



AMENDED 01-08-2023
City of St. Helena
Regular City Council Meeting
Tuesday, January 10, 2023 @ 6:00 PM
~~Vintage Hall Board Room – Second Floor~~
~~465 Main Street, St. Helena~~

PLEASE NOTE: Any person who wishes to speak regarding an item on the agenda or make a comment under the "Oral Communication" portion of the agenda may do so, but please observe the time limit of four minutes.

***AMENDED AGENDA LANGUAGE 01-08-2023:**

This meeting will be conducted pursuant to the provisions of Government Code Section 54953 (as amended by AB 361) which authorizes teleconferenced meetings under the Brown Act during certain proclaimed States of Emergency. The Governor of California proclaimed a State of Emergency related to severe weather. This teleconferenced meeting is necessary so that the City can conduct essential business and is permitted under Government Code 54953 in order to protect public health and safety of attendees.

Consistent with Government Code Section 54953, this City Council Meeting will be held via teleconference only, and will not be physically open to the public. City Council members and staff will teleconference into the meeting by audio and/or video. The meeting will be conducted via Zoom Webinar.

The City Council meeting will be live-streamed on Comcast Channel 28 and on the City's website, barring technical difficulties. Those members of the public wishing to participate must do so remotely via Zoom electronic meetings in the following ways; by either logging onto the Zoom link located on the meeting agenda (please download the app to your computer or mobile device) and enter the meeting ID or by calling a listed number and enter the meeting ID. Public comment for City Council meetings will be accepted via email to publiccomment@cityofsthelena.org. All public comments must be emailed by 4:00 PM prior to the meeting. Emailed public comments will not be read out loud but will be publicly available and attached to the on-line City Council agenda.

Simultaneous Spanish interpretation services during meetings can be scheduled upon request. To ensure interpreters are available, requests must be made at least 72 hours in advance by calling the Office of the City Clerk at (707) 968-2640 or emailing cityclerk@cityofsthelena.org.

Servicios de interpretación en español durante la reunión pueden ser solicitados por el público. Para asegurar que los intérpretes estén disponibles, los servicios tienen que ser solicitados al menos 72 horas antes de la reunión llamando a la oficina de la Secretaria de la Ciudad al (707) 968-2640 o por correo electrónico a cityclerk@cityofsthelena.org.

El horario de las reuniones publicadas y próximas puede ser localizado en el sitio de web de la Ciudad en <https://sthelena.civicweb.net/portal/>.

The schedule of upcoming meetings and published meeting agendas can be found on the City of St. Helena website at <https://sthelena.civicweb.net/portal/>.

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/86789782358>

Or One tap mobile :

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1. CALL TO ORDER
2. ROLL CALL
Mayor: Paul Dohring, Vice Mayor Hall City Council Members: Anna Chouteau, Lester Hardy and Billy Summers
3. PLEDGE OF ALLEGIANCE
4. ADOPTION OF THE AGENDA
5. PUBLIC FORUM:
Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Forum. Each person's comments shall be limited to 4 minutes. Each person is entitled to speak on any non-agendized item only once at any meeting. Brief questions by Council Members for clarifications may be posed and answered, and Council Members may make requests that items be placed on future agendas, but in accordance with state law, no substantive discussion or action may take place unless and until the matter properly appears on the agenda.
6. REPORTS BY STAFF AND CITY COUNCIL, FUTURE AGENDA ITEMS, AND AB 1234 REPORTS:
Reports by staff and/or Council Members on items of general interest. Brief questions for clarification may be posed and answered, and Council Members may request that items be placed on a future agenda. Except under certain circumstances, the Brown Act prohibits any other discussion or action by the City Council.
7. PRESENTATIONS AND PUBLIC RECOGNITIONS

Oaths of office for Erika Opp, Administrative Analyst and Zachary Hasbany, Human Resources Analyst
8. STAFF BRIEFING

Review of FY 2023-24 Budget Calendar by Mandy Kellogg, Administrative Services Director
9. CONSENT ITEMS
Members of the Council or the public may ask that any items be considered individually for purposes of considering alternative action, for extended discussion, or for public comment. Unless that is done, one motion may be used to adopt all recommended actions. (Roll Call Vote)

- 9.1. Consideration of Resolution adding a portion of McCorkle Avenue to the City's List of Red Zones (parking prohibitions) and rescinding Resolution 2022-89 7 - 27
- CEQA Determination: Exempt
 Prepared By: Eric Janzen, Assistant Public Works Director
 Recommendation:
 Approve Resolution adding portion of McCorkle Avenue to the City's List of Red Zones (parking prohibitions) and rescinding Resolution 2022-89.
[Staff Report - Pdf](#)
- 9.2. Adoption of a resolution certifying the Measure T Maintenance of Effort (MOE) for Fiscal Year 2021-22 and a resolution certifying of 6.67% Equivalent Fund expenditures for Fiscal Years 2018-19 through 2021-22 under Measure T Program. 29 - 38
- CEQA Determination: Not a CEQA project
 Prepared By: Mandy Kellogg, Administrative Services Director
 Recommendation:
 Adopt the attached Resolution.
[Staff Report - Pdf](#)
- 9.3. Consideration and Approval of a Resolution Authorizing: (1) a Contract Change Orders for Reimbursable Expenses Totaling \$105,009.83 with Murray Building, Inc. for The Napa Valley College Tenant Improvement Project for a Total Not-To-Exceed Contract Amount of \$1,422,388.83; (2) a Budget Expense Increase of \$105,009.83 to 101-4000-2145; and (3) an Offsetting Budget Revenue Increase of \$105,009.83 to 101-3461-0000. 39 - 97
- CEQA Determination: Class I Categorical Exemption under Section 15301 of CEQA
 Prepared By: Preya Nixon, Asst. to the City Manager
 Recommendation:
 Adopted attached resolution.
[Staff Report - Pdf](#)
- 9.4. Approval of Project Plans for CIP R21-02, Authorization to Bid Pratt & Elmhurst Avenue Crosswalk Improvements on Main Street 99 - 108
- CEQA Determination: Class I Categorical Exemption under Section 15301 of CEQA
 Prepared By: Mario Traverso, Public Works Assistant Engineer
 Recommendation:
 Approval of Plans and Authorize to Bid
[Staff Report - Pdf](#)
- 9.5. Recommended approval of a Resolution authorizing an increase to the salary range for the Finance Manager to \$116,975 - \$142,184. 109 - 115
- CEQA Determination: Not a CEQA project

Prepared By: Mandy Kellogg, Administrative Services Director

Recommendation:

Staff recommends adoption of the attached resolution.

[Staff Report - Pdf](#)

- 9.6. Adopt a Resolution authorizing: (1) the City Manager to execute the Acceptance of Conditional Resolution and Waiver of Right to Hearing related to violations at the City of St. Helena Wastewater Treatment and Reclamation Plant; (2) a budget increase of \$147,000 to 571-50-29-2143; and (3) use of Wastewater Fund balance of \$147,000. 117 - 132

CEQA Determination: Not a CEQA project

Prepared By: Eric Janzen, Assistant Public Works Director

Recommendation:

Adopt the attached resolution.

[Staff Report - Pdf](#)

- 9.7. Consideration and Proposed Approval of (1) A Resolution Establishing an Electric Leaf Blower Rebate Program and (2) Authorizing a Budget Increase of \$25,000 to 101-5000-2150; and (3) Use of General Fund Balance of \$25,000 133 - 144

CEQA Determination: Not a CEQA project

Prepared By: Preya Nixon, Asst. to the City Manager

Recommendation:

Adopt attached Resolution.

[Staff Report - Pdf](#)

10. NEW BUSINESS

- 10.1. Consideration of an Ordinance of the City Council of the City of St. Helena adopting an Urgency Ordinance amending Section 17.116.030 of the St. Helena Municipal Code relating to accessory dwelling units and junior accessory dwelling units, and determining the Ordinance to be exempt from CEQA. 145 - 177

CEQA Determination: Exempt

Prepared By: Ethan Walsh, City Attorney

Recommendation:

Staff recommends that the City Council:

1. Adopt an Urgency Ordinance of the City Council of the City of St. Helena amending Section 17.116.030 of the St. Helena Municipal Code relating to accessory dwelling units and junior accessory dwelling units, and determining the Ordinance to be exempt from CEQA, by title only and waive further reading.

[Staff Report - Pdf](#)

- 10.2. Discussion and recommendation to the Napa County City Selection Committee as nominees to the: 179 - 184
1. Napa County Board of Supervisor Ryan Gregory or St. Helena City Council Member to represent the City of St. Helena on the MCE Clean Energy Board of Directors.

2. Interest to serve on the Metropolitan Transportation Commission (MTC)

CEQA Determination: Not a CEQA project

Prepared By: Cindy Tzaopoulos, City Clerk

Recommendation:

Identify name(s) of interested Council Member(s) to be considered by the Napa County City Selection Committee as nominees to the:

1. MCE Clean Energy Board of Directors
2. Metropolitan Transportation Commission (MTC)

[Staff Report - Pdf](#)

10.3. 2023 City Council Meeting Calendar

185 - 187

CEQA Determination: Not a CEQA project

Prepared By: Cindy Tzaopoulos, City Clerk

Recommendation:

Review the 2023 calendar and provide direction on Council meeting dates.

[Staff Report - Pdf](#)

10.4. 2023 City Council assignments to various City and Napa County Committees, Boards, and Commissions

189 - 194

CEQA Determination: Not a CEQA project

Prepared By: Cindy Tzaopoulos, City Clerk

Recommendation:

Attachment 1 provides a list of current intergovernmental appointments and vacancies (vacancies are highlighted in yellow). Attachment 2 provides a list of Ad Hoc appointments (vacancies are highlighted in yellow). Staff recommends City Council review and provide affirmation or recommended changes to appointments.

[Staff Report - Pdf](#)

11. ADJOURNMENT

The next Regular City Council meeting is scheduled for January 24, 2023, at 6:00 p.m.

This agenda was posted at City Hall, 1572 Railroad Avenue, and at Vintage Hall, 465 Main Street, St. Helena, California on January 6, 2023. Republished and available on the City's website on 01-08-2023.



Cindy Tzaopoulos, City Clerk

In Compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please call the City Clerk's Office (707) 967-2792. Notification 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

CHALLENGING DECISIONS OF CITY ENTITIES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City of St. Helena is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision, including without limitation Government Code section 65009 applicable to many land use and zoning decisions, Government Code section 66499.37 applicable to the Subdivision Map Act, and Public Resources Code section 21167 applicable to the California Environmental Quality Act (CEQA). Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. Government Code section 65009 and 66499.37, and Public Resources Code section 21167, impose shorter limitations periods and requirements, including timely service in addition to filing.

If a person wishes to challenge the above actions in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of St. Helena, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the City Council regarding any item on this Agenda, after the posting of the Agenda, will be available for public review in the City Clerk's Office located at 1572 Railroad Avenue, St. Helena, California, during normal business hours and by appointment. In addition, such writings or documents will be made available on the City's web site at <https://sthelena.civicweb.net> and will be available for public review at the respective meeting.



Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: CONSENT ITEMS

Subject: Consideration of Resolution adding a portion of McCorkle Avenue to the City's List of Red Zones (parking prohibitions) and rescinding Resolution 2022-89

**CEQA Exempt
Determination:**

Prepared By: Eric Janzen, Assistant Public Works Director

Reviewed By: Joseph Leach, Public Works Director and City Engineer

Approved By: Anil Comelo, City Manager

BACKGROUND

City Staff received correspondence from a representative of Our Town St. Helena (OTSH) which reported that street parking on McCorkle Avenue was encroaching on the driveway entrance to the Brenkle Court development. The location of parked vehicles were preventing the trash truck from entering and servicing the development. City Staff reviewed the correspondence and the area referenced and presents the following discussion.

DISCUSSION

OTSH provided, in their correspondence, a recommendation that red curb be painted to provide an additional five-feet of clearance on the southwest side of the driveway. There is an existing fire hydrant on the northeast side of the driveway, which already provides a parking restriction on the northeast side of the driveway.

McCorkle Avenue is a narrow residential street with a 25MPH speed limit. Street parking is permitted on both sides of the street. Large vehicles, like garbage trucks, must make wide-radius turns in order to enter the Brenkle Court property.

Public Works staff conferred with Police and Fire department staff. Police department staff did not have an objection to the request for additional red curb. Fire department staff

also did not object to the request but did question the overall utility of the proposed parking restriction.

The Director of Public Works and Public Works (PW) staff reviewed the request and verified the parking encroachment and limited turning radius. Staff also determined that, due to nearby adjoining driveways, restriction of five feet of parking would have the same result as the elimination of one full street parking spot (about 20'). PW staff are recommending that the parking restriction be granted and that it extend one full parking spot (about 20'). The extension can be seen on Attachment 2.

FISCAL IMPACT

Work could be completed by Public Works Staff during normal business hours and using readily available paint. Cost to complete work is <\$1,000 for labor and materials.

RECOMMENDED ACTION

Approve Resolution adding portion of McCorkle Avenue to the City's List of Red Zones (parking prohibitions) and rescinding Resolution 2022-89.

ATTACHMENTS

[Attachment 1 - Resolution Adding Red Zone and Rescinding Resolution 2022-89.](#)

[Attachment 2 - McCorkle Parking](#)

CITY OF ST. HELENA

RESOLUTION NO. 2023-XX

Resolution rescinding Resolution 2022-89 and adding portion of McCorkle Avenue to the City's List of Red Zones (parking prohibitions)

RECITALS

The Police Chief, Fire Chief and the Public Works Director have identified certain locations for which no parking is recommended in addition to those already in existence. New locations are identified with an underline in the following resolution. Locations not marked by an underline are locations already designated as no parking zones.

RESOLUTION

1. No parking zones or No stopping zones established within Resolution No. 2022-89 are hereby rescinded except to the extent that they are re-established below in this resolution.

2. For purposes of this resolution:

"Curb" means the concrete curbing installed along the side of the street or roadway or, if there is none, the edge of the traveled portion of the street or roadway.

"Intersection" means the point established by extending curb lines of the designated streets without regard for an arced curb installed to provide a turning radius between roadways.

3. Pursuant to Sections 10.10 and 10.11.1 of the City Code the following locations are designated as no parking or no stopping zones within which parking of vehicles on City streets is prohibited.
4. The new restrictions would not go into effect until the proposed paving and striping improvements for Grayson Avenue and South Crane Avenue are constructed.

A) ADAMS STREET

1. Commencing at the northeast intersection of Adams and Kearney Streets thence 25 feet easterly along the north side of Adams Street.
2. Commencing at the southeast intersection of Adams and Kearney Streets thence 72 feet westerly along the south side of Adams Street.

3. Commencing at the southeast intersection of Adams Street and Money Way thence 30 feet easterly along the south side of Adams Street.
4. Commencing at the southeast intersection of Adams Street and Napa Valley Wine Train Tracks thence easterly 30 feet along the south side of Adams Street.
5. Commencing at the southeast intersection of Adams Street and Main Street 42 feet easterly to the point of beginning, thence 20 feet easterly along the south side of Adams Street.
6. Commencing on the south side of Adams Street 138 feet easterly from Main Street thence 20 feet easterly along the south side of Adams Street.
7. Commencing at the northwest intersection of Adams Street and Railroad Avenue thence westerly 28 feet along the north side of Adams Street.
8. Commencing at a point 65 feet east of Main Street thence easterly 20 feet along the north side of Adams Street.
9. Commencing at the northeast intersection of Adams Street and Oak Avenue thence easterly 20 feet on the north side of Adams Street.
10. Commencing at the southeast intersection of Adams Street and Oak Avenue thence easterly 30 feet along the south side of Adams Street.
11. Commencing at the northeast intersection of Adams Street and Oak Avenue thence easterly 25 feet along the north side of Adams Street.
12. Commencing at the southwest intersection of Adams Street and Main Street thence westerly 31 feet along the south side of Adams Street.
13. Commencing at the westerly edge of the westerly driveway of 899 Adams Street thence westerly 30 feet along the south side of Adams Street.
14. Commencing at the easterly edge of the most easterly driveway of the 1010 Adams Street Bank Building and Pharmacy, thence easterly thirty (30) feet along the south side of Adams.

B) ALEXANDER COURT

1. Commencing at the southerly intersection of Alexander Court and Main Street thence westerly along the north side of Alexander Court 160 feet, thence northerly along a curve to the right 160 feet, thence easterly along the southerly side 160 feet to the northerly intersection of Alexander Court and Main Street.

C) CHARTER OAK

1. Commencing at the northeast intersection of Charter Oak and Wine Train Railroad Tracks thence easterly 180 feet along the north side of Charter Oak.
2. Commencing at the southeast intersection of Charter Oak and Wine Train Railroad Tracks thence easterly 197 feet along the south side of Charter Oak.
3. Commencing at the east intersection of Allison Avenue and Charter Oak thence along both sides of Charter Oak Avenue to the easterly end of the street.

D) CHILES AVENUE

1. Beginning at a point lying 84 feet westerly of the northwest bridge abutment corner at Pope Street crossing Sulphur Creek; thence northwesterly 58 feet along the east curb at Chiles Avenue and Pope Street.
2. Beginning at a point lying 154 feet westerly of the northwest bridge abutment corner at Pope Street crossing Sulphur Creek; thence northerly 84 feet along the west curb at Chiles Avenue and Pope Street.

E) CHURCH STREET

1. Commencing at the southeast intersection of Church Street and Hunt Avenue thence southerly along the east side of Church Street to the northeasterly intersection of Pope Street.
2. West side of Church Street five (5) feet north and five (5) feet south of the entrance and exit driveway of the parking lot of the business located at 1120 Pope Street.

F) COLLEGE AVENUE

1. Commencing at the southeast intersection of College Avenue and Pope Street thence southerly 360 feet along the east side of College Avenue.
2. Commencing at the southwest intersection of College Avenue and Pope Street thence southerly 360 feet along the west side of College Avenue.

G) DOWDELL LANE

1. Commencing at the east right-of-way of the Wine Train crossing at Dowdell Lane thence easterly 180 feet along the north and south side of Dowdell Lane.

2. Commencing at the driveway to 899 Dowdell Lane thence 12 feet in both the easterly and westerly direction from the edge of said driveway a distance of 12 feet along the northerly side of Dowdell Lane.
3. DOWDELL AND MCCORMICK
 - a. Commencing at the southeast intersection of McCormick Street and Dowdell Lane thence 25 feet northwesterly along the east side of McCormick Street.
 - b. Commencing at the southeast intersection of McCormick Street and Dowdell Lane thence 28 feet northeasterly along the south side of Dowdell Lane.

H) **EDWARDS STREET**

1. Commencing at the southeast corner of Edwards Street and Hunt Avenue thence southerly 20 feet along the east side of Edwards Street.
2. Commencing at the southwest corner of Edwards Street and Hunt Avenue thence southerly 20 feet along the west side of Edwards Street.

I) **EL BONITA AVENUE**

1. Commencing at a point 35 feet west of Community Drive thence westerly 60 feet along the north side of El Bonita Avenue.
2. Commencing at the intersection of El Bonita Avenue and Community Drive thence easterly 80 feet along the south side of El Bonita Avenue.

J) **ELMHURST AVENUE**

1. Commencing at the northeast intersection of Elmhurst Avenue and Granger Way thence easterly 30 feet along the north side of Elmhurst Avenue.
2. Commencing at the southeast intersection of Elmhurst Avenue and Spring Mountain Road thence easterly 75 feet along the south side of Elmhurst Avenue.
3. Commencing at the intersection of Elmhurst Avenue and Main Street thence westerly 30 feet along Elmhurst Avenue and thence northerly 60 feet along Main Street.

K) FULTON LANE

1. Commencing at the northeast and southeast intersection of Fulton and Main Streets thence easterly 90 feet along the north and south sides of Fulton Lane.
2. Commencing at the easterly intersection of Fulton Lane and Railroad Avenue thence easterly 120 feet along both the north and south sides of Fulton Lane.

L) GRAYSON AVENUE

1. South side of Grayson Avenue from the southwest intersection of Main Street and Grayson Avenue westerly for a distance of 100 feet.
2. North side of Grayson beginning at a point 665 feet westerly of the westerly line of Main Street then west along the north side of Grayson for a distance of 1,165.6 feet between the hours of 7:30 a.m. and 3:00 p.m., Mon. - Fri.
3. Commencing at the northeast intersection of Grayson Avenue and Crane Avenue thence easterly 50 feet along the north side of Grayson Avenue. This is a 24-hour "No Stopping zone."
4. Commencing at a point 50 feet north of the northeast intersection of Grayson Avenue and Crane Avenue thence 700 feet along the north side of Grayson Avenue. This is a "No Stopping" zone during the hours of 7:30 a.m. – 3:00 p.m. on school days.
5. Commencing at the intersection of the easterly driveway of the Primary School Parking Lot and Grayson Avenue thence westerly along the southerly curb line a distance of 25 feet.
6. Class II Bike lane only, which would require parking to be prohibited along the south side. Commencing at the southeast intersection of Grayson Avenue and South Crane Avenue thence 700 feet easterly along the south side of Grayson Avenue.

M) GROVE COURT

1. Commencing at the northeast intersection of Grove Court and Hunt Avenue thence northerly 205 feet along the east side of Grove Court.
2. Commencing 100 feet northerly of the northwest intersection of Grove Court and Hunt Avenue thence northerly 100 feet along the west side of Grove Court adjacent to the heritage oak tree.

N) HUNT AVENUE

1. Commencing at the northeast intersection of Hunt Avenue and Starr Avenue thence westerly 307 feet along the north side of Hunt Avenue.
2. Commencing at the southwest intersection of Hunt Avenue and Starr Avenue thence westerly 465 feet along south side of Hunt Avenue to 105 feet west of Monte Vista extended center line.
3. Commencing at a point 20' east of the southeast intersection of Hunt Avenue and Monte Vista thence easterly 44' along the south side of Hunt Avenue.
4. Commencing at the southeast corner of Hunt Avenue and Edwards Street thence easterly 40 feet along the south side of Hunt Avenue.
5. Commencing at the southwest corner of Hunt Avenue and Edwards Street thence westerly 30 feet along the south side of Hunt Avenue.
6. Commencing on the north side of Hunt Avenue fifteen (15) feet west and fifteen (15) feet east of the most eastern entrance and exit driveway of the Safeway parking lot. This is a 24-hour "No Stopping Zone".
7. Commencing at a point forty (40) feet east of the most eastern entrance and exit driveway of the Safeway parking lot, thence thirty (30) feet along the north side of Hunt Avenue.

O) **JUNE LANE**

1. Commencing at a point lying 184 feet north of the intersection of Chiles and June Lane; thence along the east curb to the right a distance of 30 feet to the south curb of Hunt Avenue.
2. Commencing at a point lying 184 feet north of the intersection of Chiles Avenue and June Lane; thence along the west curb to the left a distance of 30 feet to the south curb of Hunt Avenue.

P) **KEARNEY STREET**

1. Commencing at the northeast intersection of Kearney Street and Spring Street thence northerly along the east side of Kearney Street to Tainter Street.
2. Commencing 143 feet north of the northeast corner of Adams Street and Kearney Street thence northerly a distance of 51 feet along the east side of Kearney Street.
3. Commencing 399 feet north of the northeast corner of Adams Street and Kearney Street thence northerly a distance of 33 feet along the east side of Kearney Street.

Q) LA FATA STREET

1. Commencing 215 feet southerly from the southeast corner of La Fata Street and Dowdell Lane thence 60 feet southerly along the easterly curb of La Fata Street.
2. Commencing 398 feet southerly from the southeast corner of La Fata Street and Dowdell Lane thence 40 feet southerly along the easterly curb of La Fata Street.
3. Commencing at the driveway to 899 Dowdell Lane located on La Fata Street thence 12 feet in both the northerly and southerly direction from the edge of said driveway a distance of 12 feet along the westerly side of La Fata Street.

R) LIBRARY LANE

1. Commencing at the north side of the white painted load zone at the St. Helena Library at 1480 Library Lane, then twenty-one (21) feet along the east side of Library Lane.

S) MADRONA AVENUE

1. Commencing at the intersection of Madrona and Oak Avenues thence easterly and westerly along the north and south sides of Madrona Avenue 20 feet from each intersection.
2. Commencing at the northwest and southwest intersections of Madrona Avenue and Main Street thence westerly 90 feet along the north and south side of Madrona Avenue.

T) MAIN STREET

1. Commencing at the intersection of Main Street and Madrona Avenue thence southerly 155 feet along both sides of Main Street.
2. Commencing at the intersection of Main Street and Madrona Avenue thence northerly 155 feet along both sides.
3. Commencing at the southwest intersection of Main Street and Sulphur Springs Avenue thence 310 feet southerly along the west side of Main Street.
4. Commencing at Main Street and the Sulphur Creek bridge thence southerly to Sulphur Springs Avenue along both sides of Main Street and northerly 175 feet to Mitchell Avenue along the west side of Main Street.
5. Commencing at the northwest intersection of Main Street and Mitchell Drive thence northerly 20 feet.

6. Commencing at the intersection of Main Street and Spring Street thence 25 feet southerly along the west side.
7. Commencing at the southeast intersection of Main Street and Adams Street thence southerly 50 feet along the east side.
8. Commencing at the southeast intersection of Main Street and Adams Street 120 feet southerly to the point of beginning thence southerly 37 feet along the east side.
9. Commencing at the intersection of Main Street and Hunt Avenue thence northerly and southerly 30 feet along the east side.
10. Commencing at the intersection of Main Street and Spring Street 145 feet northerly to a point of beginning thence northerly 22 feet along the east side.
11. Commencing at the Main Street crosswalk at the south line of Spring Street thence southerly 24 feet along the east side of Main Street.
12. Commencing at the northwest intersection of Main Street and Adams Street thence northerly 35 feet along the west side.
13. Commencing at the southwest intersection of Main Street and Adams Street thence southerly 40 feet along the west side.
14. Commencing at the northwest intersection of Main Street and Spring Street 540 feet northerly to a point of beginning thence northerly 30 feet along the west side.
15. Commencing at the northwest intersection of Main Street and Spring Street 230 feet northerly to a point of beginning thence northerly 90 feet along the west side.
16. Commencing at the northwest intersection of Main Street and Spring Street thence northerly 40 feet along the west side.
17. Commencing at the northwest intersection of Main Street and Elmhurst 400 feet to a point of beginning thence northerly 330 feet along the west side of Main Street.
18. Commencing at the southeast intersection of Main Street and Pope Street thence southerly 170 feet along the east side of Main Street.
19. Commencing at the southeast intersection of Main Street and Pine Street thence south a distance of 28 feet along the east side of Main Street.

20. Commencing at the southwest intersection of Main Street and Pine Street thence south a distance of 28 feet along the west side of Main Street.
21. West side of Main Street from a point one hundred (100) feet south of Grayson Avenue southerly a distance of one thousand six hundred ninety (1,690) feet.
22. East side of Main Street from the south line of Grayson Avenue southerly a distance of one thousand five hundred eighty-five (1,585) feet.
23. East side of Main Street beginning at a point one thousand five hundred eighty-five (1,585) feet south of the south line of Grayson Avenue, southerly for a distance of two hundred eighteen (218) feet between the hours of 7:30 a.m. and 5:30 p.m.
24. East side of Main Street beginning at a point one thousand eight hundred three (1,803) feet south of the south line of Grayson Avenue, southerly for a distance of two hundred seventy-two (272) feet.
25. West side of Main Street from the northwest corner of Main Street and Grayson Avenue approximately 85 feet across the frontage of A&W Restaurant located at 501 Main Street.
26. Commencing at the southwest corner of Main Street and the York Creek Bridge thence south 360 feet along the west side of Main Street.
27. Commencing at the northeast corner of Pratt Avenue and Main Street thence north along the west side of Main Street to the York Creek Bridge
28. Commencing at a point 45 feet north of the northeast intersection of Main Street and Pope Street thence north 29 feet along the east side of Main Street.
29. Commencing at Deer Park Road south along both sides of Main Street to the York Creek Bridge.*

*The area in the Tunnel of Trees is a "No Stopping" zone on both sides of Main Street.
30. Commencing at a point 99 feet west of the northwest intersection of Main Street and Pine Street thence 22 feet west along the north side of Pine Street.
31. Commencing at the southwest corner of Main Street and Charter Oak extending westerly 50 feet on the south side of Charter Oak. This is a 24 Hour "No Parking" Zone.
32. Commencing at the intersection of Main Street and Elmhurst Avenue thence southerly 30 feet along the west side of Main Street.

33. Commencing at the intersection of Main Street and Elmhurst Avenue thence northerly 60 feet along the west side of Main Street.
34. Commencing at a point 25 feet south of the southeast intersection of Britton Way thence southerly 88 feet along the east side of Main Street. This is a "No Parking" zone and reserved for transit buses.

U) **McCORKLE AVENUE**

1. Commencing at the southwest side of driveway entrance to Brenkle Court (APN 009-502-021) and extending 20 feet southwest.

V) **McCORMICK AVENUE**

1. Commencing at the southwest intersection of McCormick Street and Dowdell Lane 170 feet southerly to a point of beginning thence southerly 15 feet along the west side of McCormick Street.
2. Commencing at the southwest intersection of McCormick Street and Dowdell Lane 310 feet southerly to a point of beginning thence southerly 30 feet along the west side of McCormick Street.
3. Commencing at the northwest intersection of McCormick and Vintage Streets 320 feet northerly to the point of beginning thence northerly 25 feet along the west side of McCormick Street.
4. Commencing at the southwest intersection of McCormick Street and Dowdell Lane 530 feet southerly to the point of beginning thence 20 feet southerly along the east side of McCormick Street.
5. Commencing at the southwest intersection of McCormick Street and Dowdell Lane 270 feet southerly to the point of beginning thence 50 feet southerly along the east side of McCormick Street.

W) **MITCHELL DRIVE**

1. Commencing at the southwesterly intersection of Mitchell Drive and St. James Drive thence westerly along the south side of Mitchell Drive to the southeast intersection of North Crane and Mitchell Drive and easterly 300 feet.
2. Commencing at the southwest intersection of Mitchell and Main Street thence 80 feet westerly along the south side of Mitchell Drive.
3. Commencing 230 feet west of the intersection of Main Street and Mitchell Drive thence 88 feet westerly along the south side of Mitchell Drive.
4. Commencing at the northwest intersection of Mitchell Drive and Oak Avenue thence 50 feet westerly along the northerly side of Mitchell Drive.

5. Commencing at the easterly corner of the most easterly intersection of Mitchell Drive and St. James Drive, thence ninety (90) feet along the south side of Mitchell Drive.

X) MONTE VISTA AVENUE

1. Commencing at the cul de sac northerly of Hunt Avenue thence around the perimeter of the 25 foot diameter island.

Y) OAK AVENUE

1. Commencing at the southwest intersection of Oak Avenue and Hillview Place thence southerly 65 feet.
2. Commencing at the northeast, northwest, and southwest intersections of Oak Avenue and Pine Street thence 20 feet northerly and southerly along the east and west sides of Oak Avenue.
3. Commencing at the southwest intersection of Oak Avenue and Pine Street thence 30 feet southerly along the west side of Oak Avenue.
4. Commencing at the northeast intersection of Oak Avenue and Adams Street thence northerly 18 feet.
5. Commencing at the southwest intersection of Oak Avenue and Tainter Street 55 feet southerly to a point of beginning thence southerly 20 feet on the west side of Oak Avenue.
6. Commencing at a point easterly of the southwest intersection of Oak Avenue and Tainter Street thence southerly 22 feet along the east side of Oak Avenue at the crosswalk.
7. Commencing at the northwest intersection of Oak Avenue and Spring Street thence northerly 20 feet along Oak Avenue.
8. Commencing at the point of curvature of the southeasterly curve on the east side of Oak Avenue thence southeasterly 160 feet to the point of tangency with the north side of Mitchell Drive.
9. Beginning at a point 339 feet north of Spring Street extending northerly to a point 419 feet on the east side of Oak Avenue.
10. Beginning at the northwest corner of Oak Avenue and Tainter Street thence extending northerly 35 feet on Oak Avenue.
11. Twenty (20) feet southerly from the driveway at 1255 Oak Avenue.

Z) PINE STREET

1. Commencing at the northwest intersection of Pine Street and Main Street thence along the north side of Pine Street to Oak Avenue excepting a 25 foot yellow zone terminating 180 feet from the northeast intersection of Pine Street and Oak Avenue.
2. Commencing at the northwest and southwest intersections of Pine Street and Oak Avenue thence westerly 20 feet.
3. Commencing at the southeast intersection of Pine Street and Oak Avenue thence easterly 20 feet.
4. Commencing at the southwest intersection of Pine Street and Main Street thence westerly ~~40~~ 20 feet.
5. Commencing at the southeast intersection of Pine Street and Main Street thence easterly 115 feet.
6. Commencing at the northeast intersection of Pine Street and Main Street easterly 140 feet.

AA) PINOT WAY

1. Commencing at the centerline of the utility and pedestrian access alley that connects Pinot Way to Sylvaner Avenue thence southwesterly 10 feet and northeasterly 10 feet creating a 20 foot long segment centered on the end of the alley.

AB) POPE STREET

1. Commencing at the southeast and northeast intersections of Pope Street and Main Street thence east 80 feet to the Wine Train railroad right-of-way.
2. Commencing at the east terminus of Pope Street at the Napa River thence westerly along Stonebridge Park 345 feet on the north side of Pope Street.
3. Commencing at the northeast corner of Paseo Grand Drive and Pope Street then easterly 154 feet on the north side of Pope Street.
4. Commencing at the east terminus of Pope Street at the Napa River thence westerly 400 feet along the south side of Pope Street.
5. Commencing at the southeast intersection of Pope Street and College Avenue thence 340 feet easterly along the south side of Pope Street.
6. Commencing at the southwest intersection of Pope Street and College Avenue thence 680 feet westerly along the south side of Pope Street.

7. Commencing at the intersection of Pope Street and College Avenue thence easterly 680 feet on the north side of Pope Street.
8. Commencing at the northeast intersection of Pope Street and Church Street thence easterly 35 feet along the north side of Pope Street.
9. Commencing at the southeast intersection of Pope Street and the Napa Valley Wine Train Tracks thence easterly 25 feet along the south side of Pope Street.
10. Commencing at the northeast intersection of Pope Street and the Napa Valley Wine Train Tracks thence easterly 145' to the intersection of Pope Street and Church Street.
11. Commencing at the Northeast intersection of Pope Street and Chiles Ave thence easterly 950 feet along the north and south sides of Pope Street.
12. Commencing at the northwest intersection of Pope Street and Starr Avenue thence westerly 392 feet along the north side of Pope Street.

AC) PRATT AVENUE

1. Commencing at the southeastern intersection of Pratt Avenue and the Napa Valley Wine Train and thence easterly a distance of 570 feet along the south shoulder of Pratt Avenue.
2. Commencing at the northeastern intersection of Pratt Avenue and Main Street and thence easterly a distance of 300 feet along the north shoulder of Pratt Avenue.

AD) RAILROAD AVENUE

1. Commencing at the northwest intersection of Railroad Avenue and Adams Street thence 31 feet north along the west side of Railroad Avenue.
2. Commencing at a portion 400 feet north of the northeast corner of the intersection of Adams Street and Railroad Avenue thence north a distance of 50 feet along the east side of Railroad Avenue.
3. Commencing at the south exit of the City Parking lot on Railroad Avenue thence south a distance of 16 feet.
4. Commencing at the north side of the south exit of the City Parking lot on Railroad Avenue thence north a distance of 24 feet.
5. Commencing at the north exit of the City Parking lot on Railroad Avenue thence north a distance of 20 feet.

