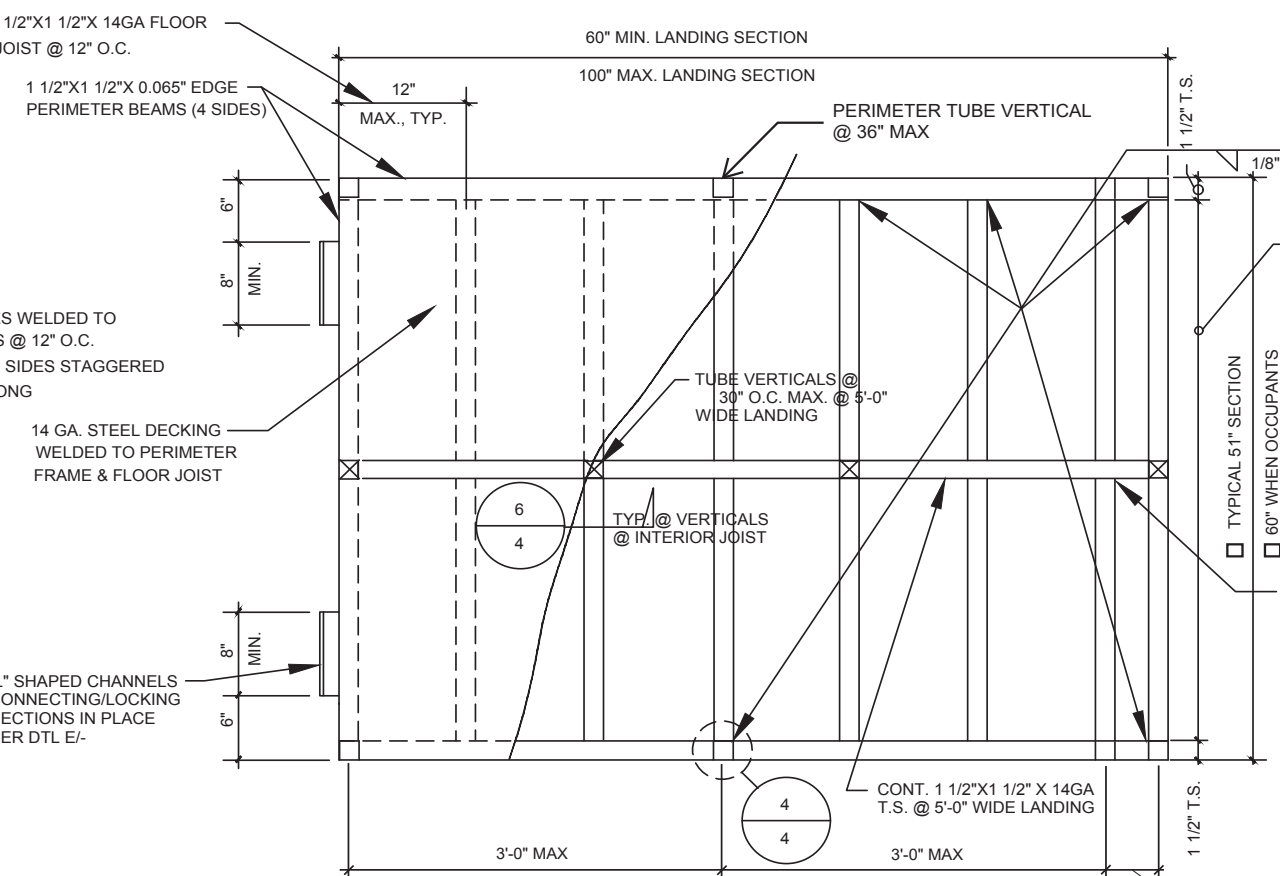


WELDED OPTION



SMS OPTION

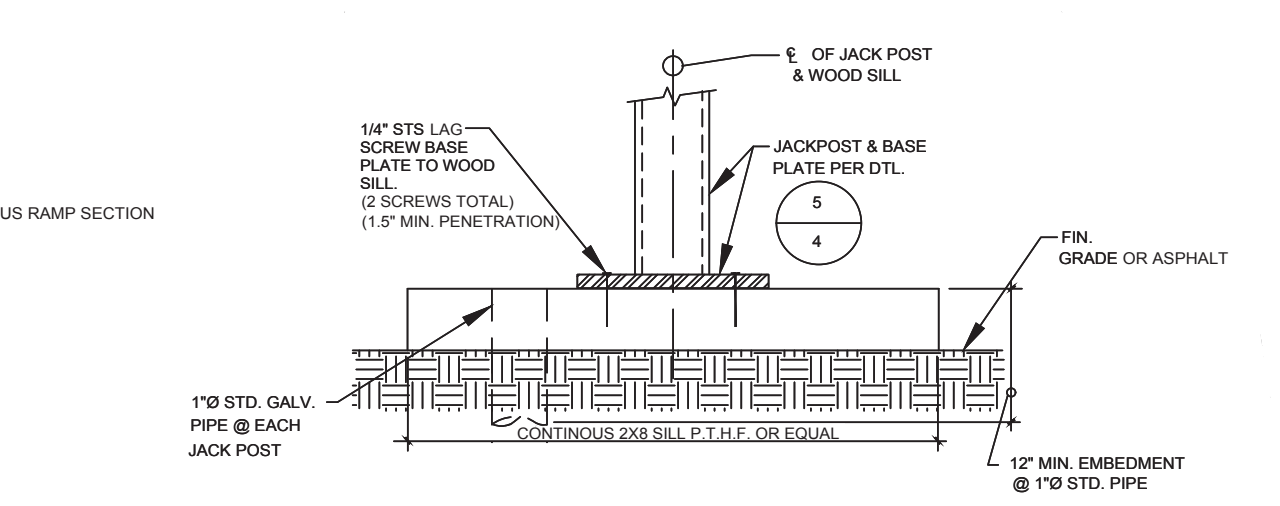