6. Commencing at the north exit of the City Parking lot on Railroad Avenue thence south a distance of 15 feet.
7. Commencing at the curb beginning at the Napa Valley Wine Train tracks at the northeast corner of the intersection of Adams Street and Railroad Avenue northward through the curb return and thence northerly a distance of 281 feet along the east side of Railroad Avenue.

AE) SILVERADO TRAIL

1. Commencing at the southeast intersection of Howell Mountain Road and Silverado Trail thence south 400 feet along the east side of Silverado Trail.

AF) SOUTH CRANE AVENUE

1. Commencing at the southeast intersection of South Crane Avenue and Grayson Avenue thence southerly 50 feet along the east side of South Crane Avenue. This is a 24-hour “No Stopping” zone.
2. Commencing at a point 433 feet south of the southeast intersection of South Crane Avenue and Grayson Avenue thence southerly 30 feet along the east side of South Crane Avenue. This is a “No Stopping” zone during the hours of 7:30 a.m. – 3:00 p.m. on school days.
3. Commencing at the northeast intersection of South Crane Avenue and Grayson Avenue thence northerly 50 feet along the east side of South Crane Avenue. This is a 24-hour “No Stopping” zone.
4. Commencing at a point 50 feet north of the northeast intersection of South Crane Avenue and Grayson Avenue thence northerly 450 feet along the east side of South Crane Avenue to the bridge. This is a “No Stopping” zone during the hours of 7:30 a.m. – 3:00 p.m. on school days.
5. Class II Bike lanes only, which would require parking to be prohibited along the east side. Commencing at the southeast intersection of Grayson Avenue and South Crane Avenue thence 800 feet southerly along the east side of South Crane Avenue.
6. Class II Bike Lanes only, which would require parking to be prohibited along the west side. Commencing at the southwest intersection of Grayson Avenue and South Crane Avenue thence 800 feet southerly along the west side of South Crane Avenue.

AG) SPRING STREET

1. Commencing at the northwest intersection of Spring Street and Main Street thence westerly 35 feet along the north side of Spring Street.

2. Commencing at the northwest intersection of Spring Street and Main Street westerly 120 feet to a point of beginning thence westerly 30 feet along the north side of Spring Street.
3. Commencing at the shopping center driveway at the intersection of Spring Street and Money Way thence 15 feet westerly and 65 feet easterly along the south side of Spring Street.
4. Commencing at the northeast and the southeast intersections of Spring Street and Oak Avenue thence 33 feet easterly along Spring Street.
5. Commencing at the northwest and southwest intersections of Spring Street and Oak Avenue thence 33 feet westerly along Spring Street.
6. Commencing at the southwest intersection of Spring Street and Oak Avenue westerly 70 feet to a point of beginning thence westerly 70 feet along the south
7. Commencing at the southwest intersection of Spring Street and Oak Avenue westerly 25 feet to a point of beginning thence westerly 50 feet along the south side.
8. Commencing at the intersection of Spring Street and Kearney Street thence easterly 60 feet along the south side.
9. Commencing at the northwest intersection of Spring Street and Kearney Street 70 feet westerly to a point of beginning thence 60 feet westerly along Spring Street.
10. Commencing at the northwest intersection of Spring Street and East Sylvaner 135 feet westerly to a point of beginning thence 70 feet westerly along Spring Street.
11. Twenty (20) feet on both sides of driveway at 2322 Spring Street.
12. Twenty (20) feet on west side of driveway and that strip on the easterly side to adjacent driveway at 1428 Spring Street.
13. Twenty (20) feet east from the west driveway and twenty (20) feet from both sides of the east driveway at 1343 Spring Street.
14. Ten (10) feet from both sides of the driveway to the parking lot east of the building at 1313 Spring Street.
15. Commencing on the southwest intersection of Spring Street and Valley View thence southwesterly along the south side of Spring Street to the southeast intersection of West Sylvaner Avenue.

16. Class II Bike lanes only, which would require parking to be prohibited along the south side. The vehicle travelway (centerlane) would not be striped.

AH) SPRING MOUNTAIN ROAD

1. Commencing at the southeast corner of Spring Mountain Road and Elmhurst Avenue thence 75 feet southerly along the east side of Spring Mountain Road.

AI) STARR AVENUE

1. Commencing at the northwest intersection of Starr Avenue and Harvest Lane thence 285 feet northerly along the west side of Starr Avenue.
2. Commencing at the northwest intersection of Harvest Lane and Starr Ave. northerly 45 feet to a point of beginning thence northerly 150 feet to the southeast corner of Meadowcreek Circle along the east side of Starr Avenue.
3. Commencing at the extended center line of Meadowcreek Circle (north) thence 22 feet south along the west side of Starr Avenue.
4. Commencing at the northeast intersection of Meadowcreek Circle (south) and Starr Avenue 83 feet northerly to a point of beginning thence northerly 32 feet to the south side of Hunt Avenue.

AJ) STOCKTON STREET

1. Commencing at the northwest intersection of Stockton Street and Spring Street thence northerly along the west side of Stockton Street to the Madrona Street and Stockton Street intersection.

AK) SULPHUR SPRINGS AVENUE

1. Commencing at the southwest intersection of Main Street and Sulphur Springs Avenue thence 50 feet westerly along the south side of Sulphur Springs Avenue.
2. Commencing at the northwest intersection of Main Street and Sulphur Springs westerly 253 feet to a point of beginning thence westerly 23 feet along the north side of Sulphur Springs Avenue.
3. Commencing at the northwest intersection of Main Street and Sulphur Springs westerly 289 feet to a point of beginning thence westerly 15 feet along the north side of Sulphur Springs Avenue.

AL) SYLVANER AVENUE

1. Commencing at the centerline of the utility and pedestrian access alley that connects Sylvaner Avenue to Pinot Way thence southwesterly 10 feet and northeasterly 10 feet creating a 20 foot long segment centered on the end of the alley.

AM) TAINTER STREET

1. Commencing at the intersection of Tainter Street and Kearney thence easterly along the south side of Tainter Street to the intersection of Oak Avenue and Tainter Street except Mon.-Fri. 7:30 a.m. - 9:00 a.m. and 2:00 p.m. - 4:00 p.m.
2. Commencing at the northwest intersection of Tainter Street and Kearney Street thence 80 feet easterly along the north side of Tainter Street.
3. South side of Tainter Street between Stockton Street and Kearney Street.

AN) VINTAGE AVENUE

1. Commencing at the northwest intersection of Vintage Avenue and McCormick Street westerly 228 feet to a point of beginning thence 12 feet west of said driveway 168 feet along the north side to the Napa Valley Wine Train right-of-way.
2. Commencing at the intersection of Vintage Avenue and McCormick Street westerly 250 feet to a point of beginning thence westerly 180 feet along the south side.

AO) VOORHEES CIRCLE

1. Commencing at the westerly intersection of Voorhees Circle and Mitchell Avenue south of Mitchell and west of Voorhees Circle thence southerly along the west side, easterly along the south side and northerly along the east side a distance of 1100 feet to the easterly intersection of Voorhees Circle and Mitchell Avenue.

Approved at a Regular Meeting of the St. Helena City Council on January 10, 2023 by the following vote:

Mayor Dohring:	_____
Vice Mayor Hall:	_____
Councilmember Hardy:	_____
Councilmember Chouteau:	_____
Councilmember Summers:	_____

APPROVED:

ATTEST:

Paul Dohring, Mayor

Cindy Tzaopoulos, City Clerk





Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: CONSENT ITEMS

Subject: Adoption of a resolution certifying the Measure T Maintenance of Effort (MOE) for Fiscal Year 2021-22 and a resolution certifying of 6.67% Equivalent Fund expenditures for Fiscal Years 2018-19 through 2021-22 under Measure T Program.

CEQA Determination: Not a CEQA project

Prepared By: Mandy Kellogg, Administrative Services Director

Reviewed By: April Mitts, Assistant City Manager

Approved By: Anil Comelo, City Manager

BACKGROUND

At the General Election held on November 6, 2012, the voters of Napa County approved a ½-cent sales tax increase known as Measure T, the Napa Countywide Road Maintenance Act of 2012. The sales tax is being implemented by the Napa Valley Transportation Authority - Taxing Authority ("NVTA-TA"), and the tax proceeds are allocated among all local agencies within the County.

Measure T funding is to be used for maintenance, reconstruction, and/or rehabilitation of streets, roads, and transportation infrastructure within the public right-of-way including but not limited to: sidewalks, curb and gutters, curb ramps, lighting, traffic signage, striping, and local roadway drainage. Measure T is intended to supplement, not supplant or replace, the City's existing local general fund revenues being used for transportation infrastructure maintenance.

As part of the Ordinance, all agencies must collectively commit non-Measure T funds towards Class I Bicycle Facilities equivalent to 6.67% of the estimated total revenue of Measure T. Qualifying funding sources for 6.67% Equivalent Fund projects must be from either local general funds or formula specific funds.

DISCUSSION

On February 13, 2018, City Council established the City's Maintenance of Effort (MOE) at \$379,189, which is a calculation of the average maintenance of effort for the FY 2007/2008, FY 2008/2009 and FY 2009/2010 as required by the Measure T Ordinance. Each year going forward, the City is required to certify that it has met the MOE obligation for the prior fiscal year (Attachment A).

For the Fiscal Year 2022, the City's MOE of \$379,189 which was met with expenses to Streets Capital Projects R18-81 Downtown Sidewalk Improvements, R19-79 Pavement Restoration, R22-01 Spring Street Bike Lane Striping, and R22-79 Pavement Restoration.

Maintenance of Effort calculations are as follows:

Measure T MOE Certification		
Project	Description	FY 2021/22
R18-0081	Downtown Sidewalk Improvements	351
R19-0079	Pavement Restoration	300,000
R22-0001	Spring Street Bike Lane Striping	24,258
R22-0079	Pavement Restoration	54,580
Total Expended		379,189

On March 16, 2022, NVT-A-TA adopted an amended Master Funding Agreement. The amended Master Funding Agreement repealed and replaced the original 2018 Master Funding Agreement and required approval from City Council. On July 26, 2022, City Council approved the amended Measure T Master Funding Agreement. This revision will result in an additional yearly resolution for the term of the Measure T program.

By January 31st of each calendar year, the City must provide a copy of the Equivalent Fund Class I Bicycle Facilities Expenditure Resolution approved by the City's governing body, along with backup documentation, showing the qualifying funding spent on Class I Bicycle Facilities for the prior fiscal year. The resolution will certify applicable expenditures for the prior fiscal year and be used by NVT-A-TA in the tracking the program participants' collective contribution towards the required Class I Facility spending over the term of the Measure T program.

Funds certified during this certification cycle will include Fiscal Year 2019-2022. Future reporting cycles will certify funds on a 1-year cycle. The table below provides a summary of the 6.67% Equivalent expenditures and the sources of funding:

Fiscal Year	Funding Source	Amount
2018-19	General Fund	80,400
2018-19	General Fund	19,250
2019-20	General Fund	85,000
2020-21	General Fund	31,000

2021-22	General Fund	85,000
Total Contributions		300,650

FISCAL IMPACT

There is no financial impact associated with these actions as projects that will be funded by Measure T are eligible for 100% reimbursement of incurred project costs.

RECOMMENDED ACTION

Adopt the attached Resolution.

ATTACHMENTS

[Resolution FY22 Measure T MOE Certification](#)

[Attachment A - MOE Certification Form FY22](#)

[Resolution Measure T Certification of Equivalent Fund Expenditures](#)

[Exhibit A Class I Trails Contributions](#)

CITY OF ST. HELENA

RESOLUTION No. 2023-

Adoption of a resolution certifying the Measure T Maintenance of Effort (MOE) for Fiscal Year 2022 of 379,189.

RECITALS

- A. On November 6, 2012, the voters of Napa County passed the Napa Countywide Road Maintenance Act, also known as Measure T, which imposes a half cent transaction and use (sales) tax to provide supplemental funding for road maintenance as detailed in the Measure T Expenditure Plan; and
- B. The Napa Valley Transportation Authority – Taxing Authority (“NVTA-TA”) is the designated agency that administers and oversees the Measure T revenues; and
- C. The City of St. Helena is an eligible recipient of Measure T funds; and
- D. The tax proceeds will be used by the City to pay for the projects outlined in the Measure T Expenditure Plan allocated to the County of Napa and the cities and town within Napa County (“Local Agencies”) as set forth in Measure T; and
- E. Under the Measure T Expenditure Plan, Measure T funds are provided to the Local Agencies to be used for streets and roads projects as defined in the Measure; and
- F. The City of St. Helena has entered into a Master Agreement with NVTA that outlines procedures for Measure T expenditures; and
- G. The City of St. Helena shall determine and certify to NVTA-TA the average maintenance of effort amount for Fiscal Years 2007-08, 2008-09, and 2009-10, consistent with the criteria set forth in Section 9 of Ordinance No. 2012-01, including a memorandum detailing the supporting financial documentation and methodology utilized to calculate the average fiscal year street and roads; and
- H. On February 13, 2018, the City Council adopted Resolution 2018-16, which established the average Maintenance of Effort of \$379,189; and
- I. By January 1st each calendar year, the City of St. Helena must certify to and provide NVTA-TA a copy of supporting documentation as well as a Resolution approved by the governing body of the City of St. Helena, including backup documentation that demonstrates that the Maintenance of Effort was met the prior fiscal year; and
- J. Measure T Project(s) will comply with the requirements under the California Environmental Quality Act (California Code Sections 21000 *et seq.*; as implemented through California Regulations Title 14, Chapter 3, Sections 15000 *et seq.*).

RESOLUTION

The City Council of the City of St. Helena hereby resolves as follows:

1. The Recitals set forth above are true and correct and are incorporated herein;
and
2. The City Council hereby determines and certifies that:
 - (a) the Maintenance of Effort ("MOE") for the City of St. Helena for Fiscal Year 2021/2022 is \$379,189, as described:

Measure T MOE Certification	
Project	FY 2021/22
R18-0081 Downtown Sidewalk Improvements	351
R19-0079 Pavement Restoration	300,000
R22-0001 Spring Street Bike Lane Striping	24,258
R22-0079 Pavement Restoration	54,580
Total Expended	379,189

- (b) For Fiscal Year 2021/2022, the City of St. Helena met its obligation for an MOE at least \$379,189 as set forth in Resolution 2018-16; and
 - (c) The City of St. Helena will meet its MOE obligation of at least \$379,189 for Fiscal Year 2022/2023; and
3. This Resolution shall take effect immediately upon adoption.

Approved at a Regular Meeting of the St. Helena City Council on January 10, 2023, by the following vote:

Mayor Dohring:	_____
Vice Mayor Hall:	_____
Councilmember Chouteau:	_____
Councilmember Hardy:	_____
Councilmember Summers:	_____

APPROVED:

ATTEST:

Paul Dohring, Mayor

Cindy Tzafoopoulos, City Clerk

City/County/Town of St. Helena
Measure T Maintenance of Effort (MOE) Certification for
Fiscal Year 2021-2022

NVTA-TA Approved MOE	\$379,189.00
MOE Amount Certified for FY 2022-21	\$379,189.00
Measure T funds Received in FY 2022-21	\$1,729,561.46
Measure T funds Expended in FY 2022-21	\$313,575.00
Measure T funds Balance in Account	\$2,776,486.66

CITY OF ST. HELENA

RESOLUTION No. 2023-

Adoption of a Resolution Approving Certification of Equivalent Fund Expenditures Under Measure T Program

RECITALS

- A. On November 6, 2012, the voters of Napa County passed the Napa Countywide Road Maintenance Act, also known as Measure T, which imposes a half cent transaction and use (sales) tax to provide supplemental funding for road maintenance as detailed in the Measure T Expenditure Plan; and
- B. The Napa Valley Transportation Authority – Taxing Authority (“NVTA-TA”) is the designated agency that administers and oversees the Measure T revenues; and
- C. The City of St. Helena is an eligible recipient of Measure T funds; and
- D. The tax proceeds will be used by the City to pay for the projects outlined in the Measure T Expenditure Plan allocated to the County of Napa and the cities and town within Napa County (“Local Agencies”) as set forth in Measure T; and
- E. Under the Measure T Expenditure Plan, Measure T funds are provided to the Local Agencies to be used for streets and roads projects as defined in the Measure; and
- F. The City of St. Helena has entered into a Master Agreement, as amended, with NVTA that outlines procedures for Measure T expenditures; and
- G. The City of St. Helena shall determine and certify to NVTA-TA the annual spending towards qualifying Class I Bicycle Facilities, consistent with the criteria set forth in Section 3 B of Ordinance No. 2012-01, including a memorandum detailing the supporting financial documentation and the methodology utilized to calculate the total spending and funding source; and
- H. The amount set forth in Exhibit “A” will be deemed the “Equivalent Fund Spending for Class I Bicycle Facilities” of the City of St. Helena, which must be maintained annually throughout the term of the Measure from the General Fund of the City of St. Helena; and
- I. By January 31st each calendar year, the City of St. Helena must certify to and provide NVTA-TA a copy of supporting documentation as well as a Resolution approved by the governing body of the City of St. Helena, including backup documentation, demonstrating that the Equivalent Fund Class I Bicycle Facilities spending occurred during the prior fiscal year; and
- J. Measure T Project(s) will comply with the requirements under the California Environmental Quality Act (California Code Sections 21000 *et seq.*; as implemented through California Regulations Title 14, Chapter 3, Sections 15000 *et seq.*).

RESOLUTION

The City Council of the City of St. Helena hereby resolves as follows:

1. The City Council hereby adopts the Equivalent Fund Class I Bicycle Facilities expenditures amount as set forth in Exhibit "A," and authorizes the Public Works Director or designee to file the amount with NVTA-TA.

Approved at a Regular Meeting of the St. Helena City Council on January 10, 2023, by the following vote:

Mayor Dohring:	_____
Vice Mayor Hall:	_____
Councilmember Chouteau:	_____
Councilmember Hardy:	_____
Councilmember Summers:	_____

APPROVED:

ATTEST:

Paul Dohring, Mayor

Cindy Tzafopoulos, City Clerk

Exhibit "A"

List of Equivalent funds for Class I Trails

Fiscal Year	Funding Source	Amount
2019	General Fund - Transferred to Fund 241	80,400.00
2019	General Fund - Resolution 2019-116 for Vine Trail	19,250.00
2020	General Fund - Transferred to Fund 241	85,000.00
2021	General Fund - Transferred to Fund 241	31,000.00
2022	General Fund - Transferred to Fund 241	85,000.00
Total Class I Trails Contributions		300,650.00



Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: CONSENT ITEMS

Subject: Consideration and Approval of a Resolution Authorizing: (1) a Contract Change Orders for Reimbursable Expenses Totaling \$105,009.83 with Murray Building, Inc. for The Napa Valley College Tenant Improvement Project for a Total Not-To-Exceed Contract Amount of \$1,422,388.83; (2) a Budget Expense Increase of \$105,009.83 to 101-4000-2145; and (3) an Offsetting Budget Revenue Increase of \$105,009.83 to 101-3461-0000.

CEQA Determination: Class I Categorical Exemption under Section 15301 of CEQA

Prepared By: Preya Nixon, Asst. to the City Manager

Reviewed By: April Mitts, Assistant City Manager

Approved By: Anil Comelo, City Manager

BACKGROUND

On May 25, 2021, the City Council approved a Resolution 2021-73 authorizing the City Manager, or designee, to execute a lease for a portion of the Napa Valley Community College District Upper Valley Campus for space to serve as a City Hall and Police facility. The initial term of the lease is for five years with the option to extend the lease for an additional two-year term. Tenant Improvements (TI's) are necessary in order to facilitate the specific needs of the City.

On June 28, 2022, the City Council approved a construction contract with Murray Building Inc, (MBI) to be the General Contractor for the Napa Valley College (NVC) Tenant Improvement Project for an amount not-to-exceed \$1,167,379. The City Council also approved a contract with MarinIT for upgraded cabling and relocation services for IT infrastructure. Noll and Tam Architects have served as the Architect of Record for this project, and have provided all the design work.

On December 7, 2022, a contract amendment with MBI was approved by the City Council to include additional office space as part of the tenant improvements.

Building A (the location of the City Hall/Police Department) at the Napa Valley College site was previously used primarily for administrative staff and for academic classes. The building has not been used at full capacity since 2018, and therefore maintenance has been impacted. Deficiencies include water leaks from the roof, entryways, and certain walls.

DISCUSSION

The City's employees are anxious to move out of the temporary spaces and into a more permanent facility that is functional, safe and meets the operations needs of the City.

Throughout the duration of the construction project, city staff and its contractors have been in contact with the NVC regarding items related to water leaks due to rain, fire sprinklers, and unidentified existing conditions related to Americans with Disability Act (ADA) that have come to light during the course of construction. The City held a meeting with College staff in November to discuss these issues, and the College requested that the City obtain quotes to make the necessary improvements as noted in Table 1.

Americans with Disabilities Act and Responsibility of Tenant Improvements:

Section 8.1 of the lease states that the Parties agree that Tenant shall be responsible for the cost of the Tenant Improvements, except that to the extent that Tenant must make improvements to the Premises in order to ensure compliance with the Americans with Disabilities Act ("ADA Improvements"), Landlord shall pay the first \$21,000.00 toward any required ADA Improvements, and Tenant shall be responsible to pay not more than \$54,000.00 for such ADA Improvements. In the event that the ADA Improvements, if any, cost more than \$75,000.00, upon completion of such ADA Improvements, Tenant shall provide Landlord with an invoice documenting such costs, and Landlord shall reimburse Tenant for the costs in excess of \$75,000.00 within thirty (30) day of receipt of such invoice.

The Bid Schedule for all contractors submitting a bid, required a line item for all ADA improvements. For this project, the total ADA improvements is \$131,774.00. Therefore, the City will be invoicing \$77,774.00 to NVC as the total cost of ADA improvements exceeds \$75,000.00.

Landlord's Duty to Maintain and Repair:

Section 8.3 of the lease states that the NVC shall be responsible to maintain and replace the building systems (i.e. electrical, plumbing, fire, life, safety), and shall maintain the roof and bear the cost of any required roof repairs during the term of the lease, except that in the event that, based on the mutual agreement of Landlord and Tenant, and no earlier than before the start of the sixth year of the lease the roof of Building "A" is required to be replaced, then the Tenant shall contribute a pro rata share of the cost of the roof repair based on percentage of space within Building "A" occupied by Tenant.

Table 1:

Item	Description	Change Order Request (COR)	Cost
Electrical Issues in Men's Restroom*	Non Conformance of Electrical Issues in Men's Restroom for ADA Improvements	COR 14.1	\$19,756.50
Gutter and Leak Work-Exploratory	Exploratory work to evaluate the possible origins and causes of the current set of leaks.	COR 36A	\$1,275.66
Gutter and Leak Work	To clear the existing gutters and for leak repairs	COR 36	\$33,432.56
Fire Sprinkler Leak Repair**	Work required to correct a leaking fire sprinkler main over room 5A	COR 37	\$10,955.83
Fire Sprinkler Head Replacement-Exploratory	Work to explore the full extent of for replacement of all existing fire sprinkler heads in the Main Building.	COR 38A	\$637.83
Fire Sprinkler Head Replacement**	For replacement of all existing fire sprinkler heads in the main building along with the associated work required to perform scope. Associated work to include removal and replacement of ceiling tiles. COR does not include replacing any ceiling tiles or grid that may be damaged while performing requested scope of work.	COR 38	\$37,646.80
Leak repair to Admin area ceiling	For repairs to the ceiling in the administration offices that was caused by a leak to the existing mechanical system.	COR 40	\$1,304.65

		Total amount of CORs	\$105,009.83
--	--	---------------------------------	---------------------

*The electrical work in the men's restroom has been completed as it was required to keep construction on schedule.

**The fire sprinkler leak repair and fire sprinkler head replacement and needed to be fixed immediately from a life/safety perspective. The City received written approval from NVC to move forward with these repairs.

Staff is requesting an amendment with the Murray Building Contract to cover the costs of these repairs, which will be reimbursed by Napa Valley College. A memo has been sent to NVC outlining the CORs presented.

NVC is in the process of reviewing COR 14.1, COR 36A, COR 38A, and COR 40. This contract amendment provides the budget authority to cover the total costs if NVC proceeds to approve COR 14.1, COR 36A, COR 38A, and COR 40.

FISCAL IMPACT

There is no fiscal impact due to the reimbursement agreement with Napa Valley College.

RECOMMENDED ACTION

Adopted attached resolution.

ATTACHMENTS

[Resolution - Murray Building Inc. Change Order](#)

[City Contract Change Order No. 2](#)

[COR #14.1 - Electrical Repair In Restroom](#)

[Electrical Conduit Non Conformance at Women's Restroom 12.12.22](#)

[COR #36A - Exploratory Gutter and Leak Work](#)

[COR #36 - Gutter and Leak Work](#)

[COR #37 - Fire Sprinkler Leak Repair](#)

[COR #38A - Exploratory Work For Replacing All Existing Sprinkler Heads](#)

[COR #38 - Replace All Existing Sprinkler Heads](#)

[COR #40 - Repair To Admin Ceiling](#)

CITY OF ST. HELENA

RESOLUTION NO. 2023-_____

APPROVING: (1) A CONTRACT CHANGE ORDERS TOTALING \$105,009.83 WITH MURRAY BUILDING, INC FOR THE NAPA VALLEY COLLEGE TENANT IMPROVEMENT PROJECT (C22-0001) FOR A TOTAL NOT-TO-EXCEED AMOUNT OF \$1,422,388.83, (2) A BUDGET EXPENSE INCREASE OF \$105,009.83 TO 101-4000-2145, AND (3) AN OFFSETTING BUDGET REVENUE INCREASE OF \$105,009.83 TO 101-3461-0000

RECITALS

- A. It has been determined that current City Hall and Police Department facilities have exceeded their functional life; and
- B. On May 25, 2021, the City Council approved a Resolution 2021-73 authorizing the City Manager, or designee, to execute a lease for a portion of the Napa Valley Community College District Upper Valley Campus for space to serve as a City Hall and Police facility; and
- C. On April 13, 2021, the City entered into a contract with Noll and Tam Architects to assist with the design of Phase I of the Napa Valley College Tenant Improvements; and
- D. On August 6, 2021, a formal lease agreement between the City and the Napa Valley Community College Upper Valley Campus was executed; and
- E. On January 24, 2022, the Division of State Architect (DSA) officially approved the proposed plans and specifications for the tenant improvements; and
- F. On January 26, 2022, the City entered into a Professional Services Agreement with Greystone West Company to perform construction management in the planning and bidding stage of the project; and
- G. On May 10, 2022 City Council approved the plans and specifications for the Napa Valley College Tenant Improvement Project, Project No. C22-0001 ("Project"), found the Project categorically exempt from the California Environmental Quality Act ("CEQA"), and authorized advertisement for bids; and

- H. On May 25, 2022, a Notice to Contractors inviting construction bids was posted and was also published online (i.e. City website and Blueprints Express), in the newspaper, and sent to the construction exchanges; and
- J. On June 15, 2022, at 2:00 PM the City Clerk received four (4) sealed bids which were read aloud publicly and Murray Building, Inc. of Sonoma, California, submitted the lowest bid of \$1,167,379.00; and
- K. Murray Building, Inc. is the lowest responsible, responsive bid, and holds a valid Class A General Engineering and Class B General Building Contractor's License No. 646709 in the State of California, with no enforcement actions listed. Their license expires on 10/31/22; and
- L. The City Council approved and awarded the Contract by and between the City of St. Helena and Murray Building, Inc. for Project No C22-0001 – Napa Valley College Tenant Improvements in the amount of One Million One Hundred Sixty-Seven Thousand Three Hundred Seventy-Nine Dollars and 00/100 (\$1,167,379.00), on June 28, 2022; and
- M. Additional work was identified to build a new office and revise a staff kitchen into an office which will require additional design and engineering work. This design work titled CCD.4 has been approved by the Division of State Architect; and
- N. On December 7, 2022, the City Council approved Contract Change Order #25.1 totaling \$150,000 to the Construction Contract with Murray Building Inc., for a total not-to-exceed amount of \$1,317,379.00; and
- O. Additional work for life and safety (replacing all sprinkler heads, and repair to a fire sprinkler line), roof improvements, and ADA improvements are required to be made; and
- P. Section 8.1 and 8.3 of the lease agreement between Napa Valley College and the City require Napa Valley College to cover the costs of these improvements; and
- Q. Napa Valley College will evaluate COR 14.1, COR 36A, COR 38A, and COR 40; and
- R. Napa Valley College will reimburse the City for COR 37 and COR 38 as well as any other work authorized under COR 14.1, COR 36A, COR 38A, and COR 40; and
- S. The City will pay Murray Building and will invoice Napa Valley College for Reimbursement.

RESOLUTION

NOW, THEREFORE, The City Council of the City of St. Helena, hereby resolves as follows:

1. On May 10, 2022, the City Council adopted a resolution “[a]pproving the plans and specifications for the Napa Valley College Tenant Improvement Project, Project No. C22-0001 and authorizing advertisement for bids.” In addition to approving the Project, the City Council determined at its May 10, 2022 meeting that the Project is categorically exempt from CEQA under the Class 1 exemption set forth in State CEQA Guidelines section 15301, which applies to projects involving the minor alteration of structures and facilities. Here, the Project involves the minor alteration of a portion of the Napa Valley Community College District Upper Valley Campus. Specifically, the Project consists of nonstructural tenant improvements to create office space and Police Department facilities on the existing campus. Improvements will include accessibility in accordance with the Americans with Disabilities Act (“ADA”); telecommunications upgrades; enhanced security including bulletproofing panels; a separate portable building of less than 2,500 feet that will serve as a locker/shower room for police officers, and a generator. These non-structural tenant improvements fall squarely within the Class 1 exemption. For all these reasons, the Project is categorically exempt from CEQA.
2. Authorizes Contract Change Order totaling \$105,009.83 to the Construction Contract with Murray Building Inc., for a total not-to-exceed amount of \$1,422,388.83.
3. Authorizes the Public Works Director or City Manager to execute the Change Orders.
4. Authorizes a budget expense increase of \$105,009.83 to 101-4000-2145.
5. Authorizes a budget expense increase of \$105,009.83 to 101-3461-0000.

Approved at a Regular Meeting of the St. Helena City Council on January 10, 2023, by the following vote:

Mayor Paul Dohring: _____

Vice Mayor Eric Hall: _____

Council Member Anna Chouteau: _____

Council Member Lester Hardy: _____

Council Member Billy Summers: _____

APPROVED:

ATTEST:

Paul Dohring, Mayor

Cindy Tzaopoulos, City Clerk



City of St. Helena
*"We will conduct city affairs on behalf of our citizens
 using an open and creative process."*

1572 Railroad Avenue
 St. Helena, CA 94574
 Phone: (707) 967-2792
 Fax: (707) 963-7748

www.cityofstheleena.org

OFFICE OF THE DIRECTOR OF PUBLIC WORKS

Contract Change Order

To: Scott Murray, Murray Building, Inc.
 P.O. Box 2201
 Sonoma, CA 94576

From: Joseph Leach, P.E.
 Director of Public Works

Date: 1/10/2023

Re: Napa Valley College TI-Project No. C22-0001 Change Order

Murray Building is directed to make the following changes to the Contract documents. You are directed as follows:

Additional Work:

Additional work per CCD.4 as approved by the Division of State Architect.

Number	Description	Amount
Original Contract Amount:	Murray Building, Inc. Award of Contract	1,167,379.00
Approved Contract Change Order #25.1:	Additional Equipment, Material, and Labor: for CCD.4 as approved by the Division of State Architect	\$150,000
Change Order 14.1	Non Conformance of Electrical Issues in Men's Restroom for ADA Improvements	\$19,756.50
Change Order 36A	Gutter and Leak Work-Exploratory	\$1,275.66

Change Order 36	Gutter and Leak Work	\$33,432.56
Change Order 37	Fire Sprinkler Leak Repair	\$10,955.83
Change Order 38A	Fire Sprinkler Head Replacement-Exploratory	\$637.83
Change Order 38	Fire Sprinkler Head Replacement	\$37,646.80
Change Order 40	Leak repair to Admin area ceiling	\$1,304.65

Adjustment in Compensation:

The compensation of Contract Change Order #14.1, 36A, 36, 37, 38A, 38 and 40 is for an additional \$105,009.83 for a new total not-to-exceed amount of \$1,422,388.83.

City of St. Helena

We, the undersigned contractor, have given careful consideration to the change proposed and agree, if this proposal is approved, to provide all labor and equipment, furnish all materials, and to perform all services necessary for the work above specified, and will accept as full payment, therefore, the prices shown above.

CONTRACTOR ACCEPTANCE BY:		
SIGNATURE	(PRINT NAME AND TITLE)	DATE

PREPARED BY		
SIGNATURE	(PRINT NAME AND TITLE)	DATE
	Joseph Leach, PE Director of Public Works City of St. Helena	
APPROVAL BY		

SIGNATURE	(PRINT NAME AND TITLE) Anil Comelo City Manager City of St. Helena	DATE
-----------	---	------

CHANGE ORDER REQUEST

Distribution to:

☐
☐
☐
☐
☐

OWNER

ARCHITECT

CONTRACTOR

INSPECTOR

COR

14.1

TITLE: **Electrical Repair In Restroom**

PROJECT:	ARCHITECT:	C. O. R. No.	14.1
NVC UVC T.I.	Noll & Tam	Date:	11/17/2022
1088 College Avenue	729 Heinz Avenue	Arch. Project No.	
94574	Berkeley, Ca 94710	Contract For:	
	Fax:	Contract Date:	7.25.22
		DSA File No.	
OWNER:	INSPECTOR OF RECORD:	DSA App. No.	01-119725
Napa Valley CCD		OPSC App. No.	
2277 Napa Vallejo Hwy		Response to:	
Napa , Ca 94558		Arch. RFP No.	RFI #26
Fax:	Fax:		

DESCRIPTION:

COR the work required to repair / replace the damaged wires that were discovered during the concrete removal for the Women's Room toilet. Conduits were damaged due to existing conduits not be installed at a code compliant depth. **Actual Billing.**

MODIFICATION TO

CONTRACT SUM:

(Line 22 from Page 2)

\$19,756.50

MODIFICATION TO

CONTRACT TIME:

TBD

Supporting schedule information attached

CONTRACTORS CERTIFICATION AND WAIVER OF CLAIMS:

"The undersigned Contractor approves the foregoing as to the changes in work, if any, and as to the contract price specified for each item and as to the extension of time allowed, if any, for completion of the project as stated herein, and agrees to furnish all labor, materials, and service and to perform all work necessary to complete any additional work specified for the consideration stated herein. Submission of claims which have no basis in fact or which Contractor knows are false are made at the sole risk of the Contractor and may be a violation of the False Claims Act, as set forth in Government Code Sections 12650 et seq. It is understood that the changes to the Contract Documents set forth herein shall only be effective upon approval by the governing board of the District."

"It is expressly understood that the value of the extra work or changes expressly includes any and all of the Contractor's costs and expenses, both direct and indirect, resulting from additional time required on the project or resulting from delay to the project. Any costs, expenses, damages, or time extensions not included herein are deemed waived."

"Any alteration or revision of this Document, it's terms, or this Certification is deemed a waiver of any costs, expenses, damages, or time extensions included herein."

CONTRACTOR

		<i>Architect's Action</i>	
		☐	REJECT - Received Too Late.
		☐	REJECT - Inadequate Back-Up.
		☐	REJECT - Not in Proper Form.
		☐	Review and Comment Only

By. **Scott Murray**

Fax:

Date 11/17/2022

SUMMARY OF ATTACHMENTS TO:

PROJECT:

NVC UVC T.I.