8" CHANNEL SECTION



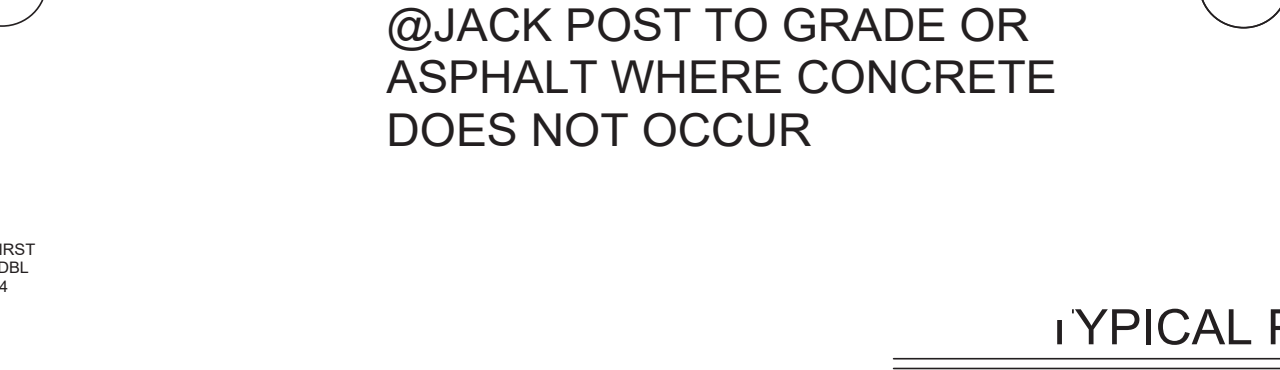
TYPICAL 7'-0" X 5'-0" LANDING



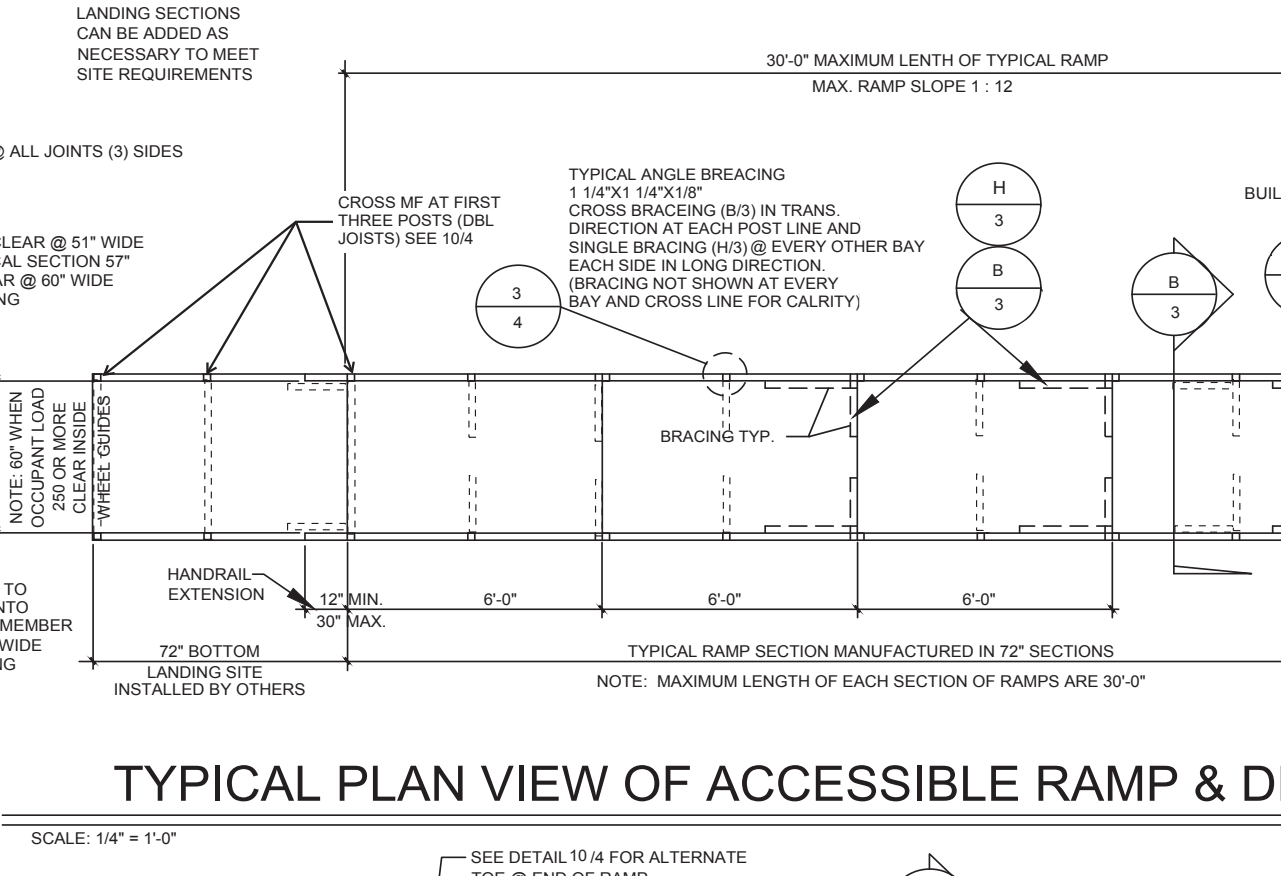
ALTERNATE WOOD SILLS



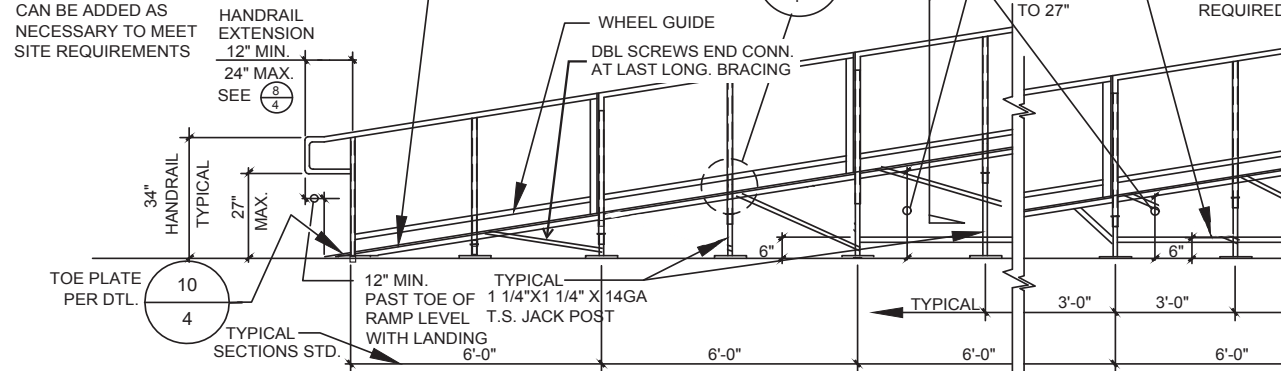
JACK POST TO PAVING



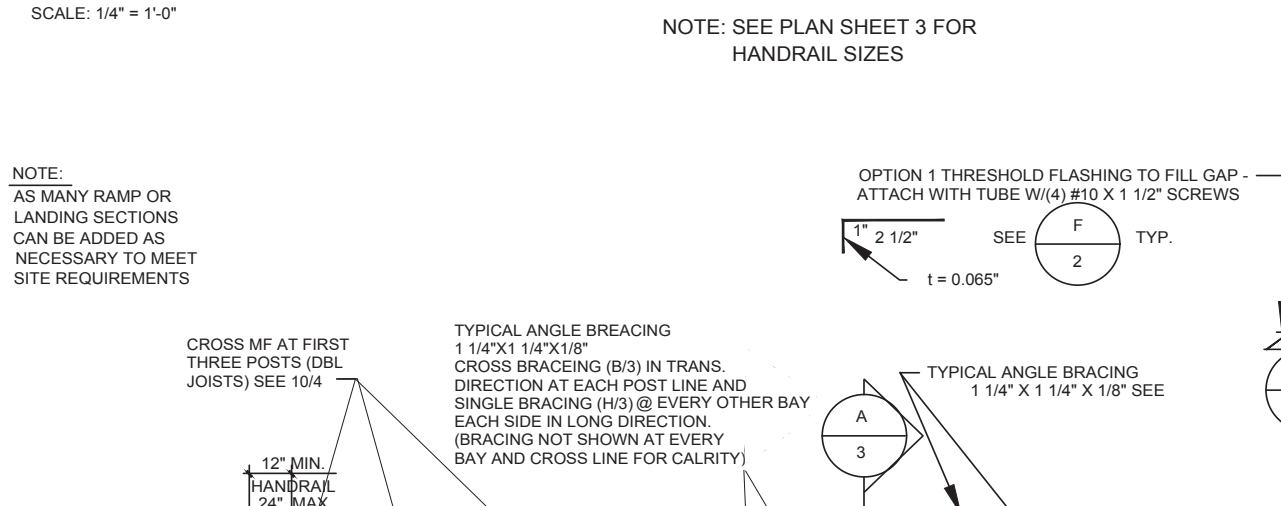