1088 College Avenue

C.O. R. No.: **14.1**

Project No.:

Date: 11/17/2022

DSA App. No.: 01-119725

Page 2

of 3

Line	TITLE:	Electrical Repair In Restroom	ADDED	CREDIT
------	--------	-------------------------------	-------	--------

ALL LINES SHALL BE FILLED IN, (zero values acceptable).

GENERAL CONTRACTOR'S WORK

1	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$50.00	\$0.00
2	Labor (attach itemized hours and rates)	\$1,490.28	\$0.00
3	Equipment (attach invoices)	\$110.00	\$0.00
4	Subtotal	\$1,650.28	\$0.00
5	General Contractor's Overhead and Profit, not to exceed fifteen percent (15%) of lines 1 & 4.	\$247.54	\$0.00
6	Subtotal	\$1,897.82	\$0.00
7	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 2.	\$0.00	\$0.00
8	Subtotal General Contractor Work (sum of lines 6 and 7.)	\$1,897.82	\$0.00

SUBCONTRACT WORK (Provide separate breakdown for each subcontract)*

9	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
10	Labor (attach itemized hours and rates)	\$0.00	\$0.00
11	Vendor (attach invoices)	\$16,730.20	\$0.00
12	Subtotal	\$16,730.20	\$0.00
13	Subcontractor's overhead and profit on work performed by Sub-contractor, not to exceed fifteen percent (15%) of line 12.	\$0.00	\$0.00
14	Subtotal	\$16,730.20	\$0.00
15	General Contractor's Overhead and Profit on subcontract work, not to exceed five percent (5%) of line 14.	\$836.51	\$0.00
16	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 10.	\$0.00	\$0.00

17	Total of Subcontract Work (sum of lines 14, 15 and 16)	<u>\$17,566.71</u>	<u>\$0.00</u>
18	Subtotal General Contractor and Subcontractor Work (sum of lines 8 and 17.)	<u>\$19,464.53</u>	<u>\$0.00</u>
19	Applicable Taxes (itemized by levy and by contract)	<u>\$0.00</u>	<u>\$0.00</u>
20	Subtotal (sum of lines 18 and 19)	<u>\$19,464.53</u>	<u>\$0.00</u>
21	Bond not to exceed one and one half percent (1 1/2%) of line 20.	<u>\$291.97</u>	<u>\$0.00</u>
22	TOTAL (sum of lines 20 and 21.) Copy to cover page.	<u>\$19,756.50</u>	<u>\$0.00</u>

* Attach additional copies of this page as required to summarize additional subcontracts.



MURRAY BUILDING, INC.

P.O. BOX 2201
SONOMA, CA 95476
(707) 939-9001 Ph. / (707) 939-9048 Fax

Account Of:

City Of St. Helena
1572 Railroad Avenue
St. Helena, Ca 95474

PROJECT: Upper Valley Campus - T.I.

DATE: 11.17.22

DESCRIPTION: Electrical Repair In Restroom

P.C.O. #: 14.1

AS PER: RFI #26

Project #: 148

POTENTIAL CHANGE ORDER DESCRIPTION
LABOR

Classification	Description	Hours	Rate	Amount
Foreman				\$0.00
Carpenter	Exploratory Work & Repairs To Control Conduit & Additional Concrete Removal	12	\$124.19	\$1,490.28
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
Labor Total				\$1,490.28

MATERIAL

Description	Invoice #	Date	Amount
Conduit Repair Parts			\$50.00
Material Total			\$50.00

EQUIPMENT RENTAL

Description	Day	Rate	Amount
Roto Hammer & Bits	1	\$110.00 / day	\$110.00
Rental Total			\$110.00

SUBCONTRACTORS

Description	Invoice #	Date	Amount
Nordby Electric - Feeder Repair			\$9,981.73
Nordby Electric - Secondary Repair		9.19.22	\$6,748.47
First Tier Total			\$16,730.20

CREDITS

Description	Invoice #	Date	Amount
N/A			
Credit Total			\$0.00

Days Added By This Change Order

Reason For Added Days:

Additional General Conditions Expense Per Day

\$2,500.00

G.C.'s Total**TOTAL COSTS**

Description	Total	P&O Rate	Amount
Labor	\$1,490.28	15.00%	\$1,713.82
Material	\$50.00	15.00%	\$57.50
Equipment Rental	\$110.00	15.00%	\$126.50
General Conditions	\$0.00	15.00%	\$0.00
Subcontractor	\$16,730.20	5.00%	\$17,566.71
Credits	\$0.00	0.00%	\$0.00
Sub Total of All Work			\$19,464.53

Bond Fee

1.50%

\$291.97

CHANGE ORDER COST**\$19,756.50**

Contractor: _____

Date: _____

Owner: _____

Date: _____

Architect: _____

Date: _____



Project: C22-0001: DSA #01-119725 St. Helena NVC Tenant Improvements
 1088 College Avenue
 St. Helena, California 94574

RFI #26: Existing Conduits In Concrete Slab

Status	Open		
To	Phan Dung (Noll and Tam Architects)	From	Scott Murray (Murray Building, Inc.)
Date Initiated	Sep 14, 2022	Due Date	Sep 17, 2022
Location		Project Stage	Course of Construction
Cost Impact	Yes (Unknown)	Schedule Impact	Yes (Unknown)
Spec Section	02 41 13 - Selective Demolition	Cost Code	
Drawing Number	A4.11	Reference	
Linked Drawings			
Received From	Scott Murray (Murray Building, Inc.)		
Copies To	Phan Dung (Noll and Tam Architects), Kurt Hirtzer (IOR - Jay Leininger Inspector of Record), Jay Leininger (IOR - Jay Leininger Inspector of Record), Jose Mendoza (Murray Building, Inc.), Scott Murray (Murray Building, Inc.)		

Activity

Question

Question from Scott Murray Murray Building, Inc. on Wednesday, Sep 14, 2022 at 12:10 PM PDT

Upon removal of the concrete slab at the Women's Room ADA water closet, a series of existing electrical conduits were encountered in the slab and the conduits along with the associated wires were damaged. The existing conduits were run in the concrete rather than below the concrete as required by code. These conduits and wires will need to be repaired and / or replaced. Please provide direction.

Attachments

[26.1.jpg](#), [26.2.jpg](#), [26.3.jpg](#)

Awaiting an Official Response

Noted that placement of the existing conduits do not comply with code.
 Provide local repair of the electrical conduits and wiring in kind. Track T&M.
 Submit cost for feeders to be retested (megger test).
 Confirm with College and/or City if they want it to be performed.

Phan Dung
 Noll & Tam Architects
 9/27/22

Nordby

Electric, Inc.

License # 757006

PO Box 12026 • Santa Rosa, CA 95406
 Bus. (707) 579-1240
 Fax (707) 579-1251

COR 14

Bill To: Morisy Builders

San
 Job Location:

Job #

TJ/M

Labor				Material		
Name	Date	Hrs.	Charged Out	Description	Price	Amount
Randy	9/7	5				
Kayla	9/7	5		Frederick Wine		
Kent	9/12	3		Materials AS C.O.		
Kent	10/18	3				
Randy	✓	3	9/7			
Kayla	✓	3				
Luis	✓	3	1660'	2/0 copper Brown orange yoke	4156.91	2743.41
Kent	10/19	5	220'	#6 copper Leonard.	999.92	214.46
Randy	✓	5				
Kayla	✓	3		Materials	2958.07	
Luis	✓	3		TAX	246.23	
				SUBTOTAL	3224.30	
		45		Labor	5850.00	
				SUBTOTAL	9074.30	
				10%	907.43	
				TOTAL	9981.73	

107.861-7710

Nordby

Electric, Inc.

License # 757006

PO Box 12026 • Santa Rosa, CA 95406
 Bus. (707) 579-1240
 Fax (707) 579-1251

COR 14

Small Pipes

Bill To: Murray Builders

Job Location: _____

Job # _____

T&M

Labor				Material		
Name	Date	Hrs.	Charged Out	Description	Price	Amount
Randy	9/9	3				
Kerr	9/15	3		Small Pipe Brothers		
Randy	10/18	3		#1		
Kayla	1	3	700'	#12 THTN Black	479.80	167.33
Luis		3	700'	Red	479.80	167.33
Kerr	10/18	1	700'	White	479.80	167.33
			700'	Green	479.80	167.33
Kerr	10/15	1	350'	Blue	479.80	167.33
Randy	1	2	350'	#10 THTN Black	620.00	217.00
Kayla	1	2	350'	Red	620.00	217.00
Luis	1	2		#2		
			560	#12 THTN Black	479.80	268.69
			560	Red	479.80	268.69
			560	Blue	479.80	268.69
			560	White	479.80	268.69
			560	Green	479.80	268.69

1 of 2



PO Box 12026 • Santa Rosa, CA 95406
Bus. (707) 579-1240
Fax (707) 579-1251

COR 14

Bill To: _____

Job Location: _____

Job # _____

[illegible]

2407



December 12, 2022

Ms. Preya Nixon
City of St. Helena Public Works Department
1572 Railroad Ave.
St. Helena, CA. 94574

RE: Napa Valley College Tenant Improvement Project C22-0001
Notification of Existing Non Conformance Issue – Conduits in Slab

The Project Documents call for a toilet at the women's restroom to be relocated so that it meets CBC Chapter 11B for accessibility as the existing layout exceeded the 18" from the side wall as identified in CA T24 11B-603.2. The toilet is a wall mounted fixture, so the carrier needed to be moved to be within tolerance of the above accessibility code. To move the carrier the contractor needed to remove wall finishes as well as floor finishes and concrete slab as the carrier was cast in the curb. Upon demolition of the slab the contractor hit 5 conduits that were in the concrete.

Five conduits were damaged and the wires were damaged on four of the five conduits. One of the conduits, a 2" conduit carrying 270V-3ph wire, home runs from the transformer in room A-3 to the existing culinary building on campus. Three ¾" conduits, one that home runs to room 1, one that home runs to the mechanical room A-8, and one that runs to the loft at room A-8. One 1" conduit that contains control wires for HVAC controls in which the conduit was damaged but not the wires. The contractor investigated this issue and provided a quote to perform this work (attached) for \$36,143.03.

The building was shut down for a 3 day period while conduit was repaired and new wires were pulled. This work took place 10/18-10/20. We asked the contractor to perform this remediation work on time and materials with tags being signed on a daily basis by the DSA Inspector of Record. This work is a result of having to

621 W Spain Street, Sonoma CA. 95476.
Phone 707 933-0624 Fax 707 996-8390
www.greystonewest.com



relocate the toilet as a result of ADA requirements. Had it not been for the ADA requirement there would not have been a need to demolish this section of concrete slab. Final costs of this work is \$19,756.50. The Proposed Change Order is attached for your reference.

Please let me know if you have any questions.

Sincerely,

John Dilena

John Dilena
Greystone West Company

Cc: File

621 W Spain Street, Sonoma CA. 95476.
Phone 707 933-0624 Fax 707 996-8390
www.greystonewest.com

CHANGE ORDER REQUEST

Distribution to:

☐
☐
☐
☐
☐

OWNER

ARCHITECT

CONTRACTOR

INSPECTOR

COR

36A

TITLE: **Exploratory Gutter / Leak Work**

PROJECT:	ARCHITECT:	C. O. R. No.	36A
NVC UVC T.I.	Noll & Tam	Date:	12/12/2022
1088 College Avenue	729 Heinz Avenue	Arch. Project No.	
94574	Berkeley, Ca 94710	Contract For:	Modernization
	Fax:	Contract Date:	7.25.22
		DSA File No.	49-H7
OWNER:	INSPECTOR OF RECORD:	DSA App. No.	01-119725
Napa Valley CCD		OPSC App. No.	
2277 Napa Vallejo Hwy		Response to:	
Napa , Ca 94558		Arch. RFP No.	Own Req
Fax:	Fax:		

DESCRIPTION:

COR for additional time spent exploring the possible origins and causes of the current set of leaks. as authorized by construction manager.

MODIFICATION TO

CONTRACT SUM:

(Line 22 from Page 2)

\$1,275.66

MODIFICATION TO

CONTRACT TIME:

0

Supporting schedule information attached

CONTRACTORS CERTIFICATION AND WAIVER OF CLAIMS:

"The undersigned Contractor approves the foregoing as to the changes in work, if any, and as to the contract price specified for each item and as to the extension of time allowed, if any, for completion of the project as stated herein, and agrees to furnish all labor, materials, and service and to perform all work necessary to complete any additional work specified for the consideration stated herein. Submission of claims which have no basis in fact or which Contractor knows are false are made at the sole risk of the Contractor and may be a violation of the False Claims Act, as set forth in Government Code Sections 12650 et seq. It is understood that the changes to the Contract Documents set forth herein shall only be effective upon approval by the governing board of the District."

"It is expressly understood that the value of the extra work or changes expressly includes any and all of the Contractor's costs and expenses, both direct and indirect, resulting from additional time required on the project or resulting from delay to the project. Any costs, expenses, damages, or time extensions not included herein are deemed waived."

"Any alteration or revision of this Document, it's terms, or this Certification is deemed a waiver of any costs, expenses, damages, or time extensions included herein."

CONTRACTOR

		<i>Architect's Action</i>	
		☐	REJECT - Received Too Late.
		☐	REJECT - Inadequate Back-Up.
		☐	REJECT - Not in Proper Form.
		☐	Review and Comment Only

By. **Scott Murray**

Fax:

Date 12/12/2022

SUMMARY OF ATTACHMENTS TO:

PROJECT:

NVC UVC T.I.

1088 College Avenue

C.O. R. No.: **0**

Project No.:

Date: 12/12/2022

DSA App. No.: 01-119725

Page 2

of 3

Line	TITLE:	Exploratory Gutter / Leak Work	ADDED	CREDIT
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ALL LINES SHALL BE FILLED IN, (zero values acceptable).

GENERAL CONTRACTOR'S WORK

1	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
2	Labor (attach itemized hours and rates)	\$1,092.88	\$0.00
3	Equipment (attach invoices)	\$0.00	\$0.00
4	Subtotal	\$1,092.88	\$0.00
5	General Contractor's Overhead and Profit, not to exceed fifteen percent (15%) of lines 1 & 4.	\$163.93	\$0.00
6	Subtotal	\$1,256.81	\$0.00
7	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 2.		\$0.00
8	Subtotal General Contractor Work (sum of lines 6 and 7.)	\$1,256.81	\$0.00

SUBCONTRACT WORK (Provide separate breakdown for each subcontract)*

9	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
10	Labor (attach itemized hours and rates)	\$0.00	\$0.00
11	Vendor (attach invoices)	\$0.00	\$0.00
12	Subtotal	\$0.00	\$0.00
13	Subcontractor's overhead and profit on work performed by Sub-contractor, not to exceed fifteen percent (15%) of line 12.	Incl.	\$0.00
14	Subtotal	\$0.00	\$0.00
15	General Contractor's Overhead and Profit on subcontract work, not to exceed twenty percent (20%) of line 14.	\$0.00	\$0.00
16	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 10.	\$0.00	\$0.00

17	Total of Subcontract Work (sum of lines 14, 15 and 16)	<u>\$0.00</u>	<u>\$0.00</u>
18	Subtotal General Contractor and Subcontractor Work (sum of lines 8 and 17.)	<u>\$1,256.81</u>	<u>\$0.00</u>
19	Applicable Taxes (itemized by levy and by contract)	<u>\$0.00</u>	<u>\$0.00</u>
20	Subtotal (sum of lines 18 and 19)	<u>\$1,256.81</u>	<u>\$0.00</u>
21	Bond not to exceed one and one half percent (1.5%) of line 20.	<u>\$18.85</u>	<u>\$0.00</u>
22	TOTAL (sum of lines 20 and 21.) Copy to cover page.	<u>\$1,275.66</u>	<u>\$0.00</u>

* Attach additional copies of this page as required to summarize additional subcontracts.



MURRAY BUILDING, INC.

P.O. BOX 2201
SONOMA, CA 95476
(707) 939-9001 Ph. / (707) 939-9048 Fax

Account Of:

City Of St. Helena
1572 Railroad Avenue
St. Helena, Ca 95474

PROJECT: Upper Valley Campus - T.I.

DATE: 12.12.22

DESCRIPTION: Exploratory Gutter / Leak Work

P.C.O. #: 36A

AS PER: Owner's Request

Project #: 148

POTENTIAL CHANGE ORDER DESCRIPTION
LABOR

Classification	Description	Hours	Rate	Amount
Foreman		8	\$136.61	\$1,092.88
Carpenter		0	\$124.19	\$0.00
				\$0.00
				\$0.00
Labor Total				\$1,092.88

MATERIAL

Description	Invoice #	Date	Amount
N/A			
Material Total			\$0.00

EQUIPMENT RENTAL

Description	Hours	Rate	Amount
N/A			
Rental Total			\$0.00

SUBCONTRACTORS

Invoice #	Date	Amount
N/A		
First Tier Total		\$0.00

CREDITS

N/A		
Second Tier Sub-Total		\$0.00
First Tier Mark Up		
Second Tier Total		\$0.00

Days Added By This Change Order	0
Reason For Added Days:	
Additional General Conditions Expense Per Day	
	\$2,500.00
G.C.'s Total	TBD

TOTAL COSTS

Description	Total	P&O Rate	Amount
Labor	\$1,092.88	15.00%	\$1,256.81
Material	\$0.00	15.00%	\$0.00
Equipment Rental	\$0.00	15.00%	\$0.00
General Conditions	\$0.00	15.00%	\$0.00
Subcontractor	\$0.00	5.00%	\$0.00
Credits	\$0.00	0.00%	\$0.00
Sub Total of All Work			\$1,256.81

Bond Fee	1.50%	\$18.85
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CHANGE ORDER COST

\$1,275.66

Contractor: _____

Date: _____

Owner: _____

Date: _____

Architect: _____

Date: _____

CHANGE ORDER REQUEST

Distribution to:

☐
☐
☐
☐
☐

OWNER

ARCHITECT

CONTRACTOR

INSPECTOR

COR

36

TITLE: **Gutter / Leak Work**

PROJECT: NVC UVC T.I. 1088 College Avenue 94574	ARCHITECT: Noll & Tam 729 Heinz Avenue Berkeley, Ca 94710 Fax:	C. O. R. No. Date: Arch. Project No. Contract For: Contract Date: DSA File No. DSA App. No. OPSC App. No. Response to: Arch. RFP No.	36 <u>11/29/2022</u> <u>Modernization</u> <u>7.25.22</u> <u>49-H7</u> <u>01-119725</u> <u>Own Req</u>
OWNER: Napa Valley CCD 2277 Napa Vallejo Hwy Napa , Ca 94558 Fax:	INSPECTOR OF RECORD: Fax:		

DESCRIPTION:

COR for additional work required clear all existing gutters on main building and for work regarding leak repairs. Work to include repairs to leaks around plumbing vent / mechanical vents in room 1, repairs to expansion joints in room 4, repairs to leaks around skylights in rooms 5, repair to leaks around skylight in room 6, clearing of all valleys, clearing of all gutters, removal / clearing and reinstall downspouts. Work does not include flushing underground drainage system. There is no warranty expressed or implied on any repair work.

MODIFICATION TO

CONTRACT SUM:

(Line 22 from Page 2)

\$33,432.56

MODIFICATION TO

CONTRACT TIME:

0

Supporting schedule information attached

CONTRACTORS CERTIFICATION AND WAIVER OF CLAIMS:

"The undersigned Contractor approves the foregoing as to the changes in work, if any, and as to the contract price specified for each item and as to the extension of time allowed, if any, for completion of the project as stated herein, and agrees to furnish all labor, materials, and service and to perform all work necessary to complete any additional work specified for the consideration stated herein. Submission of claims which have no basis in fact or which Contractor knows are false are made at the sole risk of the Contractor and may be a violation of the False Claims Act, as set forth in Government Code Sections 12650 et seq. It is understood that the changes to the Contract Documents set forth herein shall only be effective upon approval by the governing board of the District."

"It is expressly understood that the value of the extra work or changes expressly includes any and all of the Contractor's costs and expenses, both direct and indirect, resulting from additional time required on the project or resulting from delay to the project. Any costs, expenses, damages, or time extensions not included herein are deemed waived."

"Any alteration or revision of this Document, it's terms, or this Certification is deemed a waiver of any costs, expenses, damages, or time extensions included herein."

CONTRACTOR

				<i>Architect's Action</i>
				☐ REJECT - Received Too Late.
				☐ REJECT - Inadequate Back-Up.
				☐ REJECT - Not in Proper Form.
				☐ Review and Comment Only

By. Scott Murray	Fax:	
Date 11/29/2022		

SUMMARY OF ATTACHMENTS TO:	C.O. R. No.:	36
PROJECT:	Project No.:	
NVC UVC T.I.	Date:	11/29/2022
1088 College Avenue	DSA App. No.:	01-119725
	Page	2
	of	3

Line	TITLE: Gutter / Leak Work	ADDED	CREDIT
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ALL LINES SHALL BE FILLED IN, (zero values acceptable).

GENERAL CONTRACTOR'S WORK

1	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$1,000.00	\$0.00
2	Labor (attach itemized hours and rates)	\$22,056.16	\$0.00
3	Equipment (attach invoices)	\$5,586.00	\$0.00
4	Subtotal	\$28,642.16	\$0.00
5	General Contractor's Overhead and Profit, not to exceed fifteen percent (15%) of lines 1 & 4.	\$4,296.32	\$0.00
6	Subtotal	\$32,938.48	\$0.00
7	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 2.		\$0.00
8	Subtotal General Contractor Work (sum of lines 6 and 7.)	\$32,938.48	\$0.00
SUBCONTRACT WORK (Provide separate breakdown for each subcontract)*			
9	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
10	Labor (attach itemized hours and rates)	\$0.00	\$0.00
11	Vendor (attach invoices)	\$0.00	\$0.00
12	Subtotal	\$0.00	\$0.00
13	Subcontractor's overhead and profit on work performed by Sub-contractor, not to exceed fifteen percent (15%) of line 12.	Incl.	\$0.00
14	Subtotal	\$0.00	\$0.00
15	General Contractor's Overhead and Profit on subcontract work, not to exceed twenty percent (20%) of line 14.	\$0.00	\$0.00
16	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 10.	\$0.00	\$0.00

17	Total of Subcontract Work (sum of lines 14, 15 and 16)	<u>\$0.00</u>	<u>\$0.00</u>
18	Subtotal General Contractor and Subcontractor Work (sum of lines 8 and 17.)	<u>\$32,938.48</u>	<u>\$0.00</u>
19	Applicable Taxes (itemized by levy and by contract)	<u>\$0.00</u>	<u>\$0.00</u>
20	Subtotal (sum of lines 18 and 19)	<u>\$32,938.48</u>	<u>\$0.00</u>
21	Bond not to exceed one and one half percent (1.5%) of line 20.	<u>\$494.08</u>	<u>\$0.00</u>
22	TOTAL (sum of lines 20 and 21.) Copy to cover page.	<u>\$33,432.56</u>	<u>\$0.00</u>

* Attach additional copies of this page as required to summarize additional subcontracts.



MURRAY BUILDING, INC.

P.O. BOX 2201
SONOMA, CA 95476
(707) 939-9001 Ph. / (707) 939-9048 Fax

Account Of:

City Of St. Helena
1572 Railroad Avenue
St. Helena, Ca 95474

PROJECT: Upper Valley Campus - T.I.

DATE: 12.7.22

DESCRIPTION: Gutter / Leak Work

P.C.O. #: 36

AS PER: Owner's Request

Project #: 148

POTENTIAL CHANGE ORDER DESCRIPTION
LABOR

Classification	Description	Hours	Rate	Amount
Foreman		16	\$136.61	\$2,185.76
Carpenter		160	\$124.19	\$19,870.40
				\$0.00
				\$0.00
Labor Total				\$22,056.16

MATERIAL

Description	Invoice #	Date	Amount
Misc Roof Flashing Materials			\$1,000.00
Material Total			\$1,000.00

EQUIPMENT RENTAL

Description	Hours	Rate	Amount
Lift	2 wks		\$3,236.00
Fall Protection	10 Day	\$35.00	\$350.00
Service Truck	10 Day	\$200.00	\$2,000.00
Rental Total			\$5,586.00

SUBCONTRACTORS

Invoice #	Date	Amount
N/A		
First Tier Total		\$0.00

CREDITS

Second Tier Sub-Total	Amount
N/A	
Second Tier Sub-Total	\$0.00
First Tier Mark Up	
Second Tier Total	\$0.00

Days Added By This Change Order	0
Reason For Added Days:	
Additional General Conditions Expense Per Day	\$2,500.00
G.C.'s Total	TBD

TOTAL COSTS

Description	Total	P&O Rate	Amount
Labor	\$22,056.16	15.00%	\$25,364.58
Material	\$1,000.00	15.00%	\$1,150.00
Equipment Rental	\$5,586.00	15.00%	\$6,423.90
General Conditions	\$0.00	15.00%	\$0.00
Subcontractor	\$0.00	5.00%	\$0.00
Credits	\$0.00	0.00%	\$0.00
Sub Total of All Work			\$32,938.48

Bond Fee	1.50%	\$494.08
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CHANGE ORDER COST

\$33,432.56

Contractor: _____

Date: _____

Owner: _____

Date: _____

Architect: _____

Date: _____

The Rental Place #04

21500 8th St E.
Sonoma, CA 95476
www.therentalplace.com

707-938-0711 Phone
707-938-0107 Fax

Status: Quote

Quote #: q4553-4

Quote To: Wed 11/30/2022 9:00AM

Operator: WARD RYAN

Customer #: 50794

MURRAY, SCOTT MICHAEL
4899 GROVE ST
SONOMA, CA 95476

Phone 707-939-9001
Mobile 707-340-6036

Qty	Key	Items	Part#	Status	Quote Date	Price
1	220-0331	BOOMLIFT, 46' TELESCOPING 4WD		Rental	Wed 12/ 7/2022 9:00AM	\$1,250.00
1	14	DELIVERY, ZONE 4 ** MUST CALL FOR PICKUP TO STOP TIME ON RENTAL **		Delivery		\$436.00

Delivery Wed 11/30/2022 9:00AM

Pickup Wed 12/ 7/2022 9:00AM

ST HELENA

ST HELENA

Quote valid for 30 days.

Rental:	\$1,250.00
E.P.P.:	\$150.00
Delivery Charge:	\$436.00
Subtotal:	\$1,836.00
Total:	\$1,836.00
Paid:	\$0.00
Amount Due:	\$1,836.00

Signature:

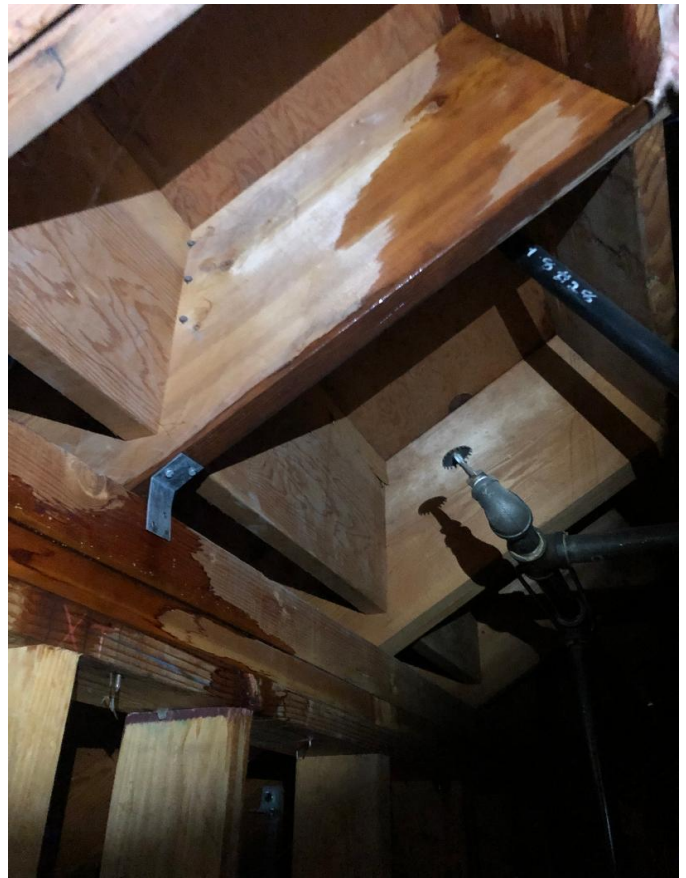
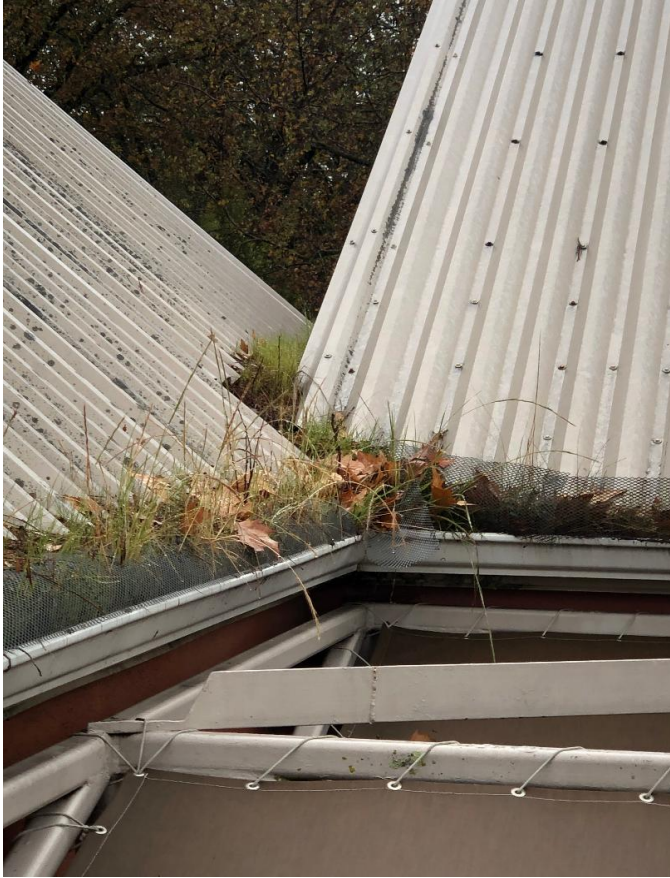
MURRAY, SCOTT MICHAEL



Open Monday-Saturday 7:00-5:00, CLOSED Sunday
Printed On Wed 11/30/2022 12:15:14PM

Software by Point-of-Rental Software www.point-of-rental.com

Modification #1
contract-params.SQL.rpt (1)



CHANGE ORDER REQUEST

Distribution to:

☐
☐
☐
☐
☐

OWNER

ARCHITECT

CONTRACTOR

INSPECTOR

COR

37

TITLE: **Fire Sprinkler Leak Repair**

PROJECT:	ARCHITECT:	C. O. R. No.	37
NVC UVC T.I.	Noll & Tam	Date:	12/8/2022
1088 College Avenue	729 Heinz Avenue	Arch. Project No.	
94574	Berkeley, Ca 94710	Contract For:	Modernization
	Fax:	Contract Date:	7.25.22
		DSA File No.	49-H7
OWNER:	INSPECTOR OF RECORD:	DSA App. No.	01-119725
Napa Valley CCD		OPSC App. No.	
2277 Napa Vallejo Hwy		Response to:	
Napa , Ca 94558		Arch. RFP No.	Exist Cond
Fax:	Fax:		

DESCRIPTION:

COR for the work required to correct a leaking fire sprinkler main over room 5A.

MODIFICATION TO

CONTRACT SUM:

(Line 22 from Page 2)

\$10,955.83

MODIFICATION TO

CONTRACT TIME:

Supporting schedule information attached

CONTRACTORS CERTIFICATION AND WAIVER OF CLAIMS:

"The undersigned Contractor approves the foregoing as to the changes in work, if any, and as to the contract price specified for each item and as to the extension of time allowed, if any, for completion of the project as stated herein, and agrees to furnish all labor, materials, and service and to perform all work necessary to complete any additional work specified for the consideration stated herein. Submission of claims which have no basis in fact or which Contractor knows are false are made at the sole risk of the Contractor and may be a violation of the False Claims Act, as set forth in Government Code Sections 12650 et seq. It is understood that the changes to the Contract Documents set forth herein shall only be effective upon approval by the governing board of the District."

"It is expressly understood that the value of the extra work or changes expressly includes any and all of the Contractor's costs and expenses, both direct and indirect, resulting from additional time required on the project or resulting from delay to the project. Any costs, expenses, damages, or time extensions not included herein are deemed waived."

"Any alteration or revision of this Document, its terms, or this Certification is deemed a waiver of any costs, expenses, damages, or time extensions included herein."

CONTRACTOR

				<i>Architect's Action</i>
				☐ REJECT - Received Too Late.
				☐ REJECT - Inadequate Back-Up.
				☐ REJECT - Not in Proper Form.
				☐ Review and Comment Only

By. Scott Murray	Fax:	
Date 12/8/2022		

SUMMARY OF ATTACHMENTS TO:	C.O. R. No.:	37
PROJECT:	Project No.:	
NVC UVC T.I.	Date:	12/8/2022
1088 College Avenue	DSA App. No.:	01-119725
	Page	2
	of	3

Line	TITLE: Fire Sprinkler Leak Repair	ADDED	CREDIT
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ALL LINES SHALL BE FILLED IN, (zero values acceptable).

GENERAL CONTRACTOR'S WORK

1	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
2	Labor (attach itemized hours and rates)	\$546.44	\$0.00
3	Equipment (attach invoices)	\$0.00	\$0.00
4	Subtotal	\$546.44	\$0.00
5	General Contractor's Overhead and Profit, not to exceed fifteen percent (15%) of lines 1 & 4.	\$81.97	\$0.00
6	Subtotal	\$628.41	\$0.00
7	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 2.		\$0.00
8	Subtotal General Contractor Work (sum of lines 6 and 7.)	\$628.41	\$0.00
SUBCONTRACT WORK (Provide separate breakdown for each subcontract)*			
9	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
10	Labor (attach itemized hours and rates)	\$0.00	\$0.00
11	Vendor (attach invoices)	\$9,681.44	\$0.00
12	Subtotal	\$9,681.44	\$0.00
13	Subcontractor's overhead and profit on work performed by Sub-contractor, not to exceed fifteen percent (15%) of line 12.	Incl.	\$0.00
14	Subtotal	\$9,681.44	\$0.00
15	General Contractor's Overhead and Profit on subcontract work, not to exceed five percent (5%) of line 14.	\$484.07	\$0.00
16	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 10.	\$0.00	\$0.00

17	Total of Subcontract Work (sum of lines 14, 15 and 16)	<u>\$10,165.51</u>	<u>\$0.00</u>
18	Subtotal General Contractor and Subcontractor Work (sum of lines 8 and 17.)	<u>\$10,793.92</u>	<u>\$0.00</u>
19	Applicable Taxes (itemized by levy and by contract)	<u>\$0.00</u>	<u>\$0.00</u>
20	Subtotal (sum of lines 18 and 19)	<u>\$10,793.92</u>	<u>\$0.00</u>
21	Bond not to exceed one and one half percent (1 1/2%) of line 20.	<u>\$161.91</u>	<u>\$0.00</u>
22	TOTAL (sum of lines 20 and 21.) Copy to cover page.	<u>\$10,955.83</u>	<u>\$0.00</u>

* Attach additional copies of this page as required to summarize additional subcontracts.



MURRAY BUILDING, INC.

P.O. BOX 2201
SONOMA, CA 95476
(707) 939-9001 Ph. / (707) 939-9048 Fax

Account Of:

City Of St. Helena
1572 Railroad Avenue
St. Helena, Ca 95474

PROJECT: Upper Valley Campus - T.I.