FILLER DETAIL



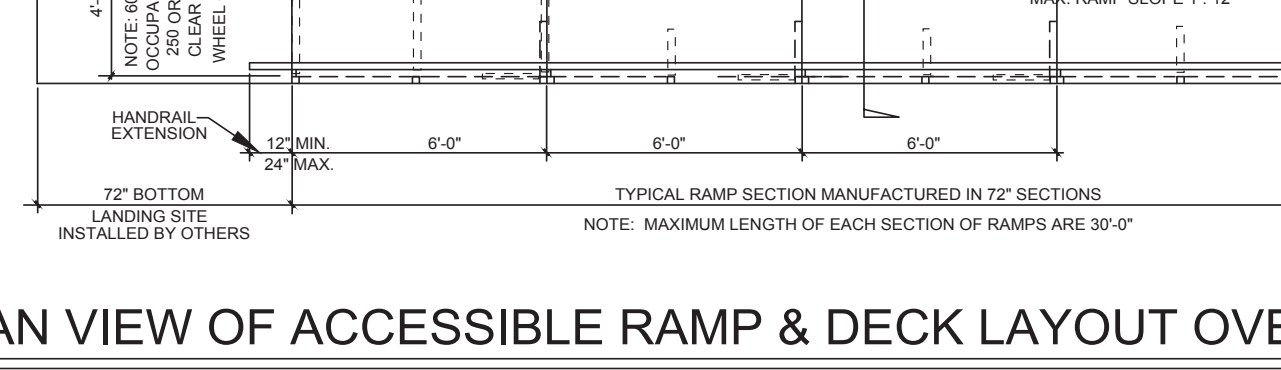
TYPICAL PLAN VIEW OF ACCESSIBLE RAMP & DECK LAYOUT



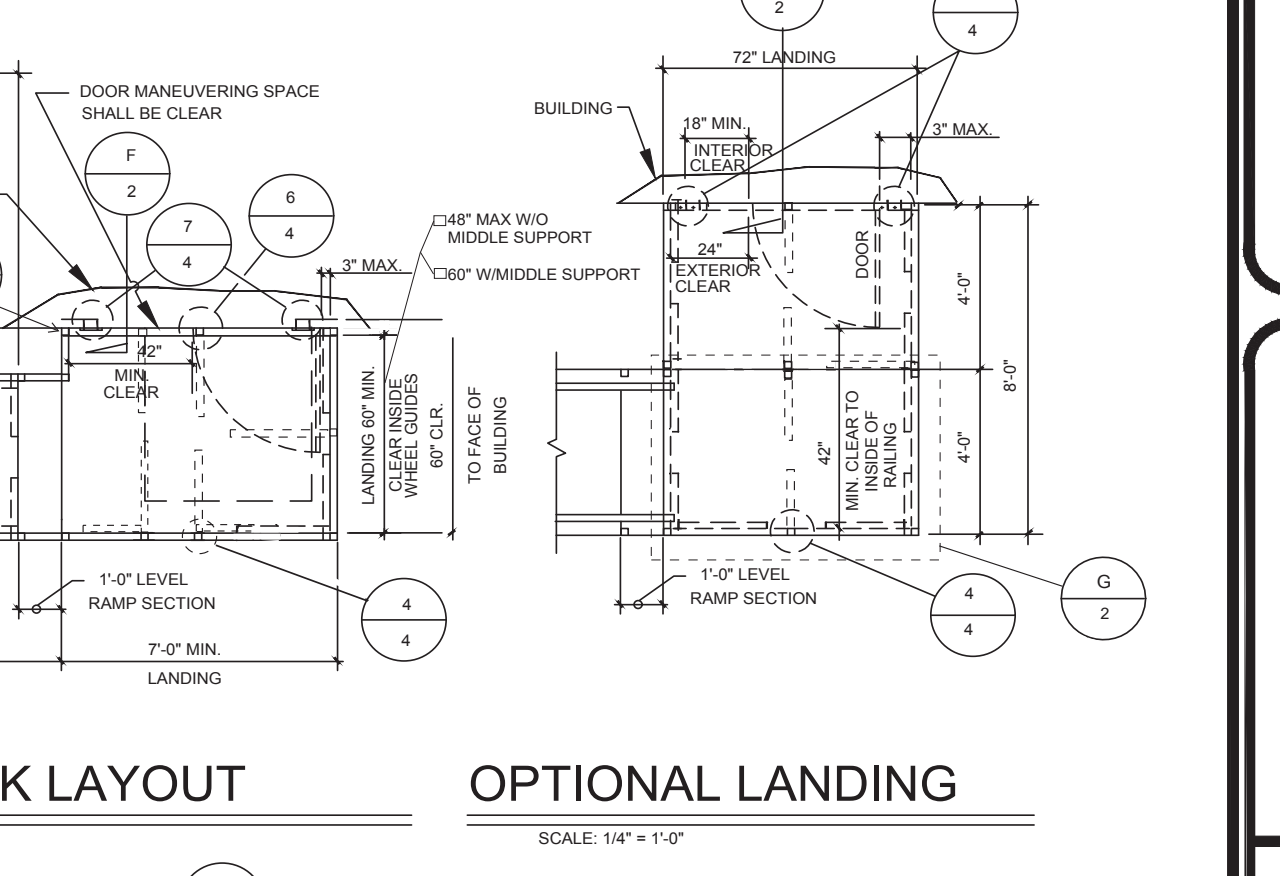
TYPICAL ELEVATION OF ACCESSIBLE RAMP & DECKING 30" OR LESS