DATE: 12.8.22

DESCRIPTION: Fire Sprinkler Leak Repair

P.C.O. #: 37

AS PER: Existing Condition

Project #: 148

POTENTIAL CHANGE ORDER DESCRIPTION
LABOR

Classification	Description	Hours	Rate	Amount
Foreman		4	\$136.61	\$546.44
Carpenter			\$124.19	\$0.00
				\$0.00
				\$0.00
Labor Total				\$546.44

MATERIAL

Description	Invoice #	Date	Amount
N/A			
Material Total			\$0.00

EQUIPMENT RENTAL

Description	Hours	Rate	Amount
N/A			
Rental Total			\$0.00

SUBCONTRACTORS

	Invoice #	Date	Amount
BCFP - Pipe Repair	PVO #3	12.8.22	\$9,681.44
First Tier Total			\$9,681.44

CREDITS

N/A			
Second Tier Sub-Total			\$0.00
First Tier Mark Up			
Second Tier Total			\$0.00

Days Added By This Change Order

0

Reason For Added Days:

Additional General Conditions Expense Per Day

\$2,500.00

G.C.'s Total

TBD

TOTAL COSTS

Description	Total	P&O Rate	Amount
Labor	\$546.44	15.00%	\$628.41
Material	\$0.00	15.00%	\$0.00
Equipment Rental	\$0.00	15.00%	\$0.00
General Conditions	\$0.00	15.00%	\$0.00
Subcontractor	\$9,681.44	5.00%	\$10,165.51
Credits	\$0.00	0.00%	\$0.00
Sub Total of All Work			\$10,793.92

Bond Fee

1.50%

\$161.91

CHANGE ORDER COST**\$10,955.83**

Contractor: _____

Date: _____

Owner: _____

Date: _____

Architect: _____

Date: _____

51 Foley St.
Santa Rosa, CA 95401
Ph. 707.579.8694
Fx. 707.579.8920

Bay Cities Fire Protection, Inc.

CHANGE ORDER #3

Date: December 8, 2022

To: Murray Building, Inc.
1181 Broadway
Sonoma, CA. 95476

Email: scott@murraybuilding.com

Regarding: NVC -Upper campus
1088 College Ave.
St. Helena, Ca. 94574

Leak on existing pipe repairs costs to fix.

Materials: see attached quote- \$1,961.60

Labor: foreman sprinkler fitter 16 hrs. @ \$175.98/hr. = \$2,815.68
Journeyman fire sprinkler fitter 16hrs. @ \$161.24/hr. = \$2,579.84
10th period apprentice fire sprinkler fitter 16 hrs. @ \$145.27/hr. = \$2,324.32
Total \$7,719.84

Total: \$9,681.44

No work will be performed without approval of this change order & if delays in approval create extra costs in labor or materials these will be passed along.

If you have any questions or concerns regarding this matter, please contact Leon Kresheck at (707) 579-8694.

Signature: _____ Title: _____

Date: _____



3120 W Central Ave.
Santa Ana, CA 92704
Phone (714) 754-7100
Fax (714) 754-7090
E-Mail

Quote 0075058



Quoted 12/7/2022

Bill To

Bay Cities Fire Protection, Inc.
51 Foley St.
Santa Rosa, CA 95401

Ship To

Bay Cities Fire Protection, Inc.
51 Foley St.
Santa Rosa, CA 95401

BID

Purchase Order	Ship Via	Reference	Entered By	Sales rep	Terms
NVC St. Helena change ord	Leon	IM	12/7/2022	MC	Net 30
Product	Description	Ordered	Price	Amount	
F040010P00	No.10 90° Elbow 4"; Painted; Original Groove	2 Ea	4.11 Ea	8.22	
L020004PE0	Style 004 Flexible Coupling 2"; Painted; E Type A Vic-Plus	2 Ea	8.12 Ea	16.24	
L04009NPE0	Style 009N FireLock Coupling 4"; Painted; E Type A Vic-Plus; Oval Neck Track B/N - Plated	4 Ea	13.78 Ea	55.12	
Y088040	4" TOLCO 4L LAT SWAY BRC	2 Ea	21.61 Ea	43.22	
Y3410005	TOLCO 980 PLAIN W/HOLE FOR 5/8 ROD	2 Ea	20.77 Ea	41.54	
5/8X10	5/8" X 10' PLTD ATR	10 Ea	1.19 Ea	11.90	
0500301809	69 4 ZP LT/DTY W/NFPA TAP HGR Package Quantity: 50	2 Ea	1.60 Ea	3.20	
P40HL	4X21 DOM SCH 40	21 Ea	12.89 Ea	270.69	
005721000	1 X 21 DOM BLK SCH 40	21 FT	2.29 FT	48.09	
MFLH	UNISOURCE 4" U-LOOP +/-4"	1 Ea	1,087.06 Ea	1,087.06	
4399001340	Flat Washer, 5/8", Zinc Plated	100 Ea	0.27 Ea	27.00	
4399001450	Hex Nut, 5/8", Zinc Plated	100 Ea	0.20 Ea	20.00	

LABOR = 2 DAYS
 Beto - Fm $16 \times \$125.98/\text{hr.} = 2,015.68$
 JARED - 10th $16 \times \$161.24/\text{hr.} = 2,579.84$
 JR - Jm $16 \times \$145.27/\text{hr.} = 2,324.32$

$\$7,719.84$
 $1,961.60$
 $\$9,681.44$

Sub-total	\$1,632.28
Tax	150.99
Total	\$1,783.27

+ 10%
 1961.60

CHANGE ORDER REQUEST

Distribution to:

☐
☐
☐
☐

OWNER

ARCHITECT

CONTRACTOR

INSPECTOR

COR

38A

TITLE: **Exploratory Work For Replace All Existing Sprinkler Heads**

PROJECT:	ARCHITECT:	C. O. R. No.	38A
NVC UVC T.I.	Noll & Tam	Date:	12/12/2022
1088 College Avenue	729 Heinz Avenue	Arch. Project No.	
94574	Berkeley, Ca 94710	Contract For:	Modernization
	Fax:	Contract Date:	7.25.22
		DSA File No.	49-H7
OWNER:	INSPECTOR OF RECORD:	DSA App. No.	01-119725
Napa Valley CCD		OPSC App. No.	
2277 Napa Vallejo Hwy		Response to:	
Napa , Ca 94558		Arch. RFP No.	Own Req
Fax:	Fax:		

DESCRIPTION:

COR for required to explore the full extent for replacement of all existing fire sprinkler heads in the main building.

MODIFICATION TO**CONTRACT SUM:**

(Line 22 from Page 2)

\$637.83**MODIFICATION TO****CONTRACT TIME:**

Supporting schedule information attached

CONTRACTORS CERTIFICATION AND WAIVER OF CLAIMS:

"The undersigned Contractor approves the foregoing as to the changes in work, if any, and as to the contract price specified for each item and as to the extension of time allowed, if any, for completion of the project as stated herein, and agrees to furnish all labor, materials, and service and to perform all work necessary to complete any additional work specified for the consideration stated herein. Submission of claims which have no basis in fact or which Contractor knows are false are made at the sole risk of the Contractor and may be a violation of the False Claims Act, as set forth in Government Code Sections 12650 et seq. It is understood that the changes to the Contract Documents set forth herein shall only be effective upon approval by the governing board of the District."

"It is expressly understood that the value of the extra work or changes expressly includes any and all of the Contractor's costs and expenses, both direct and indirect, resulting from additional time required on the project or resulting from delay to the project. Any costs, expenses, damages, or time extensions not included herein are deemed waived."

"Any alteration or revision of this Document, it's terms, or this Certification is deemed a waiver of any costs, expenses, damages, or time extensions included herein."

CONTRACTOR

		<i>Architect's Action</i>	
		☐	REJECT - Received Too Late.
		☐	REJECT - Inadequate Back-Up.
		☐	REJECT - Not in Proper Form.
		☐	Review and Comment Only

By. **Scott Murray**

Fax:

Date 12/12/2022

SUMMARY OF ATTACHMENTS TO:

PROJECT:

NVC UVC T.I.

1088 College Avenue

C.O. R. No.: **0**

Project No.:

Date: 12/12/2022

DSA App. No.: 01-119725

Page 2

of 3

Line	TITLE:	Exploratory Work For Replace All Existing Sprinkler Heads	ADDED	CREDIT
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ALL LINES SHALL BE FILLED IN, (zero values acceptable).

GENERAL CONTRACTOR'S WORK

1	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
2	Labor (attach itemized hours and rates)	\$546.44	\$0.00
3	Equipment (attach invoices)	\$0.00	\$0.00
4	Subtotal	\$546.44	\$0.00
5	General Contractor's Overhead and Profit, not to exceed fifteen percent (15%) of lines 1 & 4.	\$81.97	\$0.00
6	Subtotal	\$628.41	\$0.00
7	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 2.		\$0.00
8	Subtotal General Contractor Work (sum of lines 6 and 7.)	\$628.41	\$0.00

SUBCONTRACT WORK (Provide separate breakdown for each subcontract)*

9	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
10	Labor (attach itemized hours and rates)	\$0.00	\$0.00
11	Vendor (attach invoices)	\$0.00	\$0.00
12	Subtotal	\$0.00	\$0.00
13	Subcontractor's overhead and profit on work performed by Sub-contractor, not to exceed fifteen percent (15%) of line 12.	Incl.	\$0.00
14	Subtotal	\$0.00	\$0.00
15	General Contractor's Overhead and Profit on subcontract work, not to exceed five percent (5%) of line 14.	\$0.00	\$0.00
16	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 10.	\$0.00	\$0.00

17	Total of Subcontract Work (sum of lines 14, 15 and 16)	<u>\$0.00</u>	<u>\$0.00</u>
18	Subtotal General Contractor and Subcontractor Work (sum of lines 8 and 17.)	<u>\$628.41</u>	<u>\$0.00</u>
19	Applicable Taxes (itemized by levy and by contract)	<u>\$0.00</u>	<u>\$0.00</u>
20	Subtotal (sum of lines 18 and 19)	<u>\$628.41</u>	<u>\$0.00</u>
21	Bond not to exceed one and one half percent (1 1/2%) of line 20.	<u>\$9.43</u>	<u>\$0.00</u>
22	TOTAL (sum of lines 20 and 21.) Copy to cover page.	<u>\$637.83</u>	<u>\$0.00</u>

* Attach additional copies of this page as required to summarize additional subcontracts.



MURRAY BUILDING, INC.

P.O. BOX 2201
SONOMA, CA 95476
(707) 939-9001 Ph. / (707) 939-9048 Fax

Account Of:

City Of St. Helena
1572 Railroad Avenue
St. Helena, Ca 95474

PROJECT: Upper Valley Campus - T.I.

DATE: 12.12.22

DESCRIPTION: Replace Existing Fire Sprinkler Heads

P.C.O. #: 38A

AS PER: Owner's Request

Project #: 148

POTENTIAL CHANGE ORDER DESCRIPTION
LABOR

Classification	Description	Hours	Rate	Amount
Foreman		4	\$136.61	\$546.44
Carpenter		0	\$124.19	\$0.00
				\$0.00
				\$0.00
Labor Total				\$546.44

MATERIAL

Description	Invoice #	Date	Amount
N/A			
Material Total			\$0.00

EQUIPMENT RENTAL

Description	Hours	Rate	Amount
N/A			
Rental Total			\$0.00

SUBCONTRACTORS

Invoice #	Date	Amount
N/A		
First Tier Total		\$0.00

CREDITS

N/A		
Second Tier Sub-Total		\$0.00
First Tier Mark Up		
Second Tier Total		\$0.00

Days Added By This Change Order	0
Reason For Added Days:	
Additional General Conditions Expense Per Day	
	\$2,500.00
G.C.'s Total	TBD

TOTAL COSTS

Description	Total	P&O Rate	Amount
Labor	\$546.44	15.00%	\$628.41
Material	\$0.00	15.00%	\$0.00
Equipment Rental	\$0.00	15.00%	\$0.00
General Conditions	\$0.00	15.00%	\$0.00
Subcontractor	\$0.00	5.00%	\$0.00
Credits	\$0.00	0.00%	\$0.00
Sub Total of All Work			\$628.41

Bond Fee	1.50%	\$9.43
----------	-------	--------

CHANGE ORDER COST

\$637.83

Contractor: _____

Date: _____

Owner: _____

Date: _____

Architect: _____

Date: _____

CHANGE ORDER REQUEST

Distribution to:

☐
☐
☐
☐
☐

OWNER

ARCHITECT

CONTRACTOR

INSPECTOR

COR

38

TITLE: **Replace All Existing Sprinkler Heads**

PROJECT: NVC UVC T.I. 1088 College Avenue 94574	ARCHITECT: Noll & Tam 729 Heinz Avenue Berkeley, Ca 94710 Fax:	C. O. R. No. Date: Arch. Project No. Contract For: Contract Date: DSA File No. DSA App. No. OPSC App. No. Response to: Arch. RFP No.	38 <u>12/8/2022</u> <u>Modernization</u> <u>7.25.22</u> <u>49-H7</u> <u>01-119725</u> <u>Own Req</u>
OWNER: Napa Valley CCD 2277 Napa Vallejo Hwy Napa , Ca 94558 Fax:	INSPECTOR OF RECORD: Fax:		

DESCRIPTION:

COR for for replacement of all existing fire sprinkler heads in the main building along with the associated work required to perform scope. Associated work to include removal and replacment of ceiling tiles. COR does not include replacing any ceiling tiles or grid that may be damaged while performing requested scope of work.

MODIFICATION TO

CONTRACT SUM:

(Line 22 from Page 2)

\$37,646.80

MODIFICATION TO

CONTRACT TIME:

Supporting schedule information attached

CONTRACTORS CERTIFICATION AND WAIVER OF CLAIMS:

"The undersigned Contractor approves the foregoing as to the changes in work, if any, and as to the contract price specified for each item and as to the extension of time allowed, if any, for completion of the project as stated herein, and agrees to furnish all labor, materials, and service and to perform all work necessary to complete any additional work specified for the consideration stated herein. Submission of claims which have no basis in fact or which Contractor knows are false are made at the sole risk of the Contractor and may be a violation of the False Claims Act, as set forth in Government Code Sections 12650 et seq. It is understood that the changes to the Contract Documents set forth herein shall only be effective upon approval by the governing board of the District."

"It is expressly understood that the value of the extra work or changes expressly includes any and all of the Contractor's costs and expenses, both direct and indirect, resulting from additional time required on the project or resulting from delay to the project. Any costs, expenses, damages, or time extensions not included herein are deemed waived."

"Any alteration or revision of this Document, it's terms, or this Certification is deemed a waiver of any costs, expenses, damages, or time extensions included herein."

CONTRACTOR

		<i>Architect's Action</i>	
		☐	REJECT - Received Too Late.
		☐	REJECT - Inadequate Back-Up.
		☐	REJECT - Not in Proper Form.
		☐	Review and Comment Only

By. **Scott Murray**

Fax:

Date 12/8/2022

SUMMARY OF ATTACHMENTS TO:

PROJECT:

NVC UVC T.I.

1088 College Avenue

C.O. R. No.: **38**

Project No.:

Date: 12/8/2022

DSA App. No.: 01-119725

Page 2

of 3

Line	TITLE:	Replace All Existing Sprinkler Heads	ADDED	CREDIT
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ALL LINES SHALL BE FILLED IN, (zero values acceptable).

GENERAL CONTRACTOR'S WORK

1	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
2	Labor (attach itemized hours and rates)	\$7,153.36	\$0.00
3	Equipment (attach invoices)	\$0.00	\$0.00
4	Subtotal	\$7,153.36	\$0.00
5	General Contractor's Overhead and Profit, not to exceed fifteen percent (15%) of lines 1 & 4.	\$1,073.00	\$0.00
6	Subtotal	\$8,226.36	\$0.00
7	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 2.		\$0.00
8	Subtotal General Contractor Work (sum of lines 6 and 7.)	\$8,226.36	\$0.00

SUBCONTRACT WORK (Provide separate breakdown for each subcontract)*

9	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
10	Labor (attach itemized hours and rates)	\$0.00	\$0.00
11	Vendor (attach invoices)	\$27,489.60	\$0.00
12	Subtotal	\$27,489.60	\$0.00
13	Subcontractor's overhead and profit on work performed by Sub-contractor, not to exceed fifteen percent (15%) of line 12.	Incl.	\$0.00
14	Subtotal	\$27,489.60	\$0.00
15	General Contractor's Overhead and Profit on subcontract work, not to exceed five percent (5%) of line 14.	\$1,374.48	\$0.00
16	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 10.	\$0.00	\$0.00

17	Total of Subcontract Work (sum of lines 14, 15 and 16)	<u>\$28,864.08</u>	<u>\$0.00</u>
18	Subtotal General Contractor and Subcontractor Work (sum of lines 8 and 17.)	<u>\$37,090.44</u>	<u>\$0.00</u>
19	Applicable Taxes (itemized by levy and by contract)	<u>\$0.00</u>	<u>\$0.00</u>
20	Subtotal (sum of lines 18 and 19)	<u>\$37,090.44</u>	<u>\$0.00</u>
21	Bond not to exceed one and one half percent (1 1/2%) of line 20.	<u>\$556.36</u>	<u>\$0.00</u>
22	TOTAL (sum of lines 20 and 21.) Copy to cover page.	<u>\$37,646.80</u>	<u>\$0.00</u>

* Attach additional copies of this page as required to summarize additional subcontracts.



MURRAY BUILDING, INC.

P.O. BOX 2201
SONOMA, CA 95476
(707) 939-9001 Ph. / (707) 939-9048 Fax

Account Of:

City Of St. Helena
1572 Railroad Avenue
St. Helena, Ca 95474

PROJECT: Upper Valley Campus - T.I.

DATE: 11.4.22

DESCRIPTION: Replace Existing Fire Sprinkler Heads

P.C.O. #: 38

AS PER: Owner's Request

Project #: 148

POTENTIAL CHANGE ORDER DESCRIPTION
LABOR

Classification	Description	Hours	Rate	Amount
Foreman		16	\$136.61	\$2,185.76
Carpenter	Temp Covers / Remove and Replace Ceiling Tiles	40	\$124.19	\$4,967.60
				\$0.00
				\$0.00
Labor Total				\$7,153.36

MATERIAL

Description	Invoice #	Date	Amount
N/A			
Material Total			\$0.00

EQUIPMENT RENTAL

Description	Hours	Rate	Amount
N/A			
Rental Total			\$0.00

SUBCONTRACTORS

	Invoice #	Date	Amount
BCFP - Replace Existing Heads	PCO #4	12.8.22	\$27,489.60
First Tier Total			\$27,489.60

CREDITS

N/A			
Second Tier Sub-Total			\$0.00
First Tier Mark Up			
Second Tier Total			\$0.00

Days Added By This Change Order

0

Reason For Added Days:

Additional General Conditions Expense Per Day

\$2,500.00

G.C.'s Total

TBD

TOTAL COSTS

Description	Total	P&O Rate	Amount
Labor	\$7,153.36	15.00%	\$8,226.36
Material	\$0.00	15.00%	\$0.00
Equipment Rental	\$0.00	15.00%	\$0.00
General Conditions	\$0.00	15.00%	\$0.00
Subcontractor	\$27,489.60	5.00%	\$28,864.08
Credits	\$0.00	0.00%	\$0.00
Sub Total of All Work			\$37,090.44

Bond Fee

1.50%

\$556.36

CHANGE ORDER COST

\$37,646.80

Contractor: _____

Date: _____

Owner: _____

Date: _____

Architect: _____

Date: _____

51 Foley St.
Santa Rosa, CA 95401
Ph. 707.579.8694
Fx. 707.579.8920

Bay Cities Fire Protection, Inc.

CHANGE ORDER #4

Date: December 8, 2022

To: Murray Building, Inc.
1181 Broadway
Sonoma, CA. 95476

Email: scott@murraybuilding.com

Regarding: NVC -Upper campus
1088 College Ave.
St. Helena, Ca. 94574

Replace all sprinklers not worked on so far (273 assorted types)

Materials: 273 sprinklers @ \$30.00/sprinkler = \$8,190.00

Labor: foreman sprinkler fitter 40 hrs. @ \$175.98/hr. = \$7,039.20

Journeyman fire sprinkler fitter 40hrs. @ \$161.24/hr. = \$6,449.60

10th period apprentice fire sprinkler fitter 40 hrs. @ \$145.27/hr. = \$5,810.80

Total \$19,299.60

Total: \$27,489.60

No work will be performed without approval of this change order & if delays in approval create extra costs in labor or materials these will be passed along.

If you have any questions or concerns regarding this matter, please contact Leon Kresheck at (707) 579-8694.

Signature: _____ Title: _____

Date: _____

CHANGE ORDER REQUEST

Distribution to:

☐
☐
☐
☐
☐

OWNER

ARCHITECT

CONTRACTOR

INSPECTOR

COR

40

TITLE: **Repair To Admin Ceiling**

PROJECT:	ARCHITECT:	C. O. R. No.	40
NVC UVC T.I.	Noll & Tam	Date:	12/9/2022
1088 College Avenue	729 Heinz Avenue	Arch. Project No.	
94574	Berkeley, Ca 94710	Contract For:	Modernization
	Fax:	Contract Date:	7.25.22
		DSA File No.	49-H7
OWNER:	INSPECTOR OF RECORD:	DSA App. No.	01-119725
Napa Valley CCD		OPSC App. No.	
2277 Napa Vallejo Hwy		Response to:	
Napa , Ca 94558		Arch. RFP No.	Own Req
Fax:	Fax:		

DESCRIPTION:

COR for repairs to the ceiling in the administration offices that was caused by a leak to the existing mechanical system.

MODIFICATION TO**CONTRACT SUM:**

(Line 22 from Page 2)

\$1,304.65**MODIFICATION TO****CONTRACT TIME:**

Supporting schedule information attached

CONTRACTORS CERTIFICATION AND WAIVER OF CLAIMS:

"The undersigned Contractor approves the foregoing as to the changes in work, if any, and as to the contract price specified for each item and as to the extension of time allowed, if any, for completion of the project as stated herein, and agrees to furnish all labor, materials, and service and to perform all work necessary to complete any additional work specified for the consideration stated herein. Submission of claims which have no basis in fact or which Contractor knows are false are made at the sole risk of the Contractor and may be a violation of the False Claims Act, as set forth in Government Code Sections 12650 et seq. It is understood that the changes to the Contract Documents set forth herein shall only be effective upon approval by the governing board of the District."

"It is expressly understood that the value of the extra work or changes expressly includes any and all of the Contractor's costs and expenses, both direct and indirect, resulting from additional time required on the project or resulting from delay to the project. Any costs, expenses, damages, or time extensions not included herein are deemed waived."

"Any alteration or revision of this Document, it's terms, or this Certification is deemed a waiver of any costs, expenses, damages, or time extensions included herein."

CONTRACTOR

		<i>Architect's Action</i>	
		☐	REJECT - Received Too Late.
		☐	REJECT - Inadequate Back-Up.
		☐	REJECT - Not in Proper Form.
		☐	Review and Comment Only

By. **Scott Murray**

Fax:

Date 12/9/2022

SUMMARY OF ATTACHMENTS TO:

PROJECT:

NVC UVC T.I.

1088 College Avenue

C.O. R. No.: **40**

Project No.:

Date: **12/9/2022**

DSA App. No.: **01-119725**

Page **2**

of **3**

Line	TITLE:	Repair To Admin Ceiling	ADDED	CREDIT
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ALL LINES SHALL BE FILLED IN, (zero values acceptable).

GENERAL CONTRACTOR'S WORK

1	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
2	Labor (attach itemized hours and rates)	\$1,117.71	\$0.00
3	Equipment (attach invoices)	\$0.00	\$0.00
4	Subtotal	\$1,117.71	\$0.00
5	General Contractor's Overhead and Profit, not to exceed fifteen percent (15%) of lines 1 & 4.	\$167.66	\$0.00
6	Subtotal	\$1,285.37	\$0.00
7	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 2.		\$0.00
8	Subtotal General Contractor Work (sum of lines 6 and 7.)	\$1,285.37	\$0.00

SUBCONTRACT WORK (Provide separate breakdown for each subcontract)*

9	Material (attach itemized quantity and unit cost <u>excluding</u> sales tax)	\$0.00	\$0.00
10	Labor (attach itemized hours and rates)	\$0.00	\$0.00
11	Vendor (attach invoices)	\$0.00	\$0.00
12	Subtotal	\$0.00	\$0.00
13	Subcontractor's overhead and profit on work performed by Sub-contractor, not to exceed fifteen percent (15%) of line 12.	Incl.	\$0.00
14	Subtotal	\$0.00	\$0.00
15	General Contractor's Overhead and Profit on subcontract work, not to exceed twenty percent (20%) of line 14.	\$0.00	\$0.00
16	Liability and Property Damage Insurance, Worker's Compensation Insurance, Social Security, and Unemployment Taxes, not to exceed thirty-five percent (35%) of line 10.	\$0.00	\$0.00

17	Total of Subcontract Work (sum of lines 14, 15 and 16)	<u>\$0.00</u>	<u>\$0.00</u>
18	Subtotal General Contractor and Subcontractor Work (sum of lines 8 and 17.)	<u>\$1,285.37</u>	<u>\$0.00</u>
19	Applicable Taxes (itemized by levy and by contract)	<u>\$0.00</u>	<u>\$0.00</u>
20	Subtotal (sum of lines 18 and 19)	<u>\$1,285.37</u>	<u>\$0.00</u>
21	Bond not to exceed one and one half percent (1 1 / 2%) of line 20.	<u>\$19.28</u>	<u>\$0.00</u>
22	TOTAL (sum of lines 20 and 21.) Copy to cover page.	<u>\$1,304.65</u>	<u>\$0.00</u>

* Attach additional copies of this page as required to summarize additional subcontracts.



MURRAY BUILDING, INC.

P.O. BOX 2201
SONOMA, CA 95476
(707) 939-9001 Ph. / (707) 939-9048 Fax

Account Of:

City Of St. Helena
1572 Railroad Avenue
St. Helena, Ca 95474

PROJECT: Upper Valley Campus - T.I.

DATE: 12.9.22

DESCRIPTION: Repair To Ceiling In Admin

P.C.O. #: 40

AS PER: Owner's Request

Project #: 148

POTENTIAL CHANGE ORDER DESCRIPTION
LABOR

Classification	Description	Hours	Rate	Amount
Foreman			\$136.61	\$0.00
Carpenter	Work with subcontractor trouble shooting system	9	\$124.19	\$1,117.71
				\$0.00
				\$0.00
Labor Total				\$1,117.71

MATERIAL

Description	Invoice #	Date	Amount
N/A			
Material Total			\$0.00

EQUIPMENT RENTAL

Description	Hours	Rate	Amount
N/A			
Rental Total			\$0.00

SUBCONTRACTORS

Invoice #	Date	Amount
N/A		
First Tier Total		\$0.00

CREDITS

N/A		
Second Tier Sub-Total		\$0.00
First Tier Mark Up		
Second Tier Total		\$0.00

Days Added By This Change Order

0

Reason For Added Days:

Additional General Conditions Expense Per Day

\$2,500.00

G.C.'s Total

TBD

TOTAL COSTS

Description	Total	P&O Rate	Amount
Labor	\$1,117.71	15.00%	\$1,285.37
Material	\$0.00	15.00%	\$0.00
Equipment Rental	\$0.00	15.00%	\$0.00
General Conditions	\$0.00	15.00%	\$0.00
Subcontractor	\$0.00	5.00%	\$0.00
Credits	\$0.00	0.00%	\$0.00
Sub Total of All Work			\$1,285.37

Bond Fee

1.50%

\$19.28

CHANGE ORDER COST

\$1,304.65

Contractor: _____

Date: _____

Owner: _____

Date: _____

Architect: _____

Date: _____

EXTRA WORK ORDER**MURRAY BUILDING**

P.O. BOX 2201
SONOMA, CA 95476
(707) 939-9001 Ph. / (707) 939-9048 Fax

Account Of:

City Of St. Helena
1572 Railroad Avenue
St. Helena, Ca 94574

PROJECT: Upper Valley Campus TI

DATE: 10.28.22

DESCRIPTION: Drywall Repair

PROJECT #: 148

EXTRA WORK ORDER DESCRIPTION

Drywall repair for water leak in ceiling of administration office hallway.

LABOR

Classification	Description	Hours	Rate	Amount
Carpenter	Ceiling Repair - Matt Ward 10.17.22	3.0		\$0.00
	Ceiling Repair - Matt Ward 10.19.22	4.0		\$0.00
	Ceiling Repair - Matt Ward 10.21.22	2.0		\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
Labor Total				\$0.00

MATERIAL

Description	Invoice #	Date	Amount
Taping Material - Invoice to follow on final billing			
Material Total			\$0.00

EXTRA WORK ORDER

EQUIPMENT RENTAL			
Description	Hours	Rate	Amount
N/A			
Rental Total			\$0.00

Owner / Inspector: Jay Leininger

Date: 11/29/22

Contractor: _____

Date: _____



Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: CONSENT ITEMS

Subject: Approval of Project Plans for CIP R21-02, Authorization to Bid Pratt & Elmhurst Avenue Crosswalk Improvements on Main Street

CEQA Determination: Class I Categorical Exemption under Section 15301 of CEQA

Prepared By: Mario Traverso, Public Works Assistant Engineer

Reviewed By: Joseph Leach, Public Works Director and City Engineer

Approved By: Anil Comelo, City Manager

BACKGROUND

The Pratt and Elmhurst Avenue Crosswalk Improvements project is a FY22/23 CIP project that was developed as part of the City's continued effort to increase safety at the uncontrolled pedestrian crossings within the City. The project involves replacing aged curb ramps with extended, ADA compliant curb ramps, installing rectangular rapid flashing beacons (RRFBs), refreshing crosswalk pavement markings and installing new advance warning pavement markings.

DISCUSSION

The design for this project was completed in July 2021, but has experienced delay with delivery due to various staff transitions. Staff has recently finalized the design plans, submitte the Caltrans encroachment permit application and assembled the contract documents and specifications in preparation for soliciting bids. Plans and specifications were prepared by GHD Engineering and City staff will provide construction management and project administration.

FISCAL IMPACT

The Pratt and Elmhurst Avenue Crosswalk Improvement Project is included in the June 2022 adopted five-year Capital Improvement Program and identified in the FY 22/23 approved budget. Details are provided in Table 1. Funding sources for this project

include a \$50,000 grant provided through a Transportation Development Act (TDA) as well as SB1 and HUTA funds. Construction Management will be performed by City staff providing a \$25,000 cost savings when compared to the budget. A revised Engineer's Estimate for this project is \$100,000.

Table 1 - FY 2022/23 R21-02 Approved CIP Budget

Expenditures	Budget
Construction Management	\$ 25,000
Construction Contract	\$200,000
Contingency	\$ 20,000
<i>Construction Totals</i>	<i>\$245,000</i>

RECOMMENDED ACTION

Approval of Plans and Authorize to Bid

ATTACHMENTS

[Estimate - Pratt & Elmhurst Crosswalk Improvements](#)

[Resolution - Pratt & Elmhurst Crosswalk Improvements](#)

[Plans - Pratt & Elmhurst Crosswalk Improvements](#)

Pratt and Elmhurst Avenue Crosswalk Improvements Project				Engineers Estimate	
Bid Open: TBD					
Bid Schedule					
	DESCRIPTION	UNIT	QUANTITY	UNIT COST, \$	ITEM TOTAL, \$
1	Mobilization	LS	1	\$10,000	\$10,000.00
2	Traffic Control	LS	1	\$5,000	\$5,000.00
3	Storm Water Pollution Prevention	LS	1	\$2,500	\$2,500.00
4	Pratt Ave East - Case CM Modified	LS	1	\$8,500	\$8,500.00
5	Pratt Ave West - Case F Modified	LS	1	\$5,000	\$5,000.00
6	Elmhurst Ave North - Case C Modified	LS	1	\$8,500	\$8,500.00
7	Elmhurst Ave South - Case C Modified	LS	1	\$10,000	\$10,000.00
8	Elmhurst Ave East - Case C Modified	LS	1	\$7,800	\$7,800.00
9	Thermoplastic Pavement Markings	SF	800	\$15	\$12,000.00
				TOTAL	\$69,300.00
Pratt and Elmhurst Avenue Crosswalk Improvements Project				Engineers Estimate	
Bid Open: TBD					
Bid Alternate 1					
	DESCRIPTION	UNIT	QUANTITY	UNIT COST, \$	ITEM TOTAL, \$
1	RRFB Installation	LS	1	\$25,000	\$25,000.00
				TOTAL	\$25,000.00

CITY OF ST. HELENA

RESOLUTION No. 2023 -

Finding the R21-02 Pratt and Elmhurst Avenue Crosswalk Improvements Project Exempt from CEQA; Approving and adopting the project plans; and Authorizing the Bid Request for the R21-02 Pratt and Elmhurst Avenue Crosswalk Improvements Project.

RECITALS

- A. The City of St. Helena is committed to increasing safety for pedestrians and improving pedestrian facilities within the City; and
- B. On June 22, 2022, the Metropolitan Transportation Commission approved an allocation of Transportation Development Act funds to the City of St. Helena for FY 2021-22 in the amount of \$50,000 to support the Pratt and Elmhurst Crosswalk Improvements Project; and
- C. The R21-02 Pratt and Elmhurst Crosswalk Improvements Project is included in adopted 5-Year Capital Improvement Program and the FY22/23 budget; and
- D. The Project Plans for R21-02 Pratt and Elmhurst Crosswalk Improvements Project have been prepared by GHD Civil Engineering, reviewed by the City Engineer, and presented for approval and authorization to bid.

RESOLUTION

The City Council of the City of St. Helena hereby resolves as follows:

- 1. The project is categorically exempt from the California Environmental Quality Act, pursuant to CEQA Guidelines section 15301, Existing Facilities Class 1 which exempts the operation, repair, maintenance, and permitting of existing facilities involving negligible or no expansion of use including publicly owned facilities; and
- 2. The Project Plans will be available online at the City of St. Helena's website and for viewing at St. Helena Public Works, 1572 Railroad Avenue, are hereby approved; and
- 3. The Public Works Director/City Engineer is authorized to solicit bids for the subject project.

Approved at a Regular Meeting of the St. Helena City Council on January 10, 2023, by the following vote:

Mayor Dohring: _____
Vice Mayor Hall: _____
Councilmember Chouteau: _____
Councilmember Hardy: _____
Councilmember Summers: _____

APPROVED:

ATTEST:

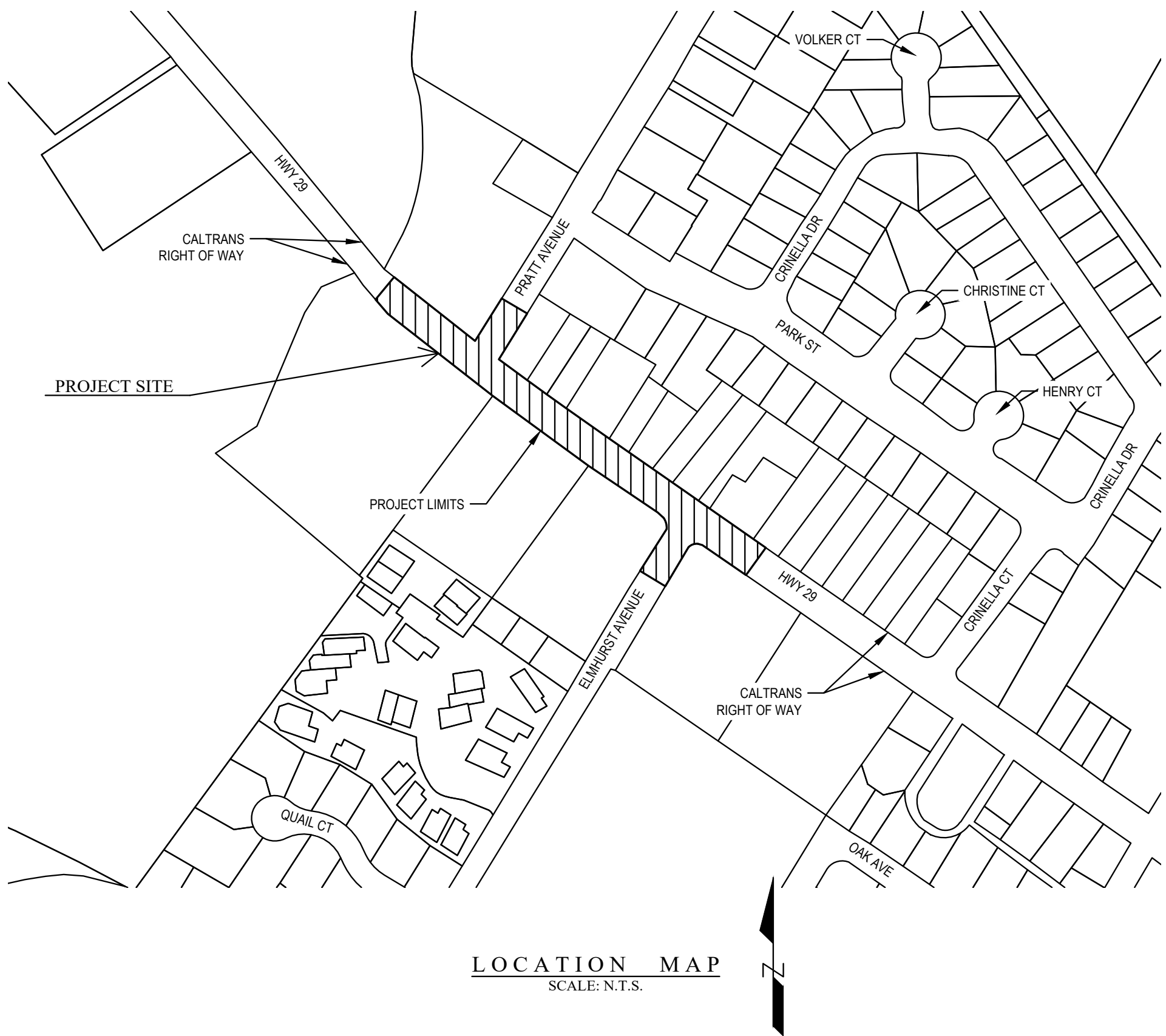
Paul Dohring, Mayor

Cindy Tzafoopoulos, City Clerk

CITY OF SAINT HELENA

PRATT & ELMHURST AVENUE CROSSWALK IMPROVEMENTS
ON MAIN STREET/HIGHWAY 29

CITY PROJECT NO. R21-02



SHEET INDEX

1. G1 COVER SHEET
2. G2 GENERAL NOTES, ABBREVIATIONS, LEGEND, AND SYMBOLS
3. G3 PROJECT DETAILS 1
4. G4 PROJECT DETAILS 2
5. C1 IMPROVEMENT PLAN

MAYOR
Paul Dohring

VICE MAYOR
Eric Hall

COUNCIL MEMBERS
Lester Hardy
Anna Chouteau
Billy Summers

CITY MANAGER
Anil Comelo

APPROVED BY:
JOHN WANGER
INTERIM CITY ENGINEER

DATE



DATE: JULY 2021	DESIGNED BY: HO	DRAWN BY: HO	CHECKED BY: MW
PROJECT NO. 11221904			
 GHD Inc. 2235 Mercury Way Suite 150 San Ramon, CA 94583 USA T 925 253 1010 F 925 527 8879 W www.ghd.com			
CITY OF SAINT HELENA PUBLIC WORKS DEPARTMENT 1572 RAILROAD AVE. ST. HELENA, CALIFORNIA, 94574 PH. 707-968-2658			
			
PRATT & ELMHURST AVENUE CROSSWALK IMPROVEMENTS ON MAIN STREET/HIGHWAY 29 COVER SHEET			
SHEET G1 1 OF 5			

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1	1. ALL WORKMANSHIP, MATERIALS, AND CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL CONFORM TO THE LATEST REVISIONS FOR THE CITY OF ST. HELENA STANDARDS AND 2018 CALTRANS STANDARD SPECIFICATIONS AND STANDARD PLANS. ALL WORK IS TO BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ALL APPLICABLE REGULATORY REQUIREMENTS. 2. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 OR CALL 811 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION FOR MARKOUTS OF EXISTING UNDERGROUND FACILITIES AND POTHOLE FOR EXACT LOCATION. 3. ANY DAMAGES TO PRIVATE, CITY OR UTILITY OWNER PROPERTY CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ALL DAMAGES CAUSED BY CONTRACTOR OPERATIONS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE. 4. NO CONSTRUCTION SHALL COMMENCE WITHOUT PRIOR APPROVAL OF THE CITY OF ST. HELENA. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE OFF-SITE DISPOSAL AND RECYCLING (WHERE POSSIBLE) OF ALL REMOVED OR DEMOLISHED BITUMINOUS PAVEMENT, CONCRETE, REINFORCEMENT, AND SPOILS AS REQUIRED BY THE ENGINEER AND PER THE SPECIFICATIONS. 6. ALL LANDSCAPING AND IRRIGATION SYSTEMS OR OTHER PRIVATE IMPROVEMENTS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED IN KIND OR AS DIRECTED BY THE ENGINEER. 7. EXISTING TURF, PLANTS, SHRUBBERY AND TREES SHALL BE REMOVED ONLY AS DIRECTED BY THE ENGINEER. 8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL DRIVEWAYS DURING CONSTRUCTION. 9. ACCESS FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES. 10. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), STANDARD SPECIFICATIONS AND STANDARD PLANS. FLAGGERS SHALL BE PROVIDED WHEN NECESSARY. ALL SIGNS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROVIDE PROPER VISIBILITY. 11. THE CONTRACTOR SHALL HAVE A CLASS "A" LICENSE. 12. CAUTION SHALL BE EXERCISED WHEN DIGGING WITHIN THE DRIPLINE OF ANY TREE. ROOTS LARGER THAN 2 INCHES SHALL NOT BE CUT WITHOUT PERMISSION FROM THE ENGINEER. IN THE EVENT THAT A TREE ROOT LARGER THAN 2 INCHES NEEDS TO BE REMOVED, THE ROOT PRUNING SHALL BE PERFORMED BY A LICENSED ARBORIST APPROVED BY THE ENGINEER, AT THE CONTRACTOR'S EXPENSE. 13. CONTRACTOR SHALL PROTECT AND PRESERVE CITY SURVEY MONUMENTS. IF NOT POSSIBLE, CONTRACTOR SHALL COORDINATE 10 DAYS IN ADVANCE WITH CITY OF ST. HELENA FOR REFERENCING OF EXISTING MONUMENTS PRIOR TO WORK IN THE AREA. IF MONUMENT(S) ARE DISTURBED CONTRACTOR SHALL RECONSTRUCT PER CITY OF ST. HELENA STANDARDS. 14. ALL PAVEMENT STRIPING, MARKINGS, AND SIGNS DAMAGED DUE TO CONSTRUCTION SHALL BE REPLACED IN KIND. 15. CONTRACTOR SHALL PROTECT AND PRESERVE EXISTING FACILITIES IF POSSIBLE OR REPLACE IN KIND. 16. ALL TRENCHES SHALL BE PAVED OR COVERED WITH APPROVED TRENCH PLATES WHILE CONSTRUCTION WORK IS NOT ACTIVELY COMMENCING OR AT THE END OF EACH WORKING DAY. 17. CONTRACTOR TO MEET ALL REQUIREMENTS OF CALTRANS ENCROACHMENT PERMIT FOR THE PROJECT. 18. NO TOPOGRAPHIC OR RIGHT-OF-WAY SURVEYS WERE COMPLETED FOR THIS PROJECT. THE BASE MAP UTILIZED IN PREPARATION OF THE PLANS WAS FROM AVAILABLE INFORMATION, INCLUDING STOCK AERIAL IMAGERY, APN PARCEL LINE INFORMATION AND SCHEMATIC UTILITY MAPS. PROJECT IMPROVEMENTS DEPICTED IN THIS PLAN SET ARE APPROXIMATE AND REQUIRE CONTRACTOR FIELD MEASUREMENTS AND CONFIRMATION BY THE CITY PRIOR TO REMOVAL, RECONSTRUCTION AND INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR MUST NOTIFY THE CITY 48-HOURS PRIOR TO ANY WORK BEING COMPLETED AND MUST HAVE CITY APPROVAL TO BEGIN WORK. 19. CONTRACTOR TO OBTAIN CALTRANS "DOUBLE PERMIT" ENCROACHMENT PERMIT PRIOR TO BEGINNING WORK.		DETAIL IDENTIFICATION 1 C-101 DETAIL NUMBER SHEET NUMBER ON WHICH DETAIL APPEARS 1 VAR DETAIL SCALE: 1" = 20' SHEET NUMBER ON WHICH DETAIL WAS TAKEN "VAR" INDICATES THAT DETAIL IS REFERENCED FROM MULTIPLE DWGS NOTE: THIS IS A STANDARD LEGEND SHEET, THEREFORE, SOME SYMBOLS OR ABBREVIATIONS MAY APPEAR ON THIS SHEET AND MAY NOT BE UTILIZED ON THIS PROJECT DETECTABLE WARNING SURFACE CURB RAMP AND APPROXIMATE SIDEWALK, CURB AND GUTTER, CURB RAMP (N) RECTANGULAR RAPID FLASHING BEACON (RRFB) (E) STREET SIGN (N) STREET SIGN (E) WATER LINE (E) ELECTRICAL LINE (E) OH ELECTRICAL LINE (E) UG CABLE TV LINE (E) OH CABLE TV LINE (E) GAS LINE (E) SEWER LINE (E) STORM DRAIN LINE <table><tr><td>@</td><td>AT</td><td>FC</td><td>FACE OF CURB</td><td>PRC</td><td>POINT OF REVERSE CURVE</td></tr><tr><td>AB</td><td>AGGREGATE BASE</td><td>FG</td><td>FINISHED GRADE</td><td>PT</td><td>POINT OF TANGENCY</td></tr><tr><td>AC</td><td>ASPHALT CONCRETE</td><td>FH</td><td>FIRE HYDRANT</td><td>PRC</td><td>PRESSURE 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4	1. THE CONTRACTOR SHALL UTILIZE THEIR OWN FIELD MEASUREMENTS, TO "FIELD FIT" EACH NEW CURB RAMP SO THAT ALL WORK CONFORMS TO ALL REQUIREMENTS IN 2010 ADA STANDARDS TITLE II AND CALTRANS REVISED STANDARD PLANS, INCLUDING, BUT NOT LIMITED TO, RAMP SLOPES, TRANSVERSE SLOPES, DIMENSIONS, DETECTABLE WARNINGS, AND ALL LANDSCAPE, HARDSCAPE, AND UTILITY RESTORATION. 2. CONSTRUCT (N) PEDESTRIAN CURB RAMP PER CALTRANS REVISED STANDARD PLAN A88A, PROVIDE DETECTABLE WARNING SURFACE DETAIL PER CALTRANS STANDARD A88A. MAXIMUM RAMP SLOPE = 7.5% ; MAXIMUM CROSS SLOPE = 1.5% ; MAXIMUM SLOPE @ CURB (CASE A, TYP) = 9%. 3. ALL CONCRETE CONSTRUCTION (THICKNESS, JOINTS, FINISH, ETC) SHALL MEET CITY STANDARD 315. 4. REMOVE AND REPLACE (E) HMA TO MIN LIMITS SHOWN IN PLANS INCLUDING 3-Feet FROM GUTTER LIP, MATCH (E) THICKNESS OR PROVIDE 3" HMA, WHICHEVER IS GREATER. ROADWAY SLOPE WITHIN 4' OF GUTTER LIP WITHIN RAMP LANDING SHALL NOT EXCEED 5%. ADJUST LIMITS OF HMA PAVEMENT REMOVAL AND REPLACEMENT AS REQUIRED TO REDUCE RAMP LANDING SLOPE TO 5% OR BELOW.																																																																																																																																																																																																																
5	SIGNING, STRIPING, AND PAVEMENT MARKINGS																																																																																																																																																																																																																
6	1. ALL LAYOUT WORK IS TO BE PERFORMED BY THE CONTRACTOR AND SHALL BE FIELD APPROVED BY A CITY INSPECTOR BEFORE THE ACTUAL WORK BEGINS. 2. PAVEMENT MARKERS AND TRAFFIC STRIPE DETAIL REFERENCE NUMBERS ARE SHOWN ON CALTRANS STANDARD PLAN SHEETS A20A, A20B, A20C, A20D, A24A, A24B, A24C, A24D, A24E, AND A24F AS WELL AS 2014 CA MUTCD REVISION 5. 3. ROADSIDE SIGNS: ROADSIDE SIGNS SHALL BE AS SHOWN ON THE PLANS, IN ACCORDANCE WITH THE PROVISIONS OF SECTION 82, "SIGNS AND MARKERS", OF THE 2018 STATE STANDARD SPECIFICATIONS, AND AS DIRECTED BY THE CITY. 4. SIGN PANELS SHALL CONFORM TO 2018 CALTRANS SIGN PANEL SPECIFICATIONS. 5. LOCATIONS OF ALL SIGNS, MARKERS, AND DELINEATIONS SHALL BE AS SHOWN ON THE PLANS AND AS DIRECTED BY THE CITY. 6. SIGNS, MARKERS, AND DELINEATORS: MARKERS AND DELINEATORS SHALL BE AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE PROVISIONS OF SECTION 82, "SIGNS AND MARKERS" OF THE 2018 STATE STANDARD SPECIFICATIONS AND AS DIRECTED BY THE CITY ENGINEER. 7. TRAFFIC STRIPES AND PAVEMENT MARKINGS: TRAFFIC STRIPES AND PAVEMENT MARKINGS SHALL BE AS SHOWN ON THE PLANS, IN ACCORDANCE WITH THE PROVISIONS OF SECTION 84, "MARKINGS" OF THE 2018 STATE STANDARD SPECIFICATIONS AND THESE SPECIAL PROVISIONS, AND AS DIRECTED BY THE CITY. 8. ALL TRAFFIC STRIPES AND PAVEMENT MARKINGS, INCLUDING STOP LINES, AND ALL CHANNELIZING LINES SHALL BE THERMOPLASTIC. 9. THERMOPLASTIC TRAFFIC STRIPES AND PAVEMENT MARKINGS: THERMOPLASTIC TRAFFIC STRIPES AND PAVEMENT MARKINGS SHALL CONFORM TO THE PROVISIONS OF SECTION 84-2, "TRAFFIC STRIPES AND PAVEMENT MARKINGS" OF THE 2018 STATE STANDARD SPECIFICATIONS. 10. THERMOPLASTIC MATERIAL SHALL BE APPLIED AT A MINIMUM THICKNESS OF 0.125 INCH. 11. PAINTED/THERMOPLASTIC STRIPES AND PAVEMENT MARKINGS: EXISTING PAINTED/THERMOPLASTIC TRAFFIC STRIPES AND PAVEMENT MARKINGS WHICH CONFLICT WITH THE NEW TRAFFIC STRIPING AND PAVEMENT MARKING PLANS SHALL BE REMOVED BY THE CONTRACTOR, IN ACCORDANCE WITH SECTION 15 AND SECTION 84-9 "EXISTING MARKINGS" OF THE 2018 STATE STANDARD SPECIFICATIONS, EXCEPT THAT BLAST CLEANING SHALL NOT BE PERMITTED.																																																																																																																																																																																																																
	A	B	C	D	E	F	G	H																																																																																																																																																																																																									

DATE: JULY 2021
DESIGNED BY: HO
DRAWN BY: HO
CHECKED BY: MW

PROJECT NO.
11221904


GHD Inc.
2235 Mercury Way Suite 150
Santa Rosa, CA 95403
Tel: 707.525.1010 Fax: 707.527.8879 www.ghd.com

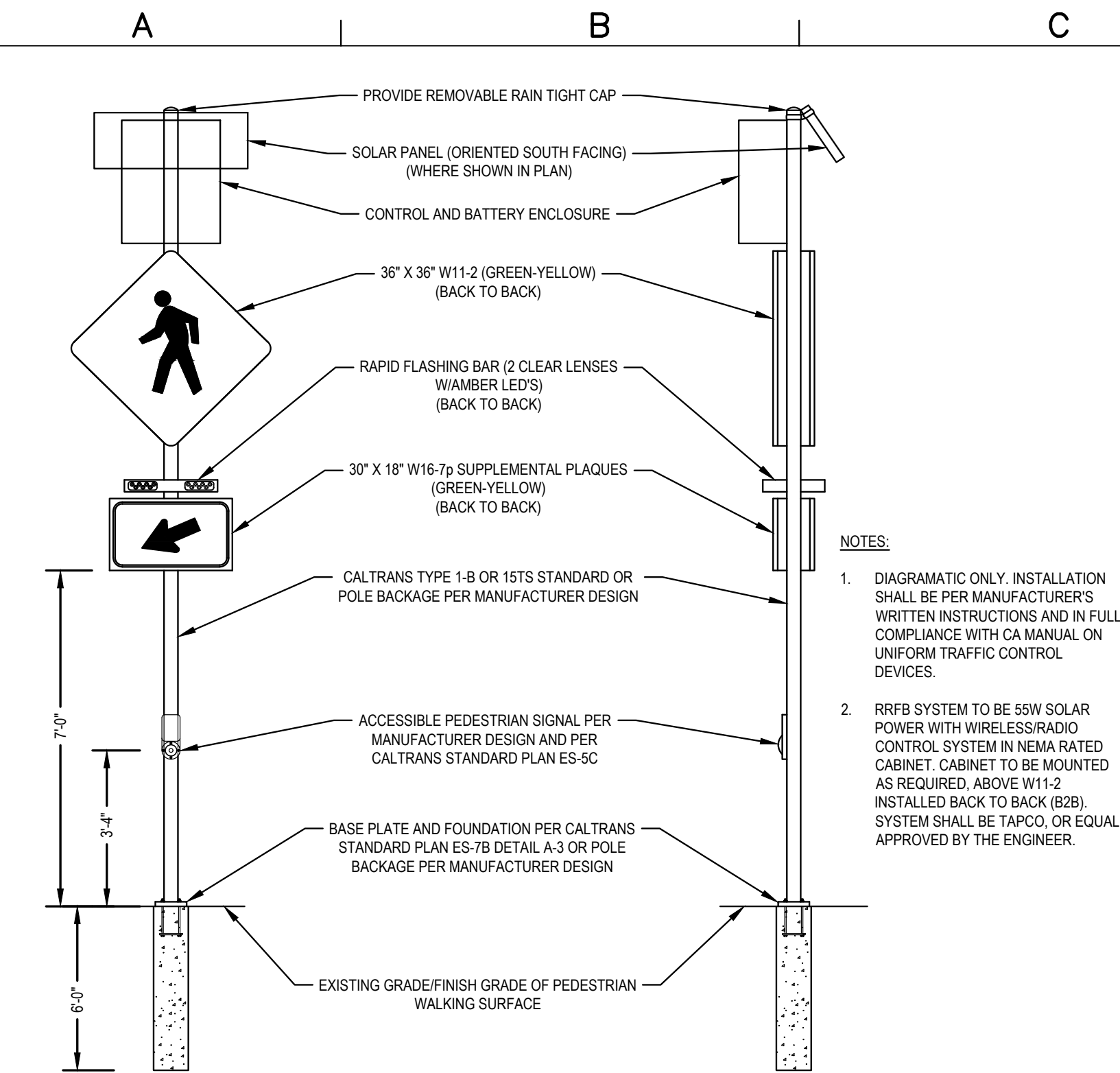
CITY OF ST. HELENA
PUBLIC WORKS DEPARTMENT
1572 RAILROAD AVE, ST. HELENA, CALIFORNIA, 94574
PH: 707-988-2658



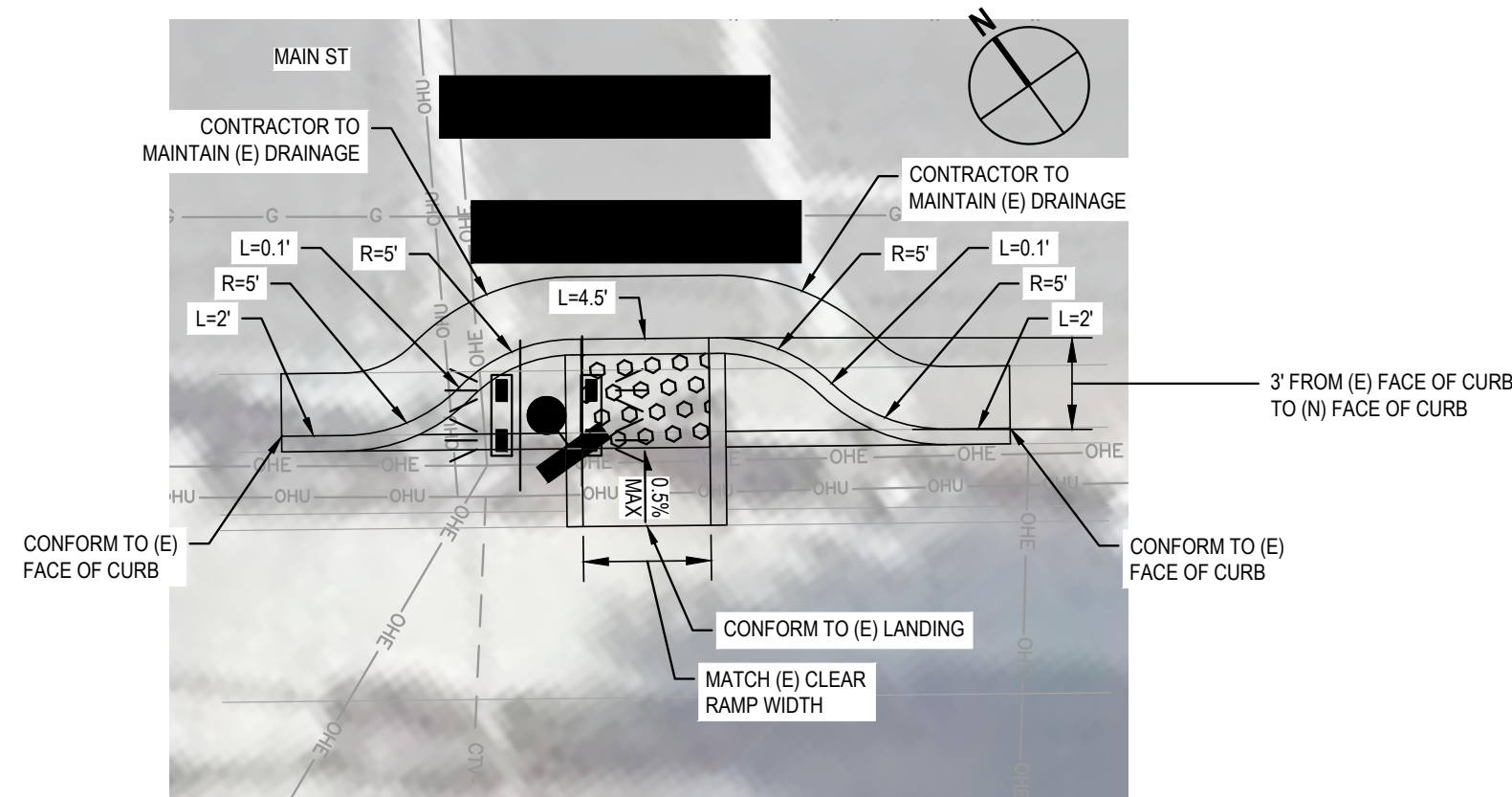
PRATT & ELMHURST AVENUE CROSSWALK IMPROVEMENTS
ON MAIN STREET/HIGHWAY 29
GENERAL NOTES, ABBREVIATIONS, LEGEND AND SYMBOLS

SHEET
G2
2 OF 5

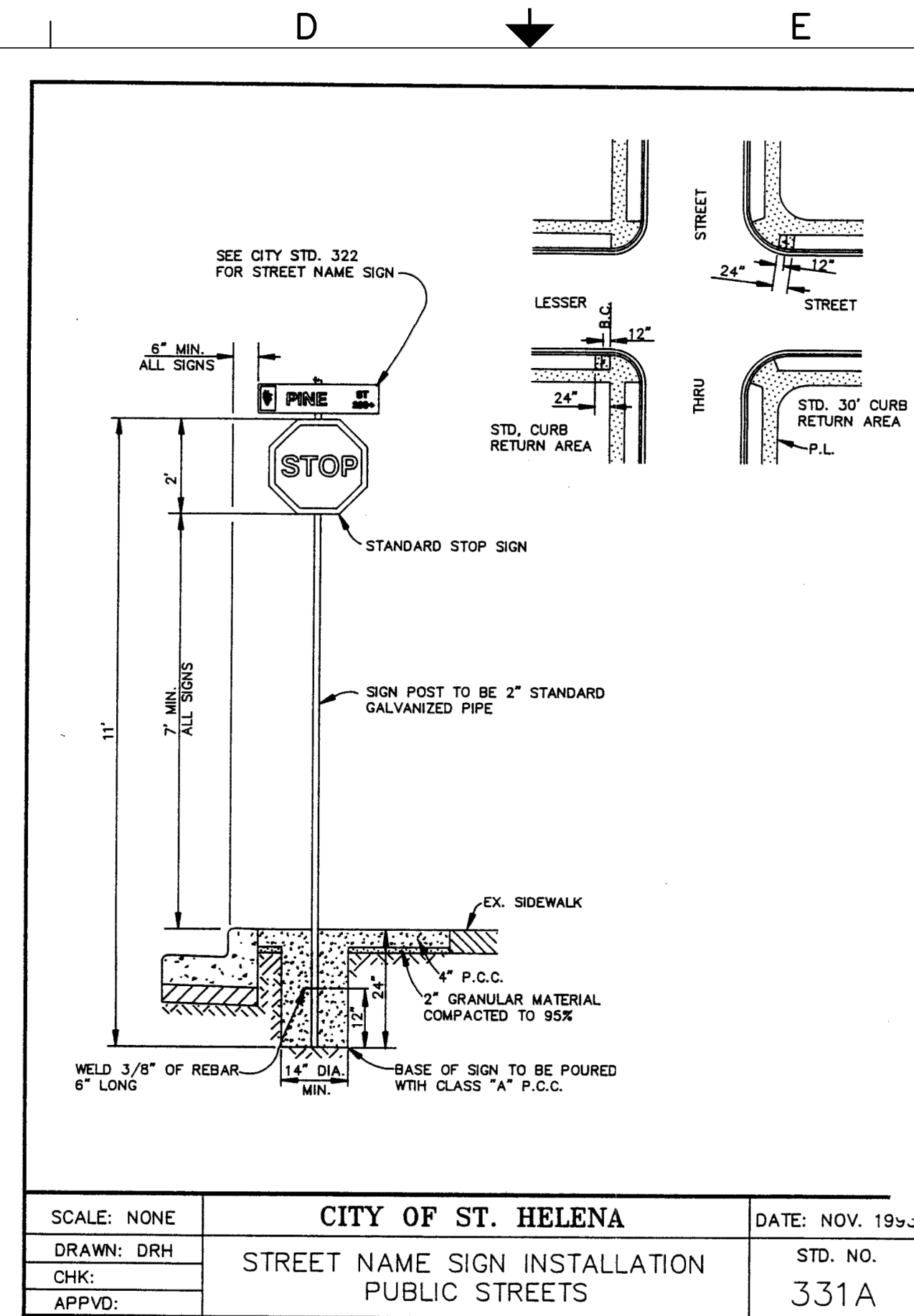

Matthew J. Wagner
3/5/21



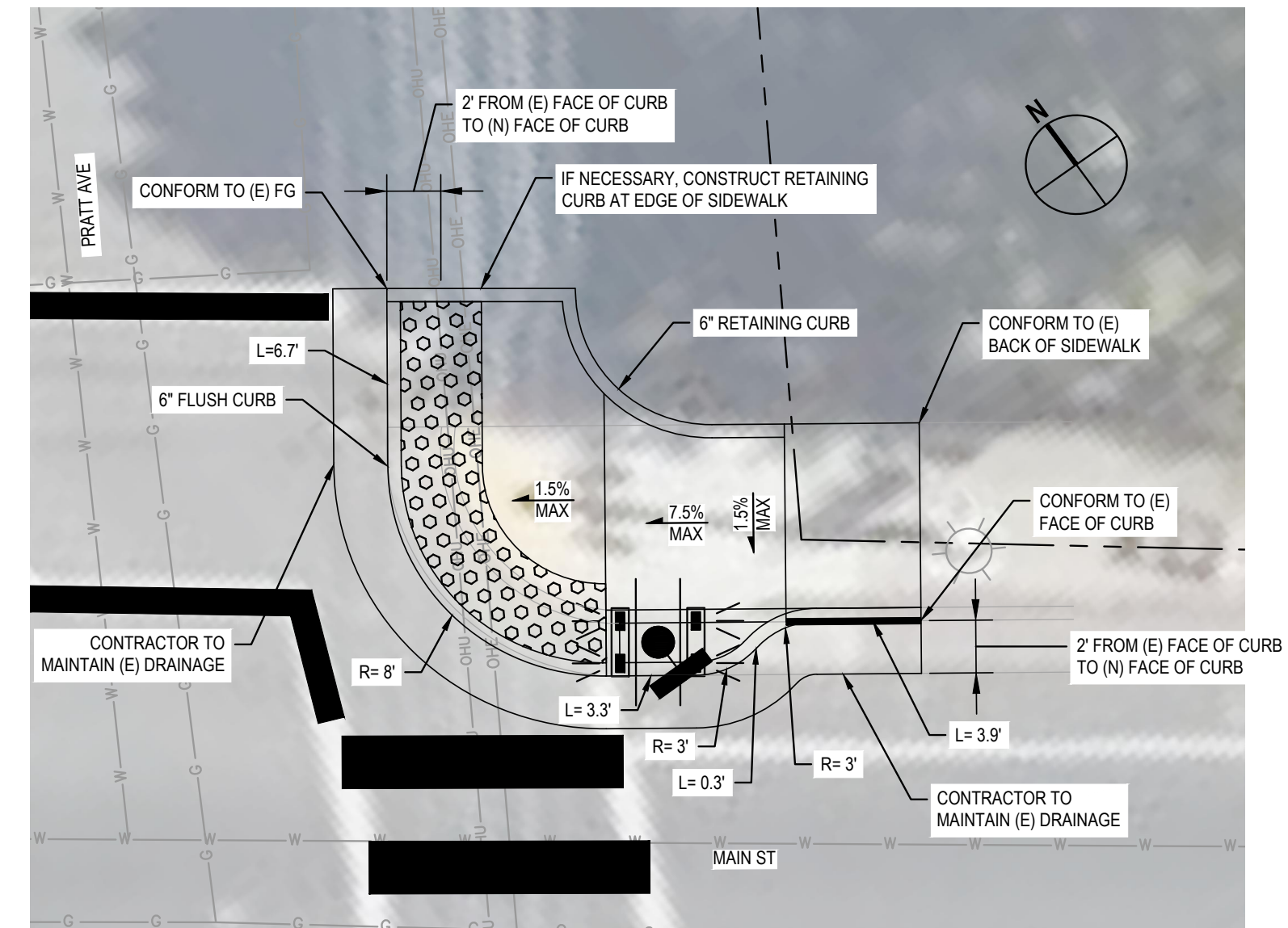
1	TYPICAL EQUIPMENT INSTALLATION OF RECTANGULAR RAPID FLASHING BEACON (RRFB) SYSTEM WITH PEDESTRIAN PUSH BUTTON
-	N.T.S.