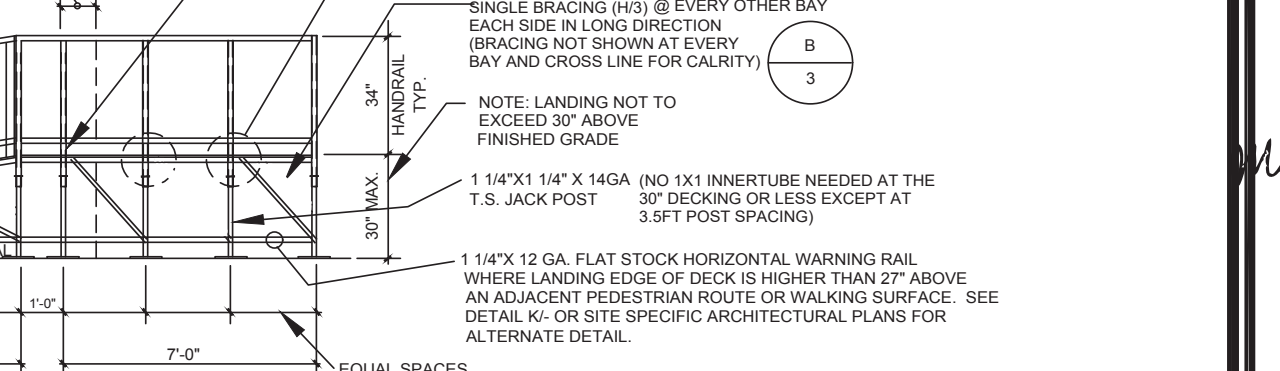
TYPICAL PLAN VIEW OF ACCESSIBLE RAMP & DECK LAYOUT OVER 30" DESIGN



TYPICAL ELEVATION OF ACCESSIBLE RAMP & DECKING OVER 30" DESIGN



OPTIONAL LANDING



TYPICAL PLAN VIEW OF ACCESSIBLE RAMP & DECK LAYOUT OVER 30" DESIGN



TYPICAL ELEVATION OF ACCESSIBLE RAMP & DECKING OVER 30" DESIGN

PRE-CHECK (PC) DOCUMENT
CODE 2022 CBC
A SEPARATE PROJECT
APPLICATION FOR CONSTRUCTION
IS REQUIRED

APPROVED PROFESSIONAL
DIV. OF THE STATE ARCHITECT
APP: 04-122262 PC
REVIEWED FOR
SS ☒ FLS ☒ ACS ☒ CG ☐
DATE: 02/14/2024

DATE SIGN...

ACCESSIBLE RAMP
ELEVATIONS & DETAILS

TMP SERVICES
2929 KANSAS AVE.
RIVERSIDE, CA 92507
PHONE: (951)213-3900
FAX: (951)213-3997

STATE OF CAL-2022 CBC
PC

SITE:

DRAWN
CHECKED
DATE
02 AUG 2023
SCALE
JOB NO.
2

2 OF 16 SHEETS

TMP DSA RAMP AND LANDING STEEL SHEET LAYOUT

STAVARES
DESIGN • CONSULTING • PROJECT MGMT
11500 W. BERNARD COURT, SUITE 103
SAN DIEGO, CA 92130
PHONE: (619) 444-3344
WWW.STAVARES.COM



THE GROVE ARCHITECTS & DESIGNERS, INC.

October 10, 2024

Plan Reviewer
City of St. Helena
1088 College Ave
St. Helena, CA 94574

Re: 1345 Charter Oak Ave – New Modular Office

Dear Reviewer:

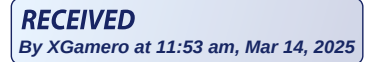
This letter is in response to your requirements for a written statement for demolition and new building permits.

The entire existing metal building structure is being removed down to the concrete slab in preparation for a new modular building that will sit in the same location. Refer to attached drawings for additional information on size of new structure and other improvements. It does not appear that this existing structure is on any historical registries.

- Existing metal building structure is 43'-3"x 62'-0"
- New modular building structure is 35'-8" x 60'-0"
- Exterior finishes painted grooved plywood siding w/ metal ramp and stairway
- New fire sprinkler riser
- New overhead power supply to central main panel
- Reusing existing domestic water, sewer, telephone and fires sprinkler supply line
- No changes to existing vegetation is required for this project since the new structure will be sitting on the existing slab.
- No grading other than saw cutting AC paving for fire sprinkler and power connections are required.
- No change to existing chain link fencing systems other than ADA upgrades for path of travel and reinstalling existing gates on the west side of the building being removed to install the new building.