4 SOUTH PEDESTRIAN CURB EXTENSION (BULB-OUT) DETAIL
- N.T.S.

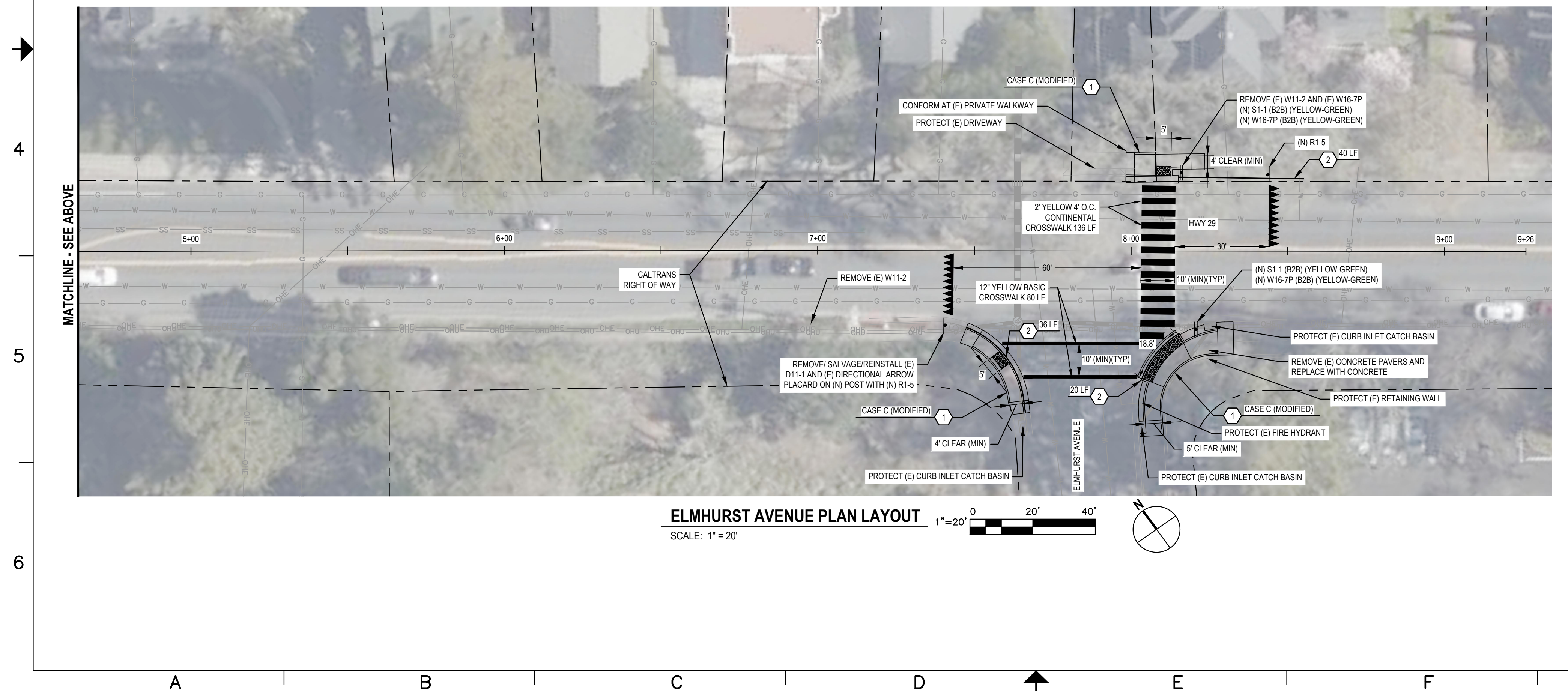
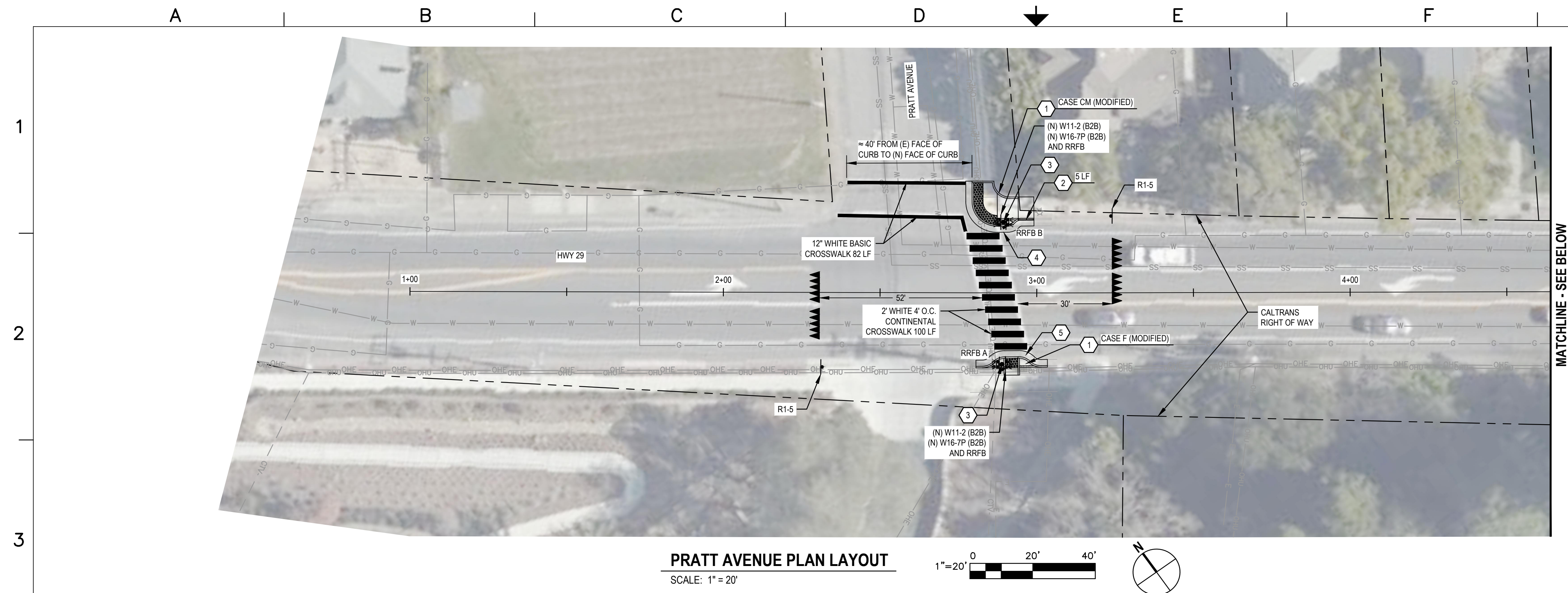


2 STREET NAME SIGN INSTALLATION PUBLIC STREETS
- N.T.S.



3 NORTH PEDESTRIAN CURB EXTENSION (BULB-OUT) DETAIL





- ## SHEET KEYNOTES

1. DEMOLISH AND CONSTRUCT PEDESTRIAN CURB RAMP PER CALTRANS STD PLAN A88A AND A88B TO THE NEAREST CONSTRUCTION JOINT (APPROXIMATE LIMITS SHOWN). SEE DETAIL  AND  ANTICIPATED RAMP CASE IS AS NOTED ON PLAN. PROVIDE DETECTABLE WARNING SURFACE PER CALTRANS STD.
2. PAINT CURB RED (2-COATS).
3. INSTALL SOLAR POWERED WIRELESS RECTANGULAR RAPID FLASHING BEACON SYSTEM, BACK TO BACK AS INDICATED IN PLAN PER  (TYP).
4. CONSTRUCT (N) CURB EXTENSION (BULB-OUT) PER  CONTRACTOR TO MAINTAIN (E) DRAINAGE AND MAKE DESIGN MODIFICATIONS AS REQUIRED.
5. CONSTRUCT (N) CURB EXTENSION (BULB-OUT) PER  CONTRACTOR TO MAINTAIN (E) DRAINAGE AND MAKE DESIGN MODIFICATIONS AS REQUIRED.

LEGEND

- | | |
|---|---|
|  | YIELD LINE PAVEMENT MARKING PER CALTRANS STD. A24E |
|  | CONTINENTAL CROSSWALK PER CALTRANS STD 24F |
|  | BASIC CROSSWALK PER CALTRANS STD 24F |
|  | INSTALL NEW SIGN ON NEW POST AND FOUNDATION PER CITY
STD 331A, PER  |

SHEET GENERAL NOTES

1. ALL LINEWORK SHOWN ON PLANS ARE APPROXIMATED. LINEWORK IS BASED ON FIELD ESTIMATES AND AERIAL PHOTO. NO TOPOGRAPHIC SURVEY WAS PERFORMED. CONTRACTOR TO FIELD VERIFY EXACT MEASUREMENTS IN THE FIELD AND UTILIZE MEASUREMENTS FOR FIELD OF WORK MEETING CONTRACT REQUIREMENTS.
2. PROTECT ALL DRAINAGE INLETS AND CATCH BASINS WITH TEMPORARY CONSTRUCTION SITE BMP MEASURES.
3. CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMIT (DOUBLE PERMIT) FROM CALTRANS PRIOR TO CONSTRUCTION WORK WITHIN CALTRANS RIGHT OF WAY. SEE SPECIFICATIONS FOR MORE INFORMATION.
4. ALL STRIPING AND MARKINGS SHALL BE THERMOPLASTIC.

DATE: JULY 2021
DESIGNED BY: HO
DRAWN BY: HO
CHECKED BY: MW

PROJECT NO.



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2235 Mercury Way Suite 150
Santa Rosa California 95407 USA
T 1 707 523 1010 **F** 1 707 527

CITY OF ST. HELENA
PUBLIC WORKS DEPARTMENT
1572 RAILROAD AVE, ST. HELENA, CALIFORNIA, 94574
PH. 707-968-2658



PRATT & ELMHURST AVENUE CROSSWALK IMPROVEMENTS
ON MAIN STREET/HIGHWAY 29

IMPROVEMENT PLAN

SHEET

C1

5 OF 5



Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: CONSENT ITEMS

Subject: Recommended approval of a Resolution authorizing an increase to the salary range for the Finance Manager to \$116,975 - \$142,184.

CEQA Determination: Not a CEQA project

Prepared By: Mandy Kellogg, Administrative Services Director

Reviewed By: April Mitts, Assistant City Manager

Approved By: Anil Comelo, City Manager

BACKGROUND

The City of St. Helena Finance Division of the Administrative Services Department handles the City's financial operations of the City, including management of all City funds and overseeing the internal financial operations of all departments. The Finance Division is responsible for numerous City financial matters, including preparing the annual budget, collecting business license and Transient Occupancy Tax revenue, accounts payable, payroll administration, and preparing annual financial statements.

The Fiscal Year 2022-23 Finance Division staffing model included an Assistant Administrative Services Director to support the Administrative Services Director with overseeing these critical functions. As a result of several vacancies, staff reassessed the needs of the Department and recommended that recruiting for a Finance Manager, rather than an Assistant Administrative Services Director, would better suit the current needs. The position has been vacant since June 2022.

DISCUSSION

The City retained Regional Government Services (RGS) to assist with recruiting for the Finance Manager position in order to attract a larger candidate pool by utilizing their more robust recruitment services. The City went through two rounds of recruitments without placing a qualified candidate. During the first round, the City identified one qualified

candidate and made an offer of employment. However, the candidate turned down the offer due to the inability to secure housing in the area due to the high cost of living.

During the second round the City received no applications. RGS tracked the recruitment as it was live and noted that it received high interest through viewing, however no applications submitted. This was likely due to a large number of recruitments for Finance Manager positions at other agencies with higher salaries and more accessible housing.

Over the course of the last several years the City has experienced significant recruiting challenges primarily due to the salary scales at the City being significantly lower than competitor agencies. The net effect of having lower compensation scales has been higher staff turn-over and delays or difficulties in filling key positions within the organization. The vacancy of the Finance Manager position has placed a significant burden on staff members within the Administrative Services Department and created delays in completing projects and tasks.

City staff contacted our consultant from Ralph Anderson Associates, who has conducted salary compensation analysis for the City over the past several years, to request recommendations for the Finance Manager salary range. When analyzing the data collected in May 2022, the consultant noted that the salary for this position was 7.6% below market median during that time and that the market has moved by at least 5% since that time. Based on this information, the consultant recommended a 10% increase to the salary range. He noted that a 5% increase was not likely to increase competitiveness with the market based on the current data. Therefore, City staff is recommending a 10% increase to the existing salary range as outlined below.

Existing Salary Range

Position	Timebase	Step A	Step B	Step C	Step D	Step E
Finance Manager	Annual	\$106,341	\$111,658	\$117,241	\$123,103	\$129,258

Recommended Salary Range

Position	Timebase	Step A	Step B	Step C	Step D	Step E
Finance Manager	Annual	\$116,975	\$122,823	\$128,965	\$135,413	\$142,184

FISCAL IMPACT

The adopted FY 2023 budget included funding for an Assistant Administrative Services Director, which is \$7,500 higher the recommended annual salary for the Finance Manager. Therefore, there is a net fiscal decrease of \$7,500 which is spread across the General Fund, Water Fund, and Wastewater Fund.

RECOMMENDED ACTION

Staff recommends adoption of the attached resolution.

ATTACHMENTS

[Resolution - Finance Manager](#)

CITY OF ST. HELENA

RESOLUTION NO. 2023-

**Resolution of the City Council of the City of St. Helena
authorizing an increase to the salary range for the
Finance Manager to \$116,975 - \$142,184.**

WHEREAS, the City of St. Helena Finance Division of the Administrative Services Department handles the City's financial operations of the City, including management of all City funds and overseeing the internal financial operations of all departments; and

WHEREAS, the Finance Division is responsible for numerous City financial matters, including preparing the annual budget, collecting business license and Transient Occupancy Tax revenue, accounts payable, payroll administration, and preparing annual financial statements; and

WHEREAS, the current Finance Division staffing model includes a Finance Manager to support the Administrative Services Director with overseeing these critical functions and the position has been vacant since June 2022; and

WHEREAS, the City retained Regional Government Services (RGS) to assist with recruiting for the Finance Manager position in order to attract a larger candidate pool by utilizing their more robust recruitment services; and

WHEREAS, the City went through two rounds of recruitments without placing a qualified candidate and during the first round, the City identified one qualified candidate and made an offer of employment. However, the candidate turned down the offer due to the inability to secure housing in the area due to the high cost of living; and

WHEREAS, during the second round the City received no applications. RGS tracked the recruitment as it was live and noted that it received high interest through viewing, however no applications submitted. This was likely due to a large number of recruitments for Finance Manager positions at other agencies with higher salaries and more accessible housing; and

WHEREAS, over the course of the last several years the City has experienced significant recruiting challenges primarily due to the salary scales at the City being significantly lower than competitor agencies. The net effect of having lower compensation scales has been higher staff turn-over and delays or difficulties in filling key positions within the organization. The vacancy of the Finance Manager position has placed a significant burden on staff members within the Administrative Services Department and created delays in completing projects and tasks; and

WHEREAS, City staff contacted our consultant from Ralph Anderson Associates, who has conducted salary compensation analysis for the City over the past several years, to request recommendations for the Finance Manager salary range. When analyzing the data collected in May 2022, the consultant noted that the salary for this position was 7.6% below market median during that time and that the market has moved by at least 5% since that time. Based on this information, the consultant recommended a 10% increase to the salary range. He noted that a 5% increase was not likely to increase competitiveness with the market based on the current data. Therefore, City staff is recommending a 10% increase to the existing salary range increasing the existing salary range from \$106,341 - \$129,258 to \$116,975 to \$142,184 annually.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ST. HELENA AS FOLLOWS:

SECTION 1. The above recitals are true and correct and are incorporated herein by this reference.

SECTION 2. The City Council has reconsidered the circumstances of the recommendation for the Finance Manager salary range.

SECTION 3. The City Council approves the attached salary range based upon the findings and determinations hereby made by the City Council.

Approved at a Regular Meeting of the St. Helena City Council on January 10, 2023, by the following vote:

Mayor Paul Dohring: _____

Vice Mayor Eric Hall: _____

Council Member Anna Chouteau: _____

Council Member Lester Hardy: _____

Council Member Billy Summers: _____

APPROVED:

ATTEST:

Paul Dohring, Mayor

Cindy Tzaopoulos, City Clerk

CITY OF ST. HELENA PUBLICLY AVAILABLE SALARY SCHEDULE

Mid-Management Exempt

Approved and Adopted January 10, 2023

Update to Finance Manager Salary

FY 2022-2023

Position	Timebase*	Steps				
		A	B	C	D	E
Management Analyst	Annual	83,399	87,569	91,947	96,545	101,372
	Monthly	6,950	7,297	7,662	8,045	8,448
	Hourly	40.10	42.10	44.21	46.42	48.74
Senior Management Analyst	Annual	91,195	95,755	100,542	105,570	110,848
	Monthly	7,600	7,980	8,379	8,797	9,237
	Hourly	43.84	46.04	48.34	50.75	53.29
Public Works Assistant Operations	Annual	97,310	102,176	107,284	112,648	118,281
	Monthly	8,109	8,515	8,940	9,387	9,857
	Hourly	46.78	49.12	51.58	54.16	56.87
Senior Planner	Annual	99,248	104,210	109,421	114,892	120,637
	Monthly	8,271	8,684	9,118	9,574	10,053
	Hourly	47.72	50.10	52.61	55.24	58.00
Public Works Operations Manager	Annual	106,847	112,189	117,799	123,689	129,873
	Monthly	8,904	9,349	9,817	10,307	10,823
	Hourly	51.37	53.94	56.63	59.47	62.44
Treatment Plant Manager	Annual	107,849	113,241	118,904	124,849	131,091
	Monthly	8,987	9,437	9,909	10,404	10,924
	Hourly	51.85	54.44	57.17	60.02	63.02
Chief Building Official	Annual	116,740	122,577	128,706	135,141	141,898
	Monthly	9,728	10,215	10,725	11,262	11,825
	Hourly	56.13	58.93	61.88	64.97	68.22
Lieutenant	Annual	117,327	123,193	129,352	135,820	142,611
	Monthly	9,777	10,266	10,779	11,318	11,884
	Hourly	56.41	59.23	62.19	65.30	68.56
Senior Civil Engineer	Annual	127,499	133,874	140,568	147,596	154,976
	Monthly	10,625	11,156	11,714	12,300	12,915
	Hourly	61.30	64.36	67.58	70.96	74.51
Assistant Public Works Director	Annual	127,499	133,874	140,568	147,596	154,976
	Monthly	10,625	11,156	11,714	12,300	12,915
	Hourly	61.30	64.36	67.58	70.96	74.51
<u>Confidential Positions</u>						
Management Analyst ⁽¹⁾	Annual	83,399	87,569	91,947	96,545	101,372
	Monthly	6,950	7,297	7,662	8,045	8,448
	Hourly	40.10	42.10	44.21	46.42	48.74
Senior Management Analyst ⁽¹⁾	Annual	91,195	95,755	100,542	105,570	110,848
	Monthly	7,600	7,980	8,379	8,797	9,237
	Hourly	43.84	46.04	48.34	50.75	53.29
Assistant to City Manager ⁽¹⁾	Annual	106,341	111,658	117,241	123,103	129,258
	Monthly	8,862	9,305	9,770	10,259	10,772
	Hourly	51.13	53.68	56.37	59.18	62.14

CITY OF ST. HELENA PUBLICLY AVAILABLE SALARY SCHEDULE

Approved and Adopted January 10, 2023

Update to Finance Manager Salary

FY 2022-2023

Human Resources Manager ⁽¹⁾	Annual	106,341	111,658	117,241	123,103	129,258
	Monthly	8,862	9,305	9,770	10,259	10,772
	Hourly	51.13	53.68	56.37	59.18	62.14
Finance Manager ⁽¹⁾	Annual	116,975	122,824	128,965	135,413	142,184
	Monthly	9,748	10,235	10,747	11,284	11,849
	Hourly	56.24	59.05	62.00	65.10	68.36
Assistant Administrative Services Director	Annual	125,640	131,921	138,518	145,443	152,716
	Monthly	10,470	10,993	11,543	12,120	12,726
	Hourly	60.40	63.42	66.59	69.92	73.42

⁽¹⁾ Confidential Positions receive a 3% pay differential that is added to the employee's base salary. Confidential as defined is an employee having access in the course of his/her duties to confidential information on the employer's labor relations.

*Annual timebase payrate is rounded up to the nearest whole dollar, while all other timebase payrates are rounded to the nearest cent



Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: CONSENT ITEMS

Subject: Adopt a Resolution authorizing: (1) the City Manager to execute the Acceptance of Conditional Resolution and Waiver of Right to Hearing related to violations at the City of St. Helena Wastewater Treatment and Reclamation Plant; (2) a budget increase of \$147,000 to 571-50-29-2143; and (3) use of Wastewater Fund balance of \$147,000.

CEQA Determination: Not a CEQA project

Prepared By: Eric Janzen, Assistant Public Works Director

Reviewed By: Joseph Leach, Public Works Director and City Engineer

Approved By: Anil Comelo, City Manager

BACKGROUND

The City of St. Helena owns and operates the Wastewater Treatment and Reclamation Plant (WWTRP) under NPDES Permit CA0038016 issued by the San Francisco Bay Regional Water Resources Control Board (SFBRWQCB). The permit mandates limits on a variety of constituents to ensure the effluent produced by the facility does not negatively impact the environment. On October 6, 2022, the City received the Conditional Offer to Settle Violations (**Attachment A**) related to a number of exceedances of the Maximum Contaminant Level of various constituents which are alleged to occur between February 28, 2019 and February 28, 2022.

DISCUSSION

NPDES Permit CA0038016 requires the City to comply with limitations on the concentration of copper in wastewater effluent discharged from the WWTRP. Due to the treatment method used by the WWTRP, the City has been unable to reduce the copper concentration of wastewater effluent in violation of the NPDES permit.

The mandatory minimum penalty pursuant to Water Code section 13385 subdivisions (h) and (i), requires the assessment of a \$3,000 mandatory minimum penalty for specified serious and chronic effluent limitation violations, administrative civil liabilities of up to \$10,000 per day for each violation, plus \$10 for each gallon discharged but not cleaned up in excess of 1,000 gallons. Attachment A, Exhibit A, Table 1 provides a list of the alleged violations.

The City is required to comply with the Conditional Offer to Settle Violations which includes payment of a fine of \$147,000.

Public Works staff are seeking Council approval to authorize the City Manager to execute the Settlement Agreement and authorize a budget increase to cover the fine.

Since staff was first notified of the pending violation, they conducted extensive evaluation of practices at both the Water Treatment Facility and Wastewater Treatment and Reclamation Facility (i.e. elimination of all copper-containing vegetation management chemicals), the presence of copper in the effluent remains. Consequently, staff has embarked upon collection system sampling to determine if/where the source of copper is located and has notified Water Board staff of such action.

FISCAL IMPACT

The mandated fine is one hundred forty-seven thousand dollars (\$147,000). This amount is not included in the FY 2023 adopted budget and a budget increase to 571-5029-2143 in the amount of \$147,000 is necessary and use of Wastewater Fund balance of the same.

Upon approval of the resolution, the estimated Wastewater Operations Fund balance at 6/30/23 is \$3,352,850, or 88%.

RECOMMENDED ACTION

Adopt the attached resolution.

ATTACHMENTS

[ATTACHMENT A.ConditionalOffer-StHelenaCityWWTP\(1\)](#)
[RESOLUTION.Conditional Offer to Settle Violations.20230110](#)



San Francisco Bay Regional Water Quality Control Board

October 6, 2022
CW-258386

City of St. Helena
Mark Rincon-Ibarra, Public Works Director
(via email only to mrincon@cityofstheleena.org)
1572 Railroad Avenue
St. Helena, CA 94574

Subject: Conditional Offer to Settle Violations of NPDES Permit CA0038016, City of St. Helena Wastewater Treatment and Reclamation Plant and Wastewater Collection System, St. Helena, Napa County

Dear Mark Rincon-Ibarra:

The San Francisco Bay Regional Water Quality Control Board (Regional Water Board) is charged with enforcing violations of the Water Code. This letter notifies City of St. Helena (Discharger) of alleged violations of discharge limitations and provides the Discharger an opportunity to settle the violations through a payment of **\$147,000**, the mandatory minimum penalty pursuant to Water Code section 13385. Please reply by **November 7, 2022**.

NOTICE OF VIOLATION

As the Regional Water Board's Interim Executive Officer, I allege that the Discharger has violated the NPDES permit indicated above as identified in Exhibit A, which is attached to this letter and incorporated by reference. The Discharger has the opportunity to address the alleged violations as discussed below.

STATUTORY LIABILITY

Water Code section 13385, subdivisions (h) and (i), requires the assessment of a \$3,000 mandatory minimum penalty for specified serious and chronic effluent limitation violations. Failure to file a discharge monitoring report required pursuant to Water Code section 13383 constitutes a serious violation for each complete period of 30 days following the deadline for submitting the report. The Discharger may also be subject to discretionary administrative civil liabilities of up to \$10,000 per day for each violation, plus \$10 for each gallon discharged but not cleaned up in excess of 1,000 gallons. The Regional Water Board or the State Water Resources Control Board (collectively, the Water Boards) may assess these mandatory minimum penalties and discretionary administrative civil liabilities beginning with the date on which each violation first occurred.¹ To assess such liabilities, the Water Boards could initiate a formal enforcement action by issuing an administrative civil liability complaint to be followed by a public hearing. Alternatively, the Water Boards could refer the matter to the Attorney General's Office for

¹ The statute of limitations does not apply to administrative proceedings to assess mandatory minimum penalties. See *City of Oakland v. Public Employees' Retirement System*, (2002) 95 Cal.App.4th 29, 48; 3 Witkin, Cal. Procedure (5th ed. 2008) Actions, § 430.

Conditional Settlement Offer
City of St. Helena

enforcement in the Superior Court. The Superior Court may assess up to \$25,000 per day for each violation, plus \$25 per gallon discharged but not cleaned up in excess of 1,000 gallons.

CONDITIONAL OFFER TO SETTLE

The Discharger can avoid a formal enforcement action and settle the alleged violations identified in Exhibit A by accepting this conditional offer as described below and in the enclosed "Acceptance of Conditional Resolution and Waiver of Right to Hearing" (Acceptance and Waiver). This offer does not address liability for any violation not specifically identified in Exhibit A.

OPTIONS FOR RESPONSE

To accept this offer, the Discharger must complete, sign, and return the enclosed Acceptance and Waiver on or before the date specified in the first paragraph of this letter.

If the Discharger chooses to contest any of the violations alleged in Exhibit A, the Discharger should identify the specific violation and the basis for the challenge (factual error, affirmative defense, etc.) on or before the date specified in the first paragraph of this letter. Regional Water Board staff will evaluate any contested violation and take one of two actions:

1. Determine that the alleged violation warrants dismissal, dismiss the alleged violation within the California Integrated Water Quality System (CIWQS) database, notify the Discharger of the dismissal, and take no further action against the Discharger for the alleged violation; or
2. Determine that the alleged violation is meritorious and notify the Discharger of that determination. The Discharger will then have 30 days from the date of the determination to accept the mandatory minimum penalty as settlement for that violation.

If the Discharger chooses not to accept the settlement or does not reply to the determination, it should expect to be contacted regarding formal enforcement for the contested violation. With respect to formal enforcement, information Water Board staff receive during any formal investigation and assessment of the violation, as well as staff costs associated with pursuing enforcement and other considerations, may increase the liability beyond that set forth in this conditional offer.

CONDITIONS FOR REGIONAL WATER BOARD ACCEPTANCE OF RESOLUTION

Federal regulations require the Regional Water Board to publish and allow the public at least 30 days to comment on any settlement of an enforcement action addressing an NPDES permit violation (40 C.F.R. § 123.27(d)(2)(iii)). Upon receipt of the Discharger's Acceptance and Waiver, Regional Water Board staff will publish a notice of the proposed settlement. If staff receives no comment within the 30-day period and no new material facts are available to the Regional Water Board, the settlement will be presented to the Executive Officer who will determine whether to execute the Acceptance and Waiver as a stipulated order assessing the uncontested mandatory minimum penalty pursuant to Water Code section 13385.

If, however, significant comments are received in opposition to the proposed settlement, this offer may be withdrawn. In that circumstance, the Water Boards will also treat the Acceptance and Waiver as withdrawn. Water Board staff will advise the Discharger of any withdrawal and may issue an administrative civil liability complaint and schedule a hearing before the Regional Water Board or State Water Board. For such a hearing, the Discharger will be free to argue against the alleged violations. Water Board staff will treat the Discharger's Acceptance and Waiver as if it were a settlement communication and will not use it as evidence in the hearing.

Conditional Settlement Offer
City of St. Helena

Water Board staff will provide the Discharger with additional information on hearing procedures if a hearing is to occur.

If the Regional Water Board's Executive Officer executes the Acceptance and Waiver, payment of the settlement amount shall be due within 30 calendar days from the date of the Executive Officer's signature. In accordance with Water Code section 13385(n)(1), funds collected pursuant to Water Code section 13385 shall be deposited into the State Water Pollution Cleanup and Abatement Account. Failure to pay the penalty within the required time may subject the Discharger to additional liability.

OPPORTUNITY FOR SUPPLEMENTAL ENVIRONMENTAL PROJECT

In lieu of paying all of the mandatory minimum penalty to the State Water Pollution Cleanup and Abatement Account, the Discharger may elect to apply a portion of the penalty to fund a supplemental environmental project (SEP).^{2,3} One SEP option is available: the SEP Fund to supplement the Regional Monitoring Program (RMP). This SEP Fund will supplement RMP studies that would not otherwise be conducted through the RMP's annually approved cost allocations. The RMP collects data and communicates information about water quality in the San Francisco Estuary in support of management decisions to restore and protect beneficial uses of the region's waters. Information about the RMP is available at sfei.org/rmp. The non-profit San Francisco Estuary Institute manages and administers RMP funds. No funds will go to the Water Boards.

The Discharger also may choose to pay the total mandatory minimum penalty to the State Water Pollution Cleanup and Abatement Account. These options are represented in the enclosed Acceptance and Waiver.

REGIONAL WATER BOARD CONTACT

Please reply to the attention of Marcos De la Cruz, either by email or U.S. mail. If you want to discuss or have questions regarding this matter, please contact Marcos De la Cruz at (510) 622-2365 or R2NPDES.MMPS@Waterboards.ca.gov.

Sincerely,

Thomas Mumley
Interim Executive Officer

**Enclosures: Exhibit A - Notice of Violation
Acceptance and Waiver**

² Water Code section 13385(l)(1) authorizes the Regional Water Board, with the Discharger's concurrence, to direct a portion of the penalty to be expended on a SEP in accordance with the State Water Board's Enforcement Policy (https://www.waterboards.ca.gov/water_issues/programs/enforcement/water_quality_enforcement.shtml). If the penalty is less than or equal to \$15,000, 100 percent of the penalty may be expended on a SEP. If the penalty exceeds \$15,000, then up to \$15,000 plus 50 percent of the penalty that exceeds \$15,000 may be expended on a SEP.

³ See *State Water Board Policy on Supplemental Environmental Projects (2017)*, page 10, and *Resolution 2018-0034*.

EXHIBIT A - Alleged Violations

Discharger: City of St. Helena

City of St. Helena Wastewater Treatment and Reclamation Plant and Wastewater Collection System
1 Chaix/Thomann Lane, St. Helena, Napa County
NPDES Permit CA0038016

The following table lists the alleged violations for which the Discharger is subject to civil liabilities pursuant to Water Code section 13385. The table lists the mandatory minimum penalty (MMP) that applies.

Table 1. List of Alleged Violations

CIWQS Violation ID No.	Violation Date	Parameter (units)	Group	Effluent Limitation	Reported Value	Percent Exceedance ^[1]	Violation Type	MMP ^[2]
1079966	2/28/2019	Copper, Monthly Average (µg/L)	2	8.3	17	105%	C1, S	\$3,000
1079967	12/31/2019	Copper, Monthly Average (µg/L)	2	8.3	15	81%	C1, S	\$3,000
1070039	12/31/2019	TSS, Percent Removal Percent Reduction (%)	1	85	77	-9%	C2	\$0
1086900	1/31/2021	Total Coliform, Daily Maximum (MPN/100 mL)	N/A ^[3]	240	540	125%	C1	\$0
1108114	2/2/2021	Total Coliform, 5-sample median (MPN/100 mL)	N/A ^[3]	23	46	100%	C2	\$0
1088165	2/28/2021	Copper, Monthly Average (µg/L)	2	8.3	8.9	7%	C3	\$0
1089202	3/20/2021	TSS, Weekly Average (mg/L)	1	20	21.7	9%	> C3	\$3,000
1089201	3/25/2021	Total Coliform, Daily Maximum (MPN/100 mL)	N/A ^[3]	240	540	125%	> C3	\$3,000
1089199	3/27/2021	TSS, Weekly Average (mg/L)	1	15	25	67%	> C3, S	\$3,000
1089203	3/31/2021	TSS, Monthly Average (mg/L)	1	15	22.1	47%	> C3, S	\$3,000

CIWQS Violation ID No.	Violation Date	Parameter (units)	Group	Effluent Limitation	Reported Value	Percent Exceedance ^[1]	Violation Type	MMP ^[2]
1098614	11/17/2021	Copper, Daily Maximum (µg/L)	2	14	64	357%	C1, S	\$3,000
1098612	11/20/2021	TSS, Weekly Average (mg/L)	1	20	26	30%	C2	\$0
1098609	11/30/2021	TSS, Monthly Average (mg/L)	1	15	19	27%	C3	\$0
1098613	11/30/2021	Copper, Monthly Average (µg/L)	2	8.3	64	671%	> C3, S	\$3,000
1099830	12/8/2021	Copper, Daily Maximum (µg/L)	2	14	27	93%	> C3, S	\$3,000
1099811	12/11/2021	TSS, Weekly Average (mg/L)	1	20	22	10%	> C3	\$3,000
1099816	12/14/2021	Total Coliform, Daily Maximum (MPN/100 mL)	N/A ^[3]	240	1600	567%	> C3	\$3,000
1099831	12/16/2021	Copper, Daily Maximum (µg/L)	2	14	19	36%	> C3, S	\$3,000
1099818	12/17/2021	Copper, Daily Maximum (µg/L)	2	14	25	79%	> C3, S	\$3,000
1099814	12/18/2021	TSS, Weekly Average (mg/L)	1	20	21	5%	> C3	\$3,000
1099824	12/18/2021	Copper, Daily Maximum (µg/L)	2	14	35	150%	> C3, S	\$3,000
1099832	12/19/2021	Copper, Daily Maximum (µg/L)	2	14	36	157%	> C3, S	\$3,000
1099819	12/20/2021	Copper, Daily Maximum (µg/L)	2	14	41	193%	> C3, S	\$3,000
1099833	12/21/2021	Copper, Daily Maximum (µg/L)	2	14	40	186%	> C3, S	\$3,000
1099834	12/22/2021	Copper, Daily Maximum (µg/L)	2	14	46	229%	> C3, S	\$3,000

CIWQS Violation ID No.	Violation Date	Parameter (units)	Group	Effluent Limitation	Reported Value	Percent Exceedance ^[1]	Violation Type	MMP ^[2]
1099835	12/23/2021	Copper, Daily Maximum (µg/L)	2	14	43	207%	> C3, S	\$3,000
1099815	12/24/2021	Copper, Daily Maximum (µg/L)	2	14	50	257%	> C3, S	\$3,000
1099823	12/25/2021	Copper, Daily Maximum (µg/L)	2	14	47	236%	> C3, S	\$3,000
1099825	12/26/2021	Copper, Daily Maximum (µg/L)	2	14	50	257%	> C3, S	\$3,000
1099820	12/27/2021	Copper, Daily Maximum (µg/L)	2	14	65	364%	> C3, S	\$3,000
1099821	12/28/2021	Copper, Daily Maximum (µg/L)	2	14	61	336%	> C3, S	\$3,000
1099822	12/29/2021	Copper, Daily Maximum (µg/L)	2	14	58	314%	> C3, S	\$3,000
1099817	12/30/2021	Copper, Daily Maximum (µg/L)	2	14	59	321%	> C3, S	\$3,000
1099813	12/30/2021	Total Residual Chlorine, Daily Maximum (mg/L)	2	0	1.17	>20 ^[4]	> C3, S	\$3,000
1099829	12/31/2021	Copper, Monthly Average (µg/L)	2	8.3	44	430%	> C3, S	\$3,000
1099828	12/31/2021	TSS, Monthly Average (mg/L)	1	15	24	60%	> C3, S	\$3,000
1099812	12/31/2021	BOD, Monthly Average (mg/L)	1	15	23	53%	> C3, S	\$3,000
1099827	1/1/2022	TSS, Weekly Average (mg/L)	1	20	29	45%	> C3, S	\$3,000
1099836	1/1/2022	BOD, Weekly Average (mg/L)	1	25	32	28%	> C3	\$3,000
1101417	1/11/2022	Copper, Daily Maximum (µg/L)	2	14	39	179%	> C3, S	\$3,000

CIWQS Violation ID No.	Violation Date	Parameter (units)	Group	Effluent Limitation	Reported Value	Percent Exceedance ^[1]	Violation Type	MMP ^[2]
1101422	1/12/2022	Copper, Daily Maximum (µg/L)	2	14	37	164%	> C3, S	\$3,000
1101421	1/12/2022	Total Coliform, Daily Maximum (MPN/100 mL)	N/A ^[3]	240	920	283%	> C3	\$3,000
1101418	1/13/2022	Copper, Daily Maximum (µg/L)	2	14	34	143%	> C3, S	\$3,000
1101424	1/14/2022	Copper, Daily Maximum (µg/L)	2	14	32	129%	> C3, S	\$3,000
1101419	1/31/2022	Cyanide, Monthly Average (µg/L)	2	9.3	16	72%	> C3, S	\$3,000
1101425	1/31/2022	Copper, Monthly Average (µg/L)	2	8.3	35.5	328%	> C3, S	\$3,000
1101423	1/31/2022	TSS, Monthly Average (mg/L)	1	15	20	33%	> C3	\$3,000
1101426	1/31/2022	BOD, Monthly Average (mg/L)	1	15	16	7%	> C3	\$3,000
1102831	2/8/2022	Total Coliform, Daily Maximum (MPN/100 mL)	N/A ^[3]	240	1600	567%	> C3	\$3,000
1106903	2/8/2022	Total Coliform, 5-sample median (MPN/100 mL)	N/A ^[3]	23	920	3900%	> C3	\$3,000
1102833	2/12/2022	TSS, Weekly Average (mg/L)	1	25	35	40%	> C3, S	\$3,000
1102839	2/12/2022	BOD, Weekly Average (mg/L)	1	25	36	44%	> C3, S	\$3,000
1102838	2/28/2022	Copper, Monthly Average (µg/L)	2	8.3	9.85	19%	> C3	\$3,000
1102830	2/28/2022	TSS, Monthly Average (mg/L)	1	15	35	133%	> C3, S	\$3,000
1102837	2/28/2022	BOD, Monthly Average (mg/L)	1	15	36	140%	> C3, S	\$3,000

Total Penalty: \$147,000

Legend:

CIWQS = California Integrated Water Quality System database that the Water Boards use to track violations and enforcement.

Violation ID = Identification number assigned to each permit violation within CIWQS.

C = Count – Number of violations within past 180 days, including this violation. A penalty applies under Water Code section 13385(i) when the count is greater than three (> C3).

S = Serious. A penalty applies under Water Code section 13385(h) whenever an effluent limitation is exceeded by 40 percent or more for a Group 1 pollutant or 20 percent or more for a Group 2 pollutant.

Footnotes:

- ^[1] Percent that a discharger's reported value exceeds the effluent limitation for a Group 1 or 2 pollutant.
- ^[2] The MMP required under Water Code section 13385(h) and/or (i).
- ^[3] Total coliform is not categorized as a Group 1 or Group 2 pollutant.
- ^[4] Chlorine is a Group 2 pollutant and the percent above the limit of 0.0 mg/L is more than 20 but not quantifiable.

CIWQS Place ID: 258386

WDID: 2 283014001

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**ACCEPTANCE OF CONDITIONAL RESOLUTION
AND WAIVER OF RIGHT TO HEARING
ORDER NO. R2-20_____**

**City of St. Helena
City of St. Helena Wastewater Treatment and Reclamation Plant and Wastewater
Collection System
1 Chaix/Thomann Lane, St. Helena, Napa County
NPDES Permit CA0038016, Regulatory Measure 449439**

By signing below and returning this Acceptance of Conditional Resolution and Waiver of Right to Hearing (Acceptance and Waiver) to the San Francisco Bay Regional Water Quality Control Board (Regional Water Board), City of St. Helena (Discharger) hereby accepts the conditional offer to settle alleged violations through payment of a mandatory minimum penalty and waives the right to a hearing before the Regional Water Board to dispute the alleged violations. The violations are attached to this Acceptance and Waiver as Exhibit A and incorporated by reference.

The Discharger agrees that Exhibit A shall serve as a complaint pursuant to Article 2.5 of the Water Code and that no separate complaint is required for the Regional Water Board to assert jurisdiction over the alleged violations. The Discharger agrees to pay the penalty authorized by Water Code section 13385, which shall be deemed payment in full of any civil liability pursuant to Water Code section 13385 that otherwise might be assessed for the violations described in Exhibit A. The Discharger understands that this Acceptance and Waiver waives its right under Water Code section 13323 to contest the allegations in Exhibit A and the amount of civil liability assessed for the violations.

The Discharger understands that this Acceptance and Waiver does not address or resolve liability for any violation not specifically identified in Exhibit A.

This Acceptance and Waiver may be executed and delivered in any number of counterparts, each of which when executed and delivered shall be deemed to be an original, but such counterparts shall together constitute one document. This Acceptance and Waiver may be executed by wet or electronic signature, and may be transmitted by hand, mail service, facsimile, or email. Any such signature shall be deemed to be an original signature and shall be binding to the same extent as if it were an original signature.

Upon execution, the Discharger shall return the Acceptance and Waiver to the following:

California Regional Water Quality Control Board, San Francisco Bay Region
NPDES Wastewater Enforcement Section
Attention: Marcos De la Cruz
1515 Clay Street, Suite 1400
Oakland, California 94612

or

R2NPDES.MMPS@waterboards.ca.gov

The Discharger understands that federal regulations set forth in Code of Federal Regulations, title 40, section 123.27(d)(2)(iii), require the Regional Water Board to publish notice of, and provide at least 30 days for public comment on, any proposed resolution of an enforcement action. Accordingly, prior to execution by the Regional Water Board's Executive Officer, this Acceptance and Waiver will be published for public comment as required by law.

Acceptance of Conditional Resolution and Waiver of Right to Hearing
 City of St. Helena
 Regulatory Measure: 449439

The Discharger understands that the Executive Officer may execute the Acceptance and Waiver if no comments are received within the public notice period and the Executive Officer agrees that the assessment of the mandatory minimum penalty appropriately resolves the alleged violations. The Regional Water Board's resolution of the violations will preclude State Water Resources Control Board (State Water Board) action for the same violations.

The Discharger understands that the offer may be withdrawn if significant comments are received in opposition to the conditional offer. In that circumstance, Regional Water Board staff will advise the Discharger of the withdrawal and may issue an administrative civil liability complaint and schedule the matter for a hearing before the Regional Water Board or State Water Board.

The Discharger understands that funds collected for violations pursuant to Water Code section 13385 shall be deposited in the State Water Pollution Cleanup and Abatement Account.

The Discharger understands that, in lieu of full payment of the assessed mandatory minimum penalty to the State Water Pollution Cleanup and Abatement Account, it may elect to pay a portion toward a supplemental environment project (SEP). The SEP option is the SEP Fund, which supplements Regional Monitoring Program (RMP) studies that would not otherwise be conducted through the RMP's annually approved RMP cost allocations.

The Discharger understands that once the Regional Water Board's Executive Officer executes this Acceptance and Waiver, payment no later than 30 days after the date of the Executive Officer's signature is a condition of this Acceptance and Waiver. The Discharger shall pay the assessed civil liability to the State Water Pollution Cleanup and Abatement Account and/or San Francisco Estuary Institute (for the SEP Fund) as selected above. The State Water Board will send an invoice for any payment due to the State Water Pollution Cleanup and Abatement Account. The Regional Water Board will send an invoice for any payment due to the SEP Fund.

The Discharger agrees to pay the amounts indicated below to the State Water Pollution Cleanup and Abatement Account and, if chosen, the SEP Fund. The Discharger understands that the Regional Water Board will consider the Discharger to have fulfilled any SEP obligation if and when the San Francisco Estuary Institute receives the Discharger's contribution to the SEP Fund. (Place a "✓" or "x" in one box below and fill in the blanks as appropriate. Electing to pay a portion of the assessed liability to the SEP Fund will not change the total amount to be paid.)

Acceptance of Conditional Resolution and Waiver of Right to Hearing
 City of St. Helena
 Regulatory Measure: 449439

Payment Options:

- ☐ Option 1: Pay a portion of the assessed liability to the RMP SEP Fund:
 \$_____ Amount to be paid to the SEP Fund (cannot exceed \$81,000)
 \$_____ Amount to be paid to the State Water Pollution Cleanup and Abatement
 Account (\$147,000 minus amount inserted above)
 \$ **147,000** Total assessed mandatory minimum penalty (sum of amounts above).

Or

- ☐ Option 2: Pay the total assessed mandatory minimum liability (\$147,000) to the State
 Water Pollution Cleanup and Abatement Account.

**I hereby affirm that I am duly authorized to act on behalf of, and to bind, the Discharger in
 the making and giving of this Acceptance and Waiver.**

City of St. Helena

By: _____
 Printed or typed name Title

 Signature Date

Note: Please return the signed Acceptance and Waiver with Exhibit A, together

IT IS SO ORDERED PURSUANT TO WATER CODE SECTION 13323 AND GOVERNMENT
 CODE SECTION 11415.60

By: _____
 Eileen White
 Executive Officer
 California Regional Water Quality Control Board
 San Francisco Bay Region Date

CITY OF ST. HELENA

RESOLUTION No. 2023-xx

A RESOLUTION AUTHORIZING: (1) THE CITY MANAGER TO EXECUTE THE ACCEPTANCE OF CONDITIONAL RESOLUTION AND WAIVER OF RIGHT TO HEARING RELATED TO VIOLATIONS AT THE CITY OF ST. HELENA WASTEWATER TREATMENT AND RECLAMATION PLANT; (2) A BUDGET INCREASE OF \$147,000 to 571-5029-2143; and (3) USE OF WASTEWATER FUND BALANCE OF \$147,000.

RECITALS

- A. The City of St. Helena owns and operates the Wastewater Treatment and Reclamation Plant (WWTRP) under NPDES Permit CA0038016 issued by the San Francisco Bay Regional Water Resources Control Board (SFBRWQCB); and
- B. NPDES Permit CA0038016 requires the City to comply with limitations on the concentration of copper in wastewater effluent discharged from the WWTRP; and
- C. The City has been unable to reduce the copper concentration of wastewater effluent in violation of the NPDES permit; and
- D. The City is undergoing efforts to locate the source of copper concentration; and
- E. The mandatory minimum penalty for this violation pursuant to Water Code section 13385 is \$147,000.

RESOLUTION

NOW, THEREFORE, the City Council of the City of St. Helena resolves as follows:

- 1. The City Manager is authorized to execute the Conditional Offer to Settle Violations.
- 2. Approves a budget increase of \$147,000 to 571-5029-2143.
- 3. Approves use of Wastewater Operations Fund balance in the amount of \$147,000.

Approved at a Regular Meeting of the St. Helena City Council on January 10, 2023, by the following vote:

Mayor Paul Dohring:	_____
Vice Mayor Eric Hall:	_____
Council Member Anna Chouteau:	_____
Council Member Lester Hardy:	_____
Council Member Billy Summers:	_____

APPROVED:

ATTEST:

Paul Dohring, Mayor

Cindy Tzaopoulos, City Clerk



Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: CONSENT ITEMS

Subject: Consideration and Proposed Approval of (1) A Resolution Establishing an Electric Leaf Blower Rebate Program and (2) Authorizing a Budget Increase of \$25,000 to 101-5000-2150; and (3) Use of General Fund Balance of \$25,000

CEQA Determination: Not a CEQA project

Prepared By: Preya Nixon, Asst. to the City Manager

Reviewed By: April Mitts, Assistant City Manager

Approved By: Anil Comelo, City Manager

BACKGROUND

On October 11, 2022 the City Council approved Ordinance 2022-11 amending Section 8.24.010 Of Chapter 24 to title 8 of the St. Helena Municipal Code Regarding Leaf Blowers. This amendment bans the use of gas powered leaf blowers and allows only electric or battery operated leaf blowers that are 65 decibel limit.

The City Council made the decision to delay the enforcement of the Ordinance until April 2023 to allow additional time to develop and roll out a public education and rebate program.

DISCUSSION

City of St. Helena Rebate Program

Staff is bringing forward a rebate program for both residential and commercial entities for consideration.

Commercial Users:

- Incentive in the amount of \$250 may be issued to Commercial Operators with 1-3 accounts in the City.
- Incentive in the amount of \$350 may be issued to Commercial Operators with 4 or more accounts in the City.
- Incentive in the amount of \$350 may be issued to Commercial Properties with own staff on site.
- Incentive in the amount of \$350 may be issued to Commercial Operators serving a Home Owners Association (HOA).
- All applicants must hold a valid St. Helena Business License.
- All applicants will be required to provide a list of St. Helena accounts of Commercial Property address.

Residential Users:

- Incentive in the amount of \$150 may be issued to individuals.
- All applicants must provide proof of St. Helena Residency. Examples of this includes a Driver's License or a Utility Bill (Please note that proof of residency information will not be kept on file, and will only be used to demonstrate program eligibility).

For both programs:

- Funds will be available until expended.
- Rebates will be administered on a first come first served basis for qualified applicants, subject to the maximums defined herein. For qualified applicants, please allow 4-6 weeks for incentive processing.
- The City of St. Helena does not promote, endorse, or require the use of any specific vendor or product.
- Purchase date must be after November 1, 2022.
- You must provide proof of purchase via a receipt, purchase order, or invoice (examples).

State of California Voucher Program

State of California CORE Voucher Program for Commercial Users:

The State has developed a voucher program for small businesses for landscaping equipment that includes electric leaf blowers. This program is administered through the California Air Resources Board (CARB) under the Clean Off Road Equipment (CORE) Voucher Incentive Program. CORE allows small businesses to directly purchase an electric leaf blower from an authorized seller for up to 70% of the costs including a battery and charger. The program ends when the funding is expended.

As of the publication of this staff report, for microbusinesses, \$3.9 of \$10 million has been used, and for small businesses, \$1.7 of \$17 million has been used. To learn more about the CORE Voucher Program, please visit <https://californiacore.org/>

For commercial users, the steps to participate include:

- Select an eligible professional landscape service equipment type that fits your business needs from the equipment catalog.
- Contact an approved dealer to submit a voucher request for an eligible professional landscape service equipment type.
- The dealer will submit the voucher request to the Voucher Processing Center (VPC).
- The equipment purchaser will receive the CORE incentive at the point of sale.

Enforcement Beginning on 4/1/23

For those using a gas powered leaf blower, the following steps would be taken after April 1, 2023. The enforcement process is as follows:

1. Verbal warning
2. Notice of Violation Letter
3. First offense: a fine not exceeding one hundred dollars (\$100.00)
4. Second offense: a fine not exceeding two hundred dollars (\$200.00)
5. Third offense: a fine not exceeding five hundred dollars (\$500.00) for each additional violation of the same ordinance within one year.

Outreach

City staff will be contacting hotels, HOA's, and landscaping businesses to make them aware of the new regulations as well as the rebate/voucher programs available.

The City will also be issuing a press release and notifying residential customers of this opportunity, as well as targeted marketing with community groups and individuals who expressed interest with staff regarding electric leaf blowers. Staff will also be including information in utility bills on the rebate program.

Additionally, the City has created a dedicated Website which can be accessed at: <https://www.cityofsthelena.org/administration/page/leaf-blower-rebate-program> which will contain information on the following:

1. Information on the Electric Leaf Blower Ordinance (Attachment 2 and 3)
2. Rebate program and applications in both Spanish and English (Attachments 4 - 6)

FISCAL IMPACT

The fiscal impact of this resolution is \$25,000. This amount was authorized in FY 2022; however funds were not expended so a FY 2023 budget increase of \$25,000 to 101-5000-2150 is required with use of General Fund balance of the same.

General Fund balance will be utilized to cover the increased cost to the General Fund. Below is a summary of the impact on the Net position:

General Fund Estimated Unassigned Net Position	
Revised Estimated Unassigned Net Position (6/30/23)	\$8,739,580
Percent of Expenses Based on Total Net Position	46%
WWTP Contingency (Interfund Loan, if needed)	(\$2,000,000)
Revised Estimated Unassigned Net Position (6/30/23)	\$6,739,581
Percent of Expenses Based on Total Net Position	36%

RECOMMENDED ACTION

Adopt attached Resolution.

ATTACHMENTS

[Attachment 1 - Resolution](#)

[Attachment 2 - Leaf Blowers Flyer ENG](#)

[Attachment 3 - Leaf Blower Flyer ESP](#)

[Attachment 4 - Residential Incentive App](#)

[Attachment 5 - Residential App ESP](#)

[Attachment 6 - Commercial App](#)

[Attachment 7 - Commercial App ESP](#)

CITY OF ST. HELENA

RESOLUTION NO. 2023-

**A Resolution of the City Council of the City of St. Helena
(1) Establishing an Electric Leaf Blower Rebate Program
and (2) Authorizing a Budget Increase of \$25,000 to 101-
5000-2150 and (3) Use of General Fund Balance of
\$25,000**

WHEREAS, On October 11, 2022 the City Council approved Ordinance 2022-11 amending Section 8.24.010 Of Chapter 24 to title 8 of the St. Helena Municipal Code Regarding Leaf Blowers, and;

WHEREAS, This amendment bans the use of gas powered leaf blowers and allows only electric or battery operated leaf blowers that are 65 decibel limit; and

WHEREAS, The amendment includes the creation of a rebate program for both commercial and residential users; and

WHEREAS, Funds will be available until expended. Rebates will be administered on a first come first served basis for qualified applicants; and

WHEREAS, The City of St. Helena does not promote, endorse, or require the use of any specific vendor or product.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ST. HELENA AS FOLLOWS:

SECTION 1. The above recitals are true and correct and are incorporated herein by this reference.

SECTION 2. Establishes an Electric Leaf Blower Rebate Program in the amount of \$25,000.

SECTION 3. Authorizes a budget increase of \$25,000 to 101-5000-2150.

SECTION 4. Authorizes use of General Fund Fund Balance of the same.

Approved at a Regular Meeting of the St. Helena City Council on January 10, 2023, by the following vote:

Mayor Paul Dohring: _____

Vice Mayor Eric Hall: _____

Council Member Anna Chouteau: _____

Council Member Lester Hardy: _____

Council Member Billy Summers: _____

APPROVED:

ATTEST:

Paul Dohring, Mayor

Cindy Tzafoopoulos, City Clerk



ELECTRIC LEAF BLOWER ORDINANCE

What You Need to Know!

Effective January 1, 2023

The City of St. Helena City Council adopted Ordinance No. 2022-11 revising leaf blower regulations to address health, safety and environmental concerns associated by allowing **only** electric or battery powered leaf blowers.

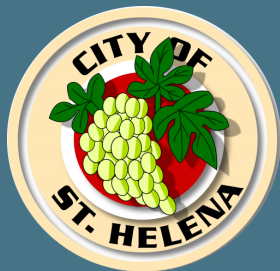
- Gas powered leaf blowers are **PROHIBITED**.
- Only electric or battery operated leaf blowers are allowed.
- All electric or battery operated leaf blowers **must be 65 decibel limit** or less.
- The operation of lawful battery-powered and electric leaf blowers on all parcels on **Main Street between Pine Street and Grayson Avenue** is allowed between:
 - 5am-3pm Monday-Friday
 - 10am-3pm Saturdays
 - 10am-12noon Sundays
- **For all other areas in the City**, the operation of lawful battery-powered and electric leaf blowers is allowed between:
 - 9am-4pm Monday-Friday
 - 10am-3pm Saturday
 - 10am-12noon Sunday
- It is unlawful to operate battery-powered and electric leaf blowers on federal and local holidays.

Enforcement

The City will begin its full enforcement, which may include fines on April 1, 2023.

Rebate Program

The City will be establishing both commercial and residential rebate programs. For more information please visit
<https://www.cityofstheleena.org/administration/page/leaf-blower-rebate-program>



ORDENANZA DE SOPLADOR DE HOJAS ELECTRICAS

¡LO QUE NECESITAS SABER!

A partir de enero 1, 2023

El Consejo de Representantes de la Ciudad de Saint Helena aprobó la Ordenanza No. 2022-11, la cual modifica los reglamentos de los sopladores de hojas. El propósito de la nueva ordenanza es combatir los problemas de salud, seguridad y el medio ambiente al permitir solo sopladores de hojas eléctricos o de batería.

- Sopladores de hojas de gas están **PROHIBIDOS**
- Solo sopladores eléctricos o de batería son permitidos.
- Todos los sopladores eléctricos o de batería **deben tener un límite de 65 decibelios o menos.**
- El uso legal de sopladores de hojas eléctricos o de batería en todos los lotes localizados en **Main Street y entre Pine Street and Grayson Avenue** es permitido en los siguientes horarios:
5am-3pm Lunes - Viernes
10am-3pm Sábado
10am-12noon Domingo
- **Para todas las áreas restantes de la Ciudad**, el uso legal de sopladores de hojas eléctrico o de batería es permitido en los siguientes horarios:
9am-4pm Lunes - Viernes
10am-3pm Sábado
10am-12noon Domingo
- El uso de sopladores de hojas eléctrico o de batería en días festivos federales o locales es **illegal**

Cumplimiento de nuevas reglas

A partir de abril 1, 2023, La ciudad comenzará su plena aplicación de la nueva ordenanza, que puede incluir multas el 1 de abril de 2023.

Programas de Reembolso

La ciudad establecerá programas de reembolso comerciales y residenciales. Para más información por favor visite:

<http://cityofsthelena.org/administration/page/leaf-blower-rebate-program>



City of St. Helena

RESIDENTIAL APPLICATION

Electric or Battery Powered Leaf Blower Purchase Incentive

1572 Railroad Avenue St. Helena, CA 94574

◆707-968-2635

APPLICANT INFORMATION

Individual Name*: _____ Individual Address: _____

Contact Name (If Different From Above): _____ Phone Number: _____

Contact Email: _____

* If different from above, please specify a check payable name (payee; business or individual) here: _____

INCENTIVE APPLICATION SUBMITTAL REQUIREMENTS

I have purchased: Battery/Electric Leaf Blower

To be considered for an incentive, the following items must be submitted with this APPLICATION:

1. Proof of Purchase of an Electric or Battery Powered Leaf Blower(s)
 - Examples Include (but are not limited to): Receipt, Purchase Order, or Invoice.
 - Purchase date MUST BE AFTER **November 1, 2022**.
 - Proof of Purchase is Required of ALL Applicants.

AND

2. Proof of City of St. Helena Residency (Lease Hold or Ownership Interest)
 - Proof of St. Helena Residency is Required of Individual Applicants ONLY
 - Examples include e.g. Driver's License or Utility Bill. (Please note that proof of residency information will not be kept on file, and will only be used to demonstrate program eligibility.)

APPLICATION SUBMITTAL

A completed application, including ALL required documentation may be submitted any of the following ways:

- E-Mail to Preya Nixon at pnixon@cityofstheleena.org
- Mail or Hand Delivery to: **1572 Railroad Avenue St. Helena CA, 94574**

CONDITIONS OF INCENTIVE ACCEPTANCE

Through the submittal of this APPLICATION and/or acceptance of an incentive APPLICANT hereby accepts the following terms.

1. The Electric or Battery Powered Leaf Blower Incentive Program is available to any St. Helena or Commercial Operator (as defined in Ordinance 2022-11).
2. **Funds will be available until expended.** Rebates will be administered on a first come first served basis for qualified applicants, subject to the maximums defined herein. For qualified applicants, please allow 4-6 weeks for incentive processing.
3. Receipt of incentive funds for purchase of a product through this program does not guarantee compliance with City of St. Helena Ordinance 2022-11.
4. The City of St. Helena does not promote, endorse, or require the use of any specific vendor or product.
5. Incentive award amounts are subject to the following conditions:
 - a. Incentive in the amount of \$150 may be issued to Individuals with proof of purchase of battery-electric leaf blower device.

Submitted By (Print Name): _____ Signature: _____ Date: __/__/__



Ciudad de St. Helena

APLICACION RESIDENCIAL

Subvención para compra de soplador de hojas eléctrico o de batería

1572 Railroad Avenue St. Helena, CA 94574

♦ 707-968-2635

INFORMACION DEL SOLICITANTE

Nombre*: _____

Dirección: _____

Nombre del contacto (Si diferente del previo): _____ Número de teléfono: _____

Correo Electrónico: _____

* Especifique a quien nombrar en el cheque si diferente al nombre del solicitante (beneficiario, empresa, o individuo) _____

REQUISITOS PARA SOLICITUDES DE SUBVENCION

Yo he comprado una: Sopladora eléctrica o de batería Aspiradora eléctrica o de batería

Para ser considerado en el programa de subvención, los siguientes elementos deben ser incluidos con esta SOLICITUD:

1. Comprobante de compra de un soplador de hojas eléctrico o de batería
 - Ejemplos de comprobantes incluyen (per no se limitan a): Recibo, orden de compra o factura
 - La fecha de compra DEBE SER DESPUES DEL **Noviembre 1, 2022**.
 - Comprobante de compra para TODOS los solicitantes

2. Comprobante de residencia en la Ciudad de St. Helena (*Contrato de hogar o registro de la propiedad*)
 - Se requiere comprobante de residencia en la ciudad de St. Helena SOLAMENTE a los solicitantes individuales.
 - Ejemplos incluyen licencia de conducir o factura de servicios públicos. (Tenga en cuenta que la información de prueba de residencia no se mantendrá en el archivo y solo se utilizará para demostrar la elegibilidad para el programa).

ENVIO DE SOLICITUD

Puede enviar su solicitud una vez completa incluyendo TODA la documentación requerida de la siguiente manera:

- Por correo electrónico a Preya Nixon a pnixon@cityofstheleena.org
- Por correo postal o en persona: **1572 Railroad Avenue St. Helena, CA 94574**

CONDICIONES POR ACEPTACION DE SUBVENCION

Mediante la entrega de esta SOLICITUD y / o la aceptación de una subvención, el SOLICITANTE acepta los siguientes términos:

1. El programa de subvención para sopladores de hojas eléctricos o de batería esta disponible para cualquier persona u operador comercial (según lo define el decreto 2022-11).
2. **Los fondos monetarios estarán disponibles hasta agotarse.** Los reembolsos se administrarán basado en el orden que se reciban las solicitudes aprobadas, sujetos a los límites máximos definidos en este documento. Para las solicitudes aprobadas, puede tardar de 4 a 6 semanas para procesar el reembolso.
3. Recibir esta subvención para comprar el dispositivo no garantiza cumplimiento con el decreto 2022-11 de la ciudad de St. Helena.
4. La ciudad de St. Helena no promueve, respalda, ni requiere el uso de ningún proveedor o producto específico.
5. Los montos de subvención están sujetos a las siguientes condiciones:
 - a. Se puede emitir una subvención de \$150 con factura mostrando la compra de un soplador de hojas electrico o de batería

Enviado por (Nombre en letra imprenta): _____ Firma: _____ Fecha: _____



City of St. Helena

COMMERCIAL APPLICATION

Electric or Battery Powered Leaf Blower Purchase Incentive

1572 Railroad Avenue St. Helena, CA 94574

◆707-968-2635

APPLICANT INFORMATION

Business Name*: _____ Business Address: _____

Contact Name (If Different From Above): _____ Phone Number: _____

Email: _____

St. Helena Business License Number** _____ Expiration Date: _____

* If different from above, please specify a check payable name (payee; business or individual) here: _____

** Business License Number may be found on a valid City of St. Helena Business License.

INCENTIVE APPLICATION SUBMITTAL REQUIREMENTS

To be considered for an incentive, the following items must be submitted with this APPLICATION:

1. Proof of Purchase of an Electric or Battery Powered Leaf Blower(s)

- Examples Include (but are not limited to): Receipt, Purchase Order, or Invoice.
- Purchase date MUST BE AFTER **November 1, 2022**.
- Proof of Purchase is Required of ALL Applicants.

2. Provide list of City of St. Helena accounts or Commercial property address.

1. _____
2. _____
3. _____
4. _____

If HOA account(s) provide:

1. Name of HOA _____
HOA Manager _____
2. Name of HOA _____
HOA Manager _____

3. Valid City of St. Helena Business License

- Valid City of St. Helena License is REQUIRED for ALL Commercial Operator Applicants.

APPLICATION SUBMITTAL

A completed application, including ALL required documentation may be submitted any of the following ways:

- E-Mail to Preya Nixon at pnixon@cityofstheleena.org
- Mail or Hand Delivery to: **1572 Railroad Avenue St. Helena, CA 94574**

CONDITIONS OF INCENTIVE ACCEPTANCE

Through the submittal of this APPLICATION and/or acceptance of an incentive, APPLICANT hereby accepts the following terms.

1. The Electric or Battery Powered Leaf Blower Incentive Program is available to any Person or Commercial Operator (as defined in Ordinance 2022-11).
2. **Funds will be available until expended.** Rebates will be administered on a first come first served basis for qualified applicants, subject to the maximums defined herein. For qualified applicants, please allow 4-6 weeks for incentive processing.
3. Receipt of incentive funds for purchase of a product through this program does not guarantee compliance with City of St. Helena Ordinance 2022-11.
4. The City of St. Helena does not promote, endorse, or require the use of any specific vendor or product.
5. Incentive award amounts are subject to the following conditions:
 - a. Incentive in the amount of \$250 may be issued to Commercial Operators with 1-3 accounts in the City.
 - b. Incentive in the amount of \$350 may be issued to Commercial Operators with 4 or more accounts in the City.
 - c. Incentive in the amount of \$350 may be issued to Commercial Properties with own staff on site.
 - d. Incentive in the amount of \$350 may be issued to Commercial Operators serving an HOA.

Submitted By (Print Name): _____ Signature: _____ Date: ____/____/____



Ciudad de St. Helena

APLICACIÓN COMERCIAL

Subvención para compra de soplador de hojas eléctrico o de batería

1572 Railroad Avenue St. Helena, CA 94574

707-968-2635

INFORMACIÓN DEL SOLICITANTE

Nombre de la Compañía*: _____

Dirección de la Compañía: _____

Nombre del Contacto (Si es diferente al posterior): _____

Numero de Teléfono: _____ Correo Electrónico: _____

Número de Licencia Comercial en St. Helena** _____ Fecha de Expiración: _____

* Especifique a quien nombrar en el cheque si diferente al nombre de compañía (beneficiario, empresa, o individuo): _____

** El número de licencia comercial se puede encontrar en una licencia comercial válida de la ciudad de St. Helena.

REQUISITOS PARA SOLICITUDES DE SUBVENCION

Para ser considerado para el programa de subvención, los siguientes elementos deben ser incluidos con esta SOLICITUD:

1. Comprobante de compra de un(os) soplador(es) hojas eléctrico o de baterías

- Ejemplos de comprobantes incluyen (per no se limitan a): Recibo, orden de compra o factura
- La fecha de compra DEBE SER DESPUES DEL **Noviembre 1, 2022**.
- Comprobante de compra para TODOS los solicitantes

Proporcione una lista de cuentas en la ciudad de St. Helena o la dirección del negocio.

1. _____
2. _____
3. _____
4. _____

Si tiene cuenta de servicio a una(s) Asociación(es) de Propietarios de Viviendas, incluya:

1. Nombre del APV _____
Gerente del AVP _____
2. Nombre del APV _____
Gerente del AVP _____

Licencia comercial válida con la ciudad de St. Helena

- Se REQUIERE una licencia comercial valida con la ciudad de St. Helena para TODOS los solicitantes.

ENVIO DE SOLICITUD

Envíe la solicitud completa, incluyendo TODA la documentación requerida de la siguiente manera:

- Por correo electrónico a: **Preya Nixon a pnixon@cityofstheleena.org**
- Por correo postal o en persona a: **1572 Railroad Avenue St. Helena, CA 94574**

CONDICIONES PARA ACEPTAR LA SUBVENCION

Al someter esta SOLICITUD y/o aceptación de la subvención, el SOLICITANTE acepta los siguientes términos.

1. El programa de subvención para sopladores de hojas eléctricos o de batería esta disponible para cualquier persona u operador comercial (según lo define el decreto 2022-11).
2. **Los fondos monetarios estarán disponibles hasta agotarse.** Los reembolsos se administrarán basado en el orden que se reciban las solicitudes aprobadas, sujetos a los límites máximos definidos en este documento. Para las solicitudes aprobadas, puede tardar de 4 a 6 semanas para procesar el reembolso.
3. Recibir esta subvención para comprar el dispositivo no garantiza cumplimiento con el decreto 2022-11 de la ciudad de St. Helena.
4. La ciudad de St. Helena no promueve, respalda, ni requiere el uso de ningún proveedor o producto específico.
5. Los montos de subvención están sujetos a las siguientes condiciones:
 - a. Se puede emitir una subvención de \$250 a comerciantes sirviendo de 1 a 3 cuentas en la ciudad.
 - b. Se puede emitir una subvención de \$350 a comerciantes sirviendo a 4 o mas cuentas en la ciudad.
 - c. Se puede emitir una subvención de \$350 a negocios comerciales con personal propio de mantenimiento en el negocio.
 - d. Se puede emitir una subvención de \$350 a comerciantes sirviendo una Asociación de Propiedades de Viviendas (APV).

Enviado por (Nombre en letra imprenta): _____ Firma: _____ Fecha: _____



Report to the City Council
 Regular City Council - 10 Jan 2023 - AMENDED
 01-08-2023 - *REMINDER EMAIL*

Agenda Section: NEW BUSINESS

Subject: Consideration of an Ordinance of the City Council of the City of St. Helena adopting an Urgency Ordinance amending Section 17.116.030 of the St. Helena Municipal Code relating to accessory dwelling units and junior accessory dwelling units, and determining the Ordinance to be exempt from CEQA.

CEQA Exempt
Determination:

Prepared By: Ethan Walsh, City Attorney

Reviewed By: April Mitts, Assistant City Manager

Approved By: Anil Comelo, City Manager

BACKGROUND

In recent years, the California Legislature has approved, and the Governor has signed into law, a number of bills that, among other things, amended Government Code sections 65852.2 and 65852.22 to impose new limits on local authority to regulate ADUs and JADUs. In 2022, the California Legislature approved, and the Governor signed into law, a new bill (SB 897) that further amends Government Code sections 65852.2 and 65852.22 ("New Amendments"). Among other things, the scope of the attached proposed new Amendments:

- Require the City to allow certain ADUs to be higher — up to 18 or 25 feet, depending the situation,
- Require the City's front setback requirement to yield for certain ADUs,
- Require the City to justify a denial with a full set of detailed comments describing the deficiencies in the application and explaining how to remedy them, and
- Remove the automatic repeal in 2025 (now the ADU statute is permanent),
- Add provisions that the City must approve or deny an application within 60 days,
- Add provisions that an ADU must comply with Building and Safety codes,

- Remove the reference to historical protections as the Secretary of the Interior's Standards are not objective, and therefore don't qualify for ADU review purposes, and
- Add a new section related to non-conforming zoning code conditions, building code violations, and unpermitted structures.

SB 897 took effect January 1, 2023. If the City's ADU ordinance does not comply with requirements of SB 897 by that date, the City's entire existing ADU ordinance becomes null and void as a matter of law, and the City will have to allow ADUs with no local regulation except for the few requirements in the state ADU law itself. The City has prepared this ordinance amendment so the City has a legally compliant ADU ordinance.

DISCUSSION

The proposed ordinance amends the City's local regulatory controls for the construction of ADUs and JADUs to comply with recently amended provisions of Government Code sections 65852.2 and 65852.22.

As noted above, failure to comply with Government Code sections 65852.2 and 65852.22 (as amended) by January 1, 2023, renders the City's ADU ordinance null and void, thereby limiting the City to the application of the few default state standards provided in Government Code sections 65852.2 and 65852.22. The approval of ADUs and JADUs based solely on these default statutory standards, without local regulations governing height, setback, landscape, and architectural review, among other things, would threaten the character of existing neighborhoods, and negatively impact property values, personal privacy, and fire safety. The attached proposed Urgency Ordinance includes changes to the St. Helena Municipal Code Section 17.116.030 substantially in the form attached.

The ADU code amendments are proposed for adoption by urgency ordinance, in accordance with Government Code section 36937, subdivision (b).

CEQA

Under California Public Resources Code section 21080.17, the California Environmental Quality Act ("CEQA") does not apply to the adoption of an ordinance by a city or county implementing the provisions of section 65852.2 of the Government Code, which is California's ADU law and which also regulates JADUs, as defined by section 65852.22. Therefore, the proposed ordinance is statutorily exempt from CEQA in that the proposed ordinance implements the State's ADU law.

FISCAL IMPACT

No fiscal impact is anticipated in adopting this Urgency Ordinance.

RECOMMENDED ACTION

Staff recommends that the City Council:

1. Adopt an Urgency Ordinance of the City Council of the City of St. Helena amending Section 17.116.030 of the St. Helena Municipal Code relating to

accessory dwelling units and junior accessory dwelling units, and determining the Ordinance to be exempt from CEQA, by title only and waive further reading.