If you need additional information or have additional comments that need addressing, please contact Chris Davis at (916) 685-8800 or email chris@thegroveaia.com.

The Grove, Architects and Designers
POB 995 Walnut Grove, CA 95690
(916) 685-8800 – Fax 685-8995



October 10, 2024
Page 2

Sincerely,



Christopher C. Davis
Principal

CD

The Grove, Architects and Designers
POB 995, Walnut Grove, CA 95690
(916) 685-8800 – Fax 685-8995

9-MAR-2026

Re: Design Review and Demolition Applications (File# DR25-001)

Dear City of St. Helena:

Please receive and consider the requests regarding the St. Helena Municipal Code standard:

Recessed Entry (SHMC 17.18.040(D)(1))

The proposed building exceeds fifty (50) feet in length along Charter Oak Avenue and is therefore subject to the recessed entry requirement of St. Helena Municipal Code 17.18.040(D)(1), which requires buildings exceeding fifty feet along a right-of-way to incorporate a recessed entry with a minimum depth of six (6) feet. The proposed modular structure does not include a recessed entry meeting the required depth. Incorporating a recessed entry would require substantial modification of the modular structural system and reconfiguration of accessible circulation and interior layout, resulting in disproportionate structural and design impacts.

Legacy Modular respectfully requests approval of a Minor Modification Permit to allow relief from the recessed entry and horizontal façade articulation objective standards. The request is justified for the following reasons:

- **Enhanced Site Appearance:** The new structure will significantly improve the overall appearance of the property and surrounding area by replacing older improvements with a modern, well-designed modular building.
- **Consistency with Design Intent:** Although a recessed entry is not proposed, the building incorporates architectural detailing, roof articulation, and façade treatments that provide visual interest and reduce perceived building mass along Charter Oak Avenue.
- **Functional and Accessibility Constraints:** Compliance with the recessed entry requirement would require substantial alteration of the modular building system and may negatively affect accessible circulation and functional building layout.
- **Minimal Visual Impact:** The absence of a recessed entry will not create a significant visual impact along the public street frontage, and the building will remain compatible with the surrounding development pattern.

For these reasons, the requested Minor Modification will not undermine the intent of the design standards and will allow development that improves the site while maintaining compatibility with the surrounding area.

Horizontal Articulation (SHMC 17.18.040(D)(2))

Façades visible from a public street are required by St. Helena Municipal Code 17.18.040(D)(2) to incorporate horizontal articulation elements such as eaves, overhangs, awnings, or differentiated base treatments to provide visual interest along the street frontage. The proposed building includes mild articulation in roof component. However, it does not display all the specific elements in the standard. Provided the building height and its blended industrial makeup, strict compliance with all horizontal articulation elements would require significant structural re-engineering of the modular system that would be disproportionate to the scale and nature of the project.

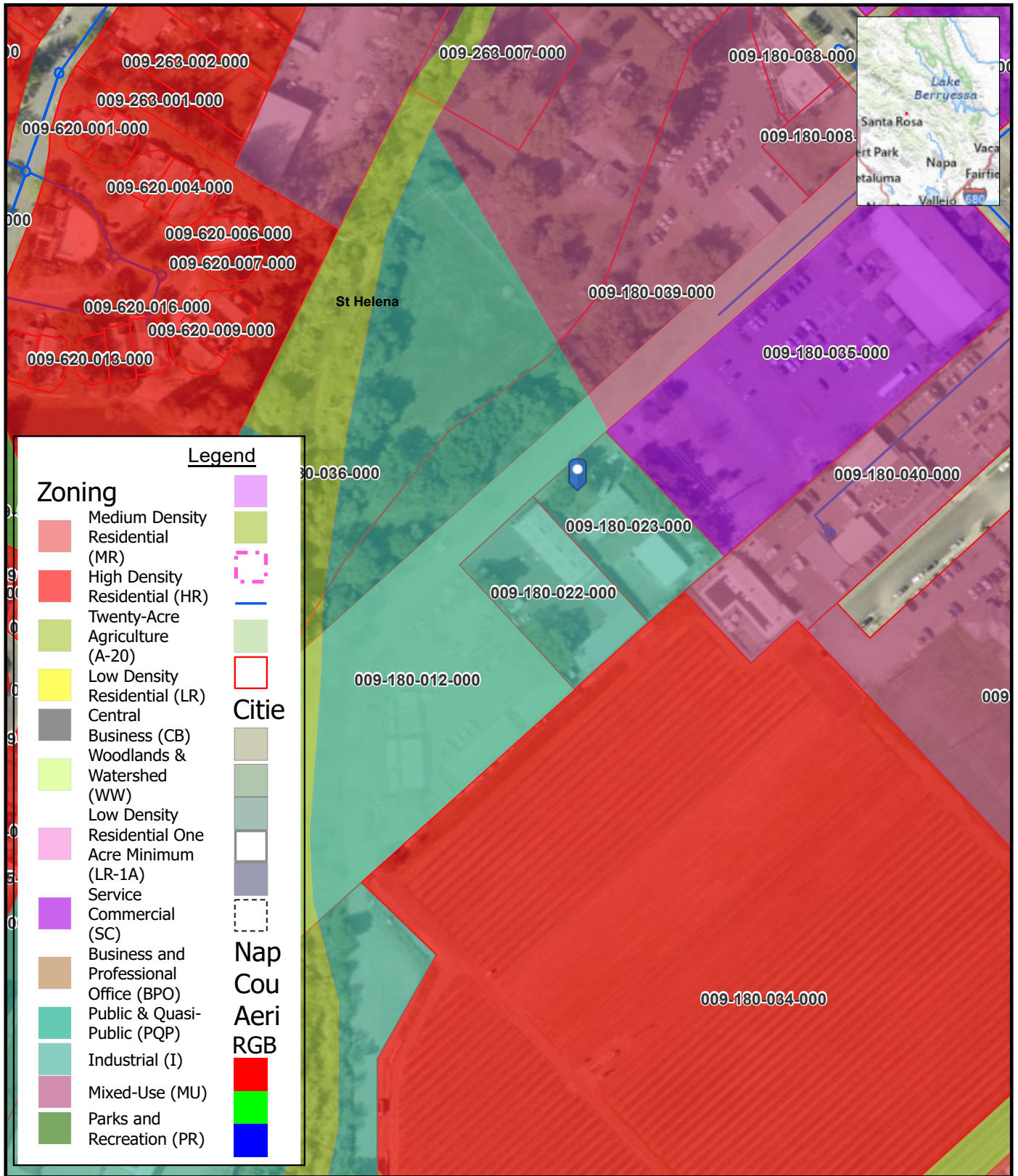
Legacy Modular respectfully requests approval of a Minor Modification Permit to allow relief from the horizontal articulation objective zoning standard. This request is supported by the following considerations:

- Consistency with Existing Development: The proposed building closely matches the form, scale, and placement of the existing structures on the site, maintaining the established development pattern within the property.
- Compatible Use and Function: The building's function remains consistent with the previous use and will not create adverse or incompatible impacts to the public or surrounding properties.
- Improved Site Appearance: The new structure will enhance the overall appearance of the property and contribute positively to the visual character of the surrounding area.

The requested Minor Modification does not carry the intent to subvert the design standard. Rather, will allow development that remains compatible with the surrounding area while improving the overall quality of the site.

Sincerely,

Shane McRee
Legacy Modular Buildings
707-862-4022



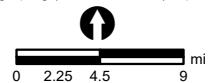
Sources: Esri, Vantor, Airbus DS, USGS, NOAA, NASA, CofA, N Robinson, NCEAS, NLS, US, NMA, Geodatastyrelsen, Rijkswaterstaat, USA, Geoland, FEMA, Intermap, and the GIS user community, USGS The National Map: National Boundaries Dataset, 30EP Elevation Program, Geographic Names Information System, National Hydrography



Produced by Napa County GIS

1345 CHARTER OAK VICINITY MAP

Printed On: 1/27/2026



Disclaimer: This map was prepared for informational purposes only. No liability is assumed for the accuracy of the data delineated hereon.