ATTACHMENTS

[Urgency Ordinance re ADU Updates \[Nov. 2022\]-c1](#)

[SHMC Section 17.116.030 Clean](#)

[SHMC Section 17.116.030 Redline](#)

URGENCY ORDINANCE NO. _____

AN URGENCY ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ST. HELENA AMENDING SECTION 17.116.030 OF THE ST. HELENA MUNICIPAL CODE RELATING TO ACCESSORY DWELLING UNITS AND JUNIOR ACCESSORY DWELLING UNITS, AND DETERMINING THE ORDINANCE TO BE EXEMPT FROM CEQA

WHEREAS, the City of St. Helena, California (“City”) is a municipal corporation, duly organized under the constitution and laws of the State of California; and

WHEREAS, state law authorizes cities to act by ordinance to provide for the creation and regulation of accessory dwelling units (“ADUs”) and junior accessory dwelling units (“JADUs”); and

WHEREAS, in recent years, the California Legislature has approved, and the Governor has signed into law, a number of bills that, among other things, amended Government Code sections 65852.2 and 65852.22 to impose new limits on local authority to regulate ADUs and JADUs; and

WHEREAS, in 2022, the California Legislature approved, and the Governor signed into law, a new bill (SB 897) that further amends Government Code sections 65852.2 and 65852.22; and

WHEREAS, SB 897 takes effect January 1, 2023, and if the City’s ADU ordinance does not comply with the requirements imposed by SB 897 by that date, the City’s entire existing ADU ordinance becomes null and void as a matter of law; and

WHEREAS, the City desires to amend its local regulatory scheme for the construction of ADUs and JADUs to comply with the amended provisions of Government Code sections 65852.2 and 65852.22; and

WHEREAS, there is a current and immediate threat to the public health, safety, or welfare based on the passage of SB 897 because if the City’s ordinance does not comply with the amended laws as of January 1, 2023, and the City’s ADU ordinance becomes null and void, the City would thereafter be limited to applying the few default standards that are provided in Government Code sections 65852.2 and 65852.22 for the approval of ADUs and JADUs; and

WHEREAS, the approval of ADUs and JADUs based solely on the default statutory standards, without local regulations governing height, setback, landscape, and architectural review, among other things, would threaten the character of existing neighborhoods, and negatively impact property values, personal privacy, and fire safety. These threats to public safety, health, and welfare justify adoption of this ordinance as an urgency ordinance to be effective immediately upon adoption by a four-fifths vote of the City Council; and

WHEREAS, to protect the public safety, health, and welfare, the City Council may adopt this ordinance as an urgency measure in accordance with Government Code section 36937, subdivision (b).

NOW, THEREFORE, the City Council of the City of St. Helena does ordain as follows:

Section 1. The recitals above are each incorporated by reference and adopted as findings by the City Council.

Section 2. Under California Public Resources Code section 21080.17, the California Environmental Quality Act ("CEQA") does not apply to the adoption of an ordinance by a city or county implementing the provisions of section 65852.2 of the Government Code, which is California's ADU law and which also regulates JADUs, as defined by section 65852.22. Therefore, the proposed ordinance is statutorily exempt from CEQA in that the proposed ordinance implements the State's ADU law.

Section 3. Subdivision C.6. of Section 17.116.030 of the St. Helena Municipal Code is hereby amended in part to read as follows (additions are marked in underline, and deletions are marked in ~~strikethrough~~):

"C. Definitions. As used in this section, terms are defined as follows:

...

6. "Junior accessory dwelling unit" or "JADU" means a residential unit that satisfies all of the following:

- a. It is no more than 500 square feet in size.
- b. It is contained entirely within an existing or proposed single family structure. An enclosed use within the residence, such as an attached garage, is considered to be a part of and contained within the single-family structure.
- c. It includes its own separate sanitation facilities or shares sanitation facilities with the existing or proposed single-family structure, ~~and~~.
- d. If the unit does not include its own separate bathroom, then it contains an interior entrance to the main living area of the existing or proposed single-family structure in addition to an exterior entrance that is separate from the main entrance to the primary dwelling.
- ~~d.~~ e. It includes an efficiency kitchen, as defined in subsection C.5. above.

e. f. It includes a separate interest from the main entrance to the structure.

...

Section 4. Subdivisions D.2.a., D.2.b., and D.2.d. of Section 17.116.030 of the St. Helena Municipal Code are hereby amended in part to read as follows (additions are marked in underline, and deletions are marked in ~~striketrough~~):

“D. Approvals. The following approvals apply to ADUs and JADUs under this section:

...

2. Partial Exemption for Certain ADUs and JADUs. An ADU or JADU in any of the four scenarios that are described in subsections (D)(2)(a) through (d) of this section is exempt from the design and development standards in subsection F of this section and is allowed with only a building permit if it complies with each of the requirements in subsections E and G of this section.

a. Converted on Single-family Lot: One ADU as described in this subsection 0 and one JADU on a lot with a proposed or existing single-family dwelling on it, where the ADU or JADU:

i. Is either: within the space of a proposed single-family dwelling; within the existing space of an existing single-family dwelling; or (in the case of an ADU only) within the existing space of an accessory structure, plus up to 150 additional square feet if the expansion is limited to accommodating ingress and egress; and

...

iv. The JADU complies with the requirements of Government Code Section 65852.22.

b. Limited Detached on Single-family Lot: One detached, new-construction ADU on a lot with a proposed or existing single-family dwelling (in addition to any JADU that might otherwise be established on the lot under subsection D.2.a. above), if the detached ADU satisfies each of the following limitations:

...

iii. The peak height above grade ~~is sixteen (16) feet or less~~ does not exceed the applicable height limit in subsection E.9. below.

...

d. Detached on multifamily lot: no more than two detached ADUs on a lot that has an existing or proposed multifamily dwelling if each detached ADU satisfies the following limitations:

i. The side and rear yard setbacks are at least four feet. If the existing multifamily dwelling has a rear or side yard setback of less than four feet, the city will not require any modification to the multifamily dwelling as a condition of approving the ADU.

ii. The peak height above grade is ~~sixteen (16) feet or less~~ does not exceed the applicable height limit in subsection E.9. below.

Section 5. Subdivision D.3. of Section 17.116.030 of the St. Helena Municipal Code is hereby amended in part to read as follows (additions are marked in underline, and deletions are marked in ~~strikethrough~~):

“D. Approvals. The following approvals apply to ADUs and JADUs under this section:

...

3. Process and Timing.

...

b. The city must ~~act on~~ approve or deny an application to create an ADU or JADU within sixty (60) days from the date that the city receives a completed application. If the city has not approved or denied the completed application within sixty (60) days, the application is deemed approved unless either:

...

ii. In the case of a JADU, when the application to create a junior accessory dwelling unit is submitted with a permit application to create a new single-family or multifamily dwelling on the lot, the city may delay acting on the permit application for the JADU unless the city acts on the permit application to create the new single-family or multifamily dwelling, but the application to create the JADU will still be considered ministerially without discretionary review or a hearing.

c. If the city denies an application to create an ADU or JADU, the city must provide the applicant with comments that include, among other things, a list of all the defective or deficient items and a description of how the application may be remedied by the applicant. Notice of the denial and corresponding comments must be provided to the applicant within the 60-day time period established by subsection D.3.b. above.

d. A demolition permit for a detached garage that is to be replaced with an ADU is reviewed with the application for the ADU and issued at the same time.

Section 6. Subdivision E.2. of Section 17.116.030 of the St. Helena Municipal Code is hereby amended in full to read as follows (additions are marked in underline, and deletions are marked in ~~strikethrough~~):

“E. General ADU and JADU Requirements. The following requirements apply to all ADUs and JADUs:

...

2. Fire Sprinklers.

a. Fire sprinklers are required in an ADU if sprinklers are required in the primary residence.

b. The construction of an ADU does not trigger a requirement for fire sprinklers to be installed in the existing primary dwelling.

Section 7. Subdivision E.6. of Section 17.116.030 of the St. Helena Municipal Code is hereby amended in full to read as follows (additions are marked in underline, and deletions are marked in ~~strikethrough~~):

“E. General ADU and JADU Requirements. The following requirements apply to all ADUs and JADUs:

...

6. Owner Occupancy.

a. ~~All ADUs created before January 1, 2020, are subject to the owner occupancy requirement that was in place when the ADU was created.~~

a. An ADU that is created after that date January 1, 2020, but before January 1, 2025, is not subject to any owner-occupancy requirement.

b. Unless applicable law requires otherwise, all ADUs that are created on or after January 1, 2025, are subject to an owner-occupancy requirement. A natural person with legal or equitable title to the property must reside on the property as the person's legal domicile and permanent residence.

c. As required by state law, all JADUs are subject to an owner-occupancy requirement. A natural person with legal or equitable title to the property must reside on the property, in either the primary dwelling or JADU, as the person's legal domicile and permanent residence. However, the owner-occupancy requirement of this subsection does not apply if the property is entirely owned by another governmental agency, land trust, or housing organization.

Section 8. A new subdivision E.9. of Section 17.116.030 of the St. Helena Municipal Code is hereby added to read in full as follows:

“E. General ADU and JADU Requirements. The following requirements apply to all ADUs and JADUs:

...

9. Height.

a. Except as otherwise provided by subsections E.9.b. and E.9.c. below, a detached ADU created on a lot with an existing or proposed single-family or multifamily dwelling unit may not exceed 16 feet in height.

b. A detached ADU may be up to 18 feet in height if it is created on a lot with an existing or proposed single family or multifamily dwelling unit that is located within one-half mile walking distance of a major transit stop or a high quality transit corridor, as those terms are defined in Section 21155 of the Public Resources Code, and the ADU may be up to two additional feet in height (for a maximum of 20 feet) if necessary to accommodate a roof pitch on the ADU that is aligned with the roof pitch of the primary dwelling unit.

c. A detached ADU created on a lot with an existing or proposed multifamily dwelling that has more than one story above grade may not exceed 18 feet in height.

d. An ADU that is attached to the primary dwelling may not exceed 25 feet in height or the height limitation imposed by the underlying zone that applies to the primary dwelling, whichever is lower. Notwithstanding the foregoing, ADUs subject to this subsection E.9.d. may not exceed two stories.

e. For purposes of this subsection E.9., height is measured above existing legal grade to the peak of the structure.

Section 9. A new subdivision E.10. of Section 17.116.030 of the St. Helena Municipal Code is hereby added to read in full as follows:

“E. General ADU and JADU Requirements. The following requirements apply to all ADUs and JADUs:

...

10. Building & Safety.

a. Must comply with Building Code: Subject to subsection E.10.b. below, all ADUs and JADUs must comply with all local Building Code requirements.

b. No change of occupancy: Construction of an ADU does not constitute a Group R occupancy change under the local building code, as described in Section 310 of the California Building Code, unless the building official makes a written finding based on substantial evidence in the record that the construction of the ADU could have a specific, adverse impact on public health and safety. Nothing in this subsection E.10.b. prevents the city from changing the occupancy code of a space that was uninhabitable space or that was only permitted for nonresidential use and was subsequently converted for residential use in accordance with this section.

Section 10. Subdivision F.1.c. of Section 17.116.030 of the St. Helena Municipal Code is hereby amended in full to read as follows (additions are marked in underline, and deletions are marked in ~~strikethrough~~):

“F. Specific ADU Requirements. The following requirements apply only to ADUs that are approved under subsection D.2. of this section.

1. Maximum Size.

...

c. Application of other development standards in this subsection F, such as F.A.R. or lot coverage, might further limit the size of the ADU, but no application of F.A.R., lot coverage, front setback, or open-space requirements may require the ADU to be less than eight hundred (800) square feet.”

Section 11. Subdivision F.4., “Height,” of Section 17.116.030 of the St. Helena Municipal Code is hereby deleted in its entirety, and current subdivisions F.5. through F.7. are hereby renumbered accordingly.

Section 12. Current subdivision F.8. of Section 17.116.030 of the St. Helena Municipal Code is hereby deleted in its entirety.

Section 13. A new subdivision I., “Nonconforming Zoning Code Conditions, Building Code Violations, and Unpermitted Structures,” is hereby added to Section 17.116.030 of the St. Helena Municipal Code is hereby added to read in full as follows:

I. Nonconforming Zoning Code Conditions, Building Code Violations, and Unpermitted Structures.

1. The city will not deny an ADU or JADU application due to a nonconforming zoning condition, building code violation, or unpermitted structure on the lot that does not present a threat to the public health and safety and that is not affected by the construction of the ADU or JADU.

2. Unpermitted ADUs constructed before 2018.

a. Permit to Legalize: As required by state law, the city may not deny a permit to legalize an existing but unpermitted ADU that was constructed before January 1, 2018, if denial is based on either of the following grounds:

i. The ADU violates applicable building standards, or

ii. The ADU does not comply with the state ADU law (Government Code Section 65852.2 or this Section 17.116.030.

b. Exceptions:

i. Notwithstanding subsection I.2.a. above, the city may deny a permit to legalize an existing but unpermitted ADU that was constructed before January 1, 2018, if the city makes a finding that correcting a violation is necessary to protect the health and safety of the public or occupants of the structure.

ii. Subsection I.2.a. above does not apply to a building that is deemed to be substandard in accordance with California Health and Safety Code Section 17920.3.

Section 14. This ordinance takes effect immediately upon its adoption.

Section 15. The City Clerk shall either: (a) have this ordinance published in a newspaper of general circulation within 15 days after its adoption or (b) have a

summary of this ordinance published twice in a newspaper of general circulation, within 15 days after its adoption.

Section 16. The City Clerk shall submit a copy of this ordinance to the Department of Housing and Community Development within 60 days after adoption.

Section 17. If any provision of this ordinance or its application to any person or circumstance is held to be invalid, such invalidity has no effect on the other provisions or applications of the ordinance that can be given effect without the invalid provision or application, and to this extent, the provisions of this resolution are severable. The City Council declares that it would have adopted this resolution irrespective of the invalidity of any portion thereof.

(Continues on next page)

PASSED, APPROVED AND ADOPTED by the City Council of the City of St. Helena, California, at a regular meeting of the City Council held on the 10th day of January, 2023 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Paul Dohring, Mayor

ATTEST:

Cindy Tzaopoulos, City Clerk

17.116.030 Accessory dwelling units.

- A. Purpose. The purpose of this section is to allow and regulate accessory dwelling units (ADUs) and junior accessory dwelling units (JADUs) in compliance with California Government Code Sections 65852.2 and 65852.22.
- B. Effect of Conforming. An ADU or JADU that conforms to the standards in this section will not be:
 1. Deemed to be inconsistent with the city's general plan and zoning designation for the lot on which the ADU or JADU is located.
 2. Deemed to exceed the allowable density for the lot on which the ADU or JADU is located.
 3. Considered in the application of any local ordinance, policy, or program to limit residential growth.
 4. Required to correct a nonconforming zoning condition, as defined in subsection (C)(8) of this section. This does not prevent the city from enforcing compliance with applicable building standards in accordance with Health and Safety Code Section 17980.12.
- C. Definitions. As used in this section, terms are defined as follows:
 1. "Accessory dwelling unit" or "ADU" means an attached or a detached residential dwelling unit that provides complete independent living facilities for one or more persons and is located on a lot with a proposed or existing primary residence. An accessory dwelling unit also includes the following:
 - a. An efficiency unit, as defined by Section 17958.1 of the California Health and Safety Code; and
 - b. A manufactured home, as defined by Section 18007 of the California Health and Safety Code.
 2. "Accessory structure" means a structure that is accessory and incidental to a dwelling located on the same lot.
 3. "Complete independent living facilities" means permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the single-family or multifamily dwelling is or will be situated. All such facilities are to be separate and distinct from those included in and provided for any other dwelling unit or accessory structure on the parcel, except as otherwise specifically provided (e.g., utility connections may be shared as provided in subsection (G)(2) of this section; a junior accessory dwelling unit may share sanitation facilities).
 4. "Cooking facility" means a stove with at least two burners, a sink and permanent refrigeration.
 5. "Efficiency kitchen" means a kitchen that includes each of the following:
 - a. A cooking facility.
 - b. A food preparation counter or counters that total at least fifteen (15) square feet in area.
 - c. Food storage cabinets that total at least thirty (30) square feet of shelf space.
 6. "Junior accessory dwelling unit" or "JADU" means a residential unit that satisfies all of the following:
 - a. It is no more than five hundred (500) square feet in size.
 - b. It is contained entirely within an existing or proposed single-family structure. An enclosed use within the residence, such as an attached garage, is considered to be part of and contained within the single-family structure.
 - c. It includes its own separate sanitation facilities or shares sanitation facilities with the existing or proposed single-family structure.

- d. If the unit does not include its own separate bathroom, then it contains an interior entrance to the main living area of the existing or proposed single-family structure in addition to an exterior entrance that is separate from the main entrance to the primary dwelling.
 - e. It includes an efficiency kitchen, as defined in subsection (C)(5) above.
 - f. It includes a separate entrance from the main entrance to the structure.
- 7. “Living area” means the interior habitable area of a dwelling unit, including basements and attics, but does not include a garage or any accessory structure.
- 8. “Nonconforming zoning condition” means a physical improvement on a property that does not conform with current zoning standards.
- 9. “Passageway” means a pathway that is unobstructed clear to the sky and extends from a street to one entrance of the ADU or JADU.
- 10. “Primary residence” means a single-family dwelling or multifamily residential dwelling that either exists on or is proposed for a lot zoned for single-family or multifamily residential use.
- 11. “Proposed dwelling” means a dwelling that is the subject of a permit application and that meets the requirements for permitting.
- 12. “Public transit” means a location, including, but not limited to, a bus stop or train station, where the public may access buses, trains, subways, and other forms of transportation that charge set fares, run on fixed routes, and are available to the public.
- 13. “Tandem parking” means that two or more automobiles are parked on a driveway or in any other location on a lot, lined up behind one another.
- D. Approvals. The following approvals apply to ADUs and JADUs under this section:
 - 1. Generally. Except as described in subsection (D)(2) of this section, an ADU is allowed with only a building permit if it complies with each of the requirements in subsections E, F, and G of this section.
 - 2. Partial Exemption for Certain ADUs and JADUs. An ADU or JADU in any of the four scenarios that are described in subsections (D)(2)(a) through (d) of this section is exempt from the design and development standards in subsection F of this section and is allowed with only a building permit if it complies with each of the requirements in subsections E and G of this section.
 - a. Converted on single-family lot: only one ADU or JADU on a lot with a proposed or existing single-family dwelling on it, where the ADU or JADU:
 - i. Is either: within the space of a proposed single-family dwelling; within the existing space of an existing single-family dwelling; or (in the case of an ADU only) within the existing space of an accessory structure, plus up to one hundred fifty (150) additional square feet if the expansion is limited to accommodating ingress and egress. For purposes of this subsection, “within the existing space” includes a structure that is constructed in the same location and to the same dimensions.
 - ii. Has exterior access that is independent of that for the single-family dwelling.
 - iii. Has side and rear setbacks sufficient for fire and safety, as dictated by applicable building and fire codes.
 - iv. The JADU complies with requirements of Government Code Section 65852.22.

- b. Detached on single-family lot: one detached, new-construction ADU on a lot with a proposed or existing single-family dwelling (in addition to any JADU that might otherwise be established on the lot under subsection (D)(2)(a) of this section), if the detached ADU satisfies the following limitations:
 - i. The side- and rear-yard setbacks are at least four feet.
 - ii. The total floor area is eight hundred (800) square feet or smaller.
 - iii. The peak height above grade does not exceed the applicable height limit in subsection E.9. below.
- c. Converted on multifamily lot: multiple ADUs within portions of existing multifamily dwelling structures that are not used as livable space, including but not limited to storage rooms, boiler rooms, passageways, attics, basements, or garages, if each converted ADU complies with state building standards for dwellings. At least one converted ADU under this subsection is allowed within an existing multifamily dwelling, up to a quantity equal to twenty-five percent (25%) of the existing multifamily dwelling units.
- d. Detached on multifamily lot: no more than two detached ADUs on a lot that has an existing or proposed multifamily dwelling if each detached ADU satisfies the following limitations:
 - i. The side and rear yard setbacks are at least four feet. If the existing multifamily dwelling has a rear or side yard setback of less than four feet, the city will not require any modification to the multifamily dwelling as a condition of approving the ADU.
 - ii. The peak height above grade does not exceed the applicable height limit in subsection E.9. below.

3. Process and Timing.

- a. An application for an ADU or JADU is considered and approved ministerially, without discretionary review or a hearing.
- b. The city must approve or deny an application to create an ADU or JADU within sixty (60) days from the date that the city receives a completed application. If the city has not approved or denied the completed application within sixty (60) days, the application is deemed approved unless either:
 - i. The applicant requests a delay, in which case the sixty (60) day time period is tolled for the period of the requested delay; or
 - ii. In the case of a JADU, when the application to create a junior accessory dwelling unit is submitted with a permit application to create a new single-family or multifamily dwelling on the lot, the city may delay acting on the permit application for the JADU until the city acts on the permit application to create the new single-family or multifamily dwelling, but the application to create the JADU will still be considered ministerially without discretionary review or a hearing.
- c. If the city denies an application to create an ADU or JADU, the city must provide the applicant with comments that include, among other things, a list of all the defective or deficient items and a description of how the application may be remedied by the applicant. Notice of the denial and corresponding comments must be provided to the applicant within the 60-day time period established by subsection D.3.b. above.
- d. A demolition permit for a detached garage that is to be replaced with an ADU is reviewed with the application for the ADU and issued at the same time.

E. General ADU and JADU Requirements. The following requirements apply to all ADUs and JADUs:

- 1. Zoning. An ADU or JADU may be created on any lot that is zoned to allow single-family dwelling residential use or multifamily dwelling residential use (i.e., residential, mixed-use, and agriculturally zoned parcels).

2. Fire Sprinklers.
 - a. Fire sprinklers are required in an ADU if sprinklers are required in the primary residence.
 - b. The construction of an ADU does not trigger a requirement for fire sprinklers to be installed in the existing primary dwelling.
3. Rental Term. No ADU or JADU may be rented for a term that is shorter than thirty (30) days.
4. No Separate Conveyance. An ADU or JADU may be rented, but no ADU or JADU may be sold or otherwise conveyed separately from the primary residence.
5. Septic System. If the ADU or JADU will connect to an on-site water-treatment system, the owner must include with the application a percolation test completed within the last five years or, if the percolation test has been recertified, within the last ten (10) years.
6. Owner Occupancy.
 - a. An ADU that is created after January 1, 2020, but before January 1, 2025, is not subject to any owner-occupancy requirement.
 - b. Unless applicable law requires otherwise, all ADUs that are created on or after January 1, 2025, are subject to an owner-occupancy requirement. A natural person with legal or equitable title to the property must reside on the property as the person's legal domicile and permanent residence.
 - c. As required by state law, all JADUs are subject to an owner-occupancy requirement. A natural person with legal or equitable title to the property must reside on the property, in either the primary dwelling or JADU, as the person's legal domicile and permanent residence. However, the owner-occupancy requirement of this subsection does not apply if the property is entirely owned by another governmental agency, land trust, or housing organization.
7. Deed Restriction. Prior to issuance of a building permit for an ADU or JADU, a deed restriction must be recorded against the title of the property in the county recorder's office and a copy filed with the director. The deed restriction must run with the land and bind all future owners. The form of the deed restriction will be provided by the city and must provide that:
 - a. The ADU or JADU may not be sold separately from the primary dwelling.
 - b. The ADU or JADU is restricted to the approved size and to other attributes allowed by this section.
 - c. The deed restriction runs with the land and may be enforced against future property owners.
 - d. The deed restriction may be removed if the owner eliminates the ADU or JADU, as evidenced by, for example, removal of the kitchen facilities. To remove the deed restriction, an owner may make a written request of the director, providing evidence that the ADU or JADU has in fact been eliminated. The director may then determine whether the evidence supports the claim that the ADU or JADU has been eliminated. Appeal may be taken from the director's determination consistent with other provisions of this code. If the ADU or JADU is not entirely physically removed, but is only eliminated by virtue of having a necessary component of an ADU or JADU removed, the remaining structure and improvements must otherwise comply with applicable provisions of this code.
 - e. The deed restriction is enforceable by the director or his or her designee for the benefit of the city. Failure of the property owner to comply with the deed restriction may result in legal action against the property owner, and the city is authorized to obtain any remedy available to it at law or equity, including, but not limited to, obtaining an injunction enjoining the use of the ADU or JADU in violation of the recorded restrictions or abatement of the illegal unit.

8. Income Reporting. In order to facilitate the city's obligation to identify adequate sites for housing in accordance with Government Code Sections 65583.1 and 65852.2, the following requirements must be satisfied:

- a. With the building-permit application, the applicant must provide the city with an estimate of the projected annualized rent that will be charged for the ADU or JADU.
- b. Within ninety (90) days after each yearly anniversary of the issuance of the building permit, the owner must report the actual rent charged for the ADU or JADU during the prior year. If the city does not receive the report within the ninety (90) day period, the city may send the owner a notice of violation and allow the owner another thirty (30) days to submit the report. If the owner fails to submit the report within the thirty (30) day period, the city may enforce this provision in accordance with applicable law.

9. Height.

- a. Except as otherwise provided by subsections E.9.b. and E.9.c. below, a detached ADU created on a lot with an existing or proposed single-family or multifamily dwelling unit may not exceed 16 feet in height.
- b. A detached ADU may be up to 18 feet in height if it is created on a lot with an existing or proposed single family or multifamily dwelling unit that is located within one-half mile walking distance of a major transit stop or a high quality transit corridor, as those terms are defined in Section 21155 of the Public Resources Code, and the ADU may be up to two additional feet in height (for a maximum of 20 feet) if necessary to accommodate a roof pitch on the ADU that is aligned with the roof pitch of the primary dwelling unit.
- c. A detached ADU created on a lot with an existing or proposed multifamily dwelling that has more than one story above grade may not exceed 18 feet in height.
- d. An ADU that is attached to the primary dwelling may not exceed 25 feet in height or the height limitation imposed by the underlying zone that applies to the primary dwelling, whichever is lower. Notwithstanding the foregoing, ADUs subject to this subsection E.9.d. may not exceed two stories.
- e. For purposes of this subsection E.9., height is measured above existing legal grade to the peak of the structure.

10. Building & Safety.

- a. Must comply with Building Code: Subject to subsection E.10.b. below, all ADUs and JADUs must comply with all local Building Code requirements.
- b. No change of occupancy: Construction of an ADU does not constitute a Group R occupancy change under the local building code, as described in Section 310 of the California Building Code, unless the building official makes a written finding based on substantial evidence in the record that the construction of the ADU could have a specific, adverse impact on public health and safety. Nothing in this subsection E.10.b. prevents the city from changing the occupancy code of a space that was uninhabitable space or that was only permitted for nonresidential use and was subsequently converted for residential use in accordance with this section.

F. Specific ADU Requirements. The following requirements apply only to ADUs that are approved under subsection (D)(1) of this section.

1. Maximum Size.

- a. The maximum size of a detached or attached ADU subject to this subsection F is eight hundred fifty (850) square feet for a studio or one-bedroom unit and one thousand (1,000) square feet for a unit with two bedrooms. No more than two bedrooms are allowed.

b. An attached ADU that is created on a lot with an existing primary dwelling is further limited to fifty percent (50%) of the floor area of the existing primary dwelling.

c. Application of other development standards in this subsection F, such as F.A.R. or lot coverage, might further limit the size of the ADU, but no application of F.A.R., lot coverage, front setback, or open-space requirements may require the ADU to be less than eight hundred (800) square feet.

2. Floor Area Ratio (F.A.R.). No ADU may cause the total F.A.R. of the lot to exceed the maximums listed below, subject to subsection (F)(1)(c) of this section:

Low, LR-1A, medium, and high density districts:

Net Parcel Area (Square Feet)	Floor Area Ratio (F.A.R.)	Maximum Gross Floor Area (Square Feet)
4,999 and less	—	1,800
5,000	0.36	1,800
6,000	0.35	2,100
7,000	0.34	2,380
8,000	0.33	2,640
9,000	0.32	2,880
10,000	0.31	3,100
11,000	0.30	3,300
12,000	0.29	3,480
13,000	0.28	3,640
14,000	0.27	3,780
15,000	0.26	3,900
16,000	0.25	4,000
17,000	0.24	4,080
18,000	0.23	4,140
19,000	0.22	4,180
20,000	0.21	4,200
25,000	0.195	4,875
30,000	0.18	5,400
35,000	0.165	5,775
40,000	0.15	6,000
43,560	0.139	6,069

The F.A.R. shall be interpolated to the nearest two-tenths of one percent based upon each two hundred (200) square feet of parcel area. For example, a parcel that is ten thousand six hundred (10,600) square feet in size has an allowable F.A.R. of 0.304.

Woodlands and watershed district—maximum building and structural coverage: the lesser of ten percent (10%) of the lot area, or twenty thousand (20,000) square feet.

A-20 district—nonagricultural coverage: No more than one acre of any one parcel shall be removed from active agricultural use. “Active agricultural use” means animal husbandry, crop, tree farming, and viticulture. All structures, driveways (except for a sixteen (16) foot wide driveway no greater than two-thirds the length of the parcel), parking, patios, lawn or other nonagricultural uses shall be limited to the one acre maximum per parcel.

3. Lot Coverage. No ADU subject to this subsection F may cause the total lot coverage of the lot to exceed the maximums listed below, subject to subsection (F)(1)(c) of this section:

Low density and LR-1A districts: thirty-five percent (35%).

Medium and high density districts: forty-five percent (45%).

Woodlands and watershed district—maximum building and structural coverage: the lesser of ten percent (10%) of the lot area, or twenty thousand (20,000) square feet.

A-20 district—nonagricultural coverage: no more than one acre of any one parcel shall be removed from active agricultural use. “Active agricultural use” means animal husbandry, crop, tree farming, and viticulture. All structures, driveways (except for a sixteen (16) foot wide driveway no greater than two-thirds the length of the parcel), parking, patios, lawn or other nonagricultural uses shall be limited to the one acre maximum per parcel.

4. Setbacks.

- a. No part of any ADU may be located within twenty (20) feet of the front and corner lot property lines.
- b. No part of any ADU may be located within four feet of a side yard or rear yard property line.

5. Passageway. No passageway, as defined by subsection (C)(9) of this section, is required for an ADU.

6. Parking.

- a. Generally. One off-street parking space is required for each ADU. The parking space may be provided in setback areas or as tandem parking, as defined by subsection (C)(13) of this section.
- b. Exceptions. No parking under subsection (F)(7)(a) of this section is required in the following situations:
 - i. The ADU is located within one-half mile walking distance of public transit, as defined in subsection (C)(12) of this section.
 - ii. The ADU is within an architecturally and historically significant historic district.
 - iii. The ADU is part of the proposed or existing primary residence or an accessory structure under subsection (D)(2)(a) of this section.
 - iv. When on-street parking permits are required but not offered to the occupant of the ADU.
 - v. When there is an established car share vehicle stop located within one block of the ADU.
- c. No Replacement. When a garage, carport, or covered parking structure is demolished in conjunction with the construction of an ADU or converted to an ADU, those off-street parking spaces are not required to be replaced.

- G. Fees.

1. Impact Fees.

- a. Impact fees shall not be imposed for an ADU that is less than seven hundred fifty (750) square feet in size.
- b. Any impact fee that is required for an ADU that is seven hundred fifty (750) square feet or larger in size must be charged proportionately in relation to the square footage of the primary dwelling unit (e.g., the floor area of the ADU, divided by the floor area of the primary dwelling, times the typical fee amount charged for a new dwelling). "Impact fee" here does not include any connection fee or capacity charge for water or sewer service.

2. Utility Fees.

- a. If an ADU or JADU is constructed with a new single-family home, a separate utility connection directly between the ADU or JADU and the utility and payment of the normal connection fee and capacity charge for a new dwelling are required.
- b. Except as described in subsection (G)(2)(a) of this section, converted ADUs and JADUs on a single-family lot that are created under subsection (D)(2)(a) of this section are not required to have a new or separate utility connection directly between the ADU or JADU and the utility. Nor is a connection fee or capacity charge required.
- c. Except as described in subsection (G)(2)(a) of this section, all ADUs and JADUs that are not covered by subsection (G)(2)(b) of this section require a new, separate utility connection directly between the ADU or JADU and the utility.
 - i. The connection is subject to a connection fee or capacity charge that is proportionate to the burden created by the ADU or JADU, based on either the floor area or the number of drainage-fixture units (DFU) values, as defined by the Uniform Plumbing Code, upon the water or sewer system.
 - ii. The portion of the fee or charge that is charged by the city may not exceed the reasonable cost of providing this service.

H. Nonconforming ADUs and Discretionary Approval. Any proposed ADU or JADU that does not conform to the objective standards set forth in subsections A through (G)(2) of this section may be allowed by the city with a conditional use permit, in accordance with the other provisions of this title. (Ord. 20-6 § 3 (Exh. A); Ord. 17-2 § 9; Ord. 03-4 § 23; prior code § 27.232)

I. Nonconforming Zoning Code Conditions, Building Code Violations, and Unpermitted Structures.

1. The city will not deny an ADU or JADU application due to a nonconforming zoning condition, building code violation, or unpermitted structure on the lot that does not present a threat to the public health and safety and that is not affected by the construction of the ADU or JADU.

2. Unpermitted ADUs constructed before 2018.

a. Permit to Legalize: As required by state law, the city may not deny a permit to legalize an existing but unpermitted ADU that was constructed before January 1, 2018, if denial is based on either of the following grounds:

- i. The ADU violates applicable building standards, or
- ii. The ADU does not comply with the state ADU law (Government Code Section 65852.2 or this Section 17.116.030).

b. Exceptions:

i. Notwithstanding subsection I.2.a. above, the city may deny a permit to legalize an existing but unpermitted ADU that was constructed before January 1, 2018, if the city makes a finding that correcting a violation is necessary to protect the health and safety of the public or occupants of the structure.

ii. Subsection I.2.a. above does not apply to a building that is deemed to be substandard in accordance with California Health and Safety Code Section 17920.3.

17.116.030 Accessory dwelling units.

- A. Purpose. The purpose of this section is to allow and regulate accessory dwelling units (ADUs) and junior accessory dwelling units (JADUs) in compliance with California Government Code Sections 65852.2 and 65852.22.
- B. Effect of Conforming. An ADU or JADU that conforms to the standards in this section will not be:
1. Deemed to be inconsistent with the city's general plan and zoning designation for the lot on which the ADU or JADU is located.
 2. Deemed to exceed the allowable density for the lot on which the ADU or JADU is located.
 3. Considered in the application of any local ordinance, policy, or program to limit residential growth.
 4. Required to correct a nonconforming zoning condition, as defined in subsection (C)(8) of this section. This does not prevent the city from enforcing compliance with applicable building standards in accordance with Health and Safety Code Section 17980.12.
- C. Definitions. As used in this section, terms are defined as follows:
1. "Accessory dwelling unit" or "ADU" means an attached or a detached residential dwelling unit that provides complete independent living facilities for one or more persons and is located on a lot with a proposed or existing primary residence. An accessory dwelling unit also includes the following:
 - a. An efficiency unit, as defined by Section 17958.1 of the California Health and Safety Code; and
 - b. A manufactured home, as defined by Section 18007 of the California Health and Safety Code.
 2. "Accessory structure" means a structure that is accessory and incidental to a dwelling located on the same lot.
 3. "Complete independent living facilities" means permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the single-family or multifamily dwelling is or will be situated. All such facilities are to be separate and distinct from those included in and provided for any other dwelling unit or accessory structure on the parcel, except as otherwise specifically provided (e.g., utility connections may be shared as provided in subsection (G)(2) of this section; a junior accessory dwelling unit may share sanitation facilities).
 4. "Cooking facility" means a stove with at least two burners, a sink and permanent refrigeration.

5. “Efficiency kitchen” means a kitchen that includes each of the following:
 - a. A cooking facility.
 - b. A food preparation counter or counters that total at least fifteen (15) square feet in area.
 - c. Food storage cabinets that total at least thirty (30) square feet of shelf space.
6. “Junior accessory dwelling unit” or “JADU” means a residential unit that satisfies all of the following:
 - a. It is no more than five hundred (500) square feet in size.
 - b. It is contained entirely within an existing or proposed single-family structure. An enclosed use within the residence, such as an attached garage, is considered to be part of and contained within the single-family structure.
 - c. It includes its own separate sanitation facilities or shares sanitation facilities with the existing or proposed single-family structure.
 - d. If the unit does not include its own separate bathroom, then it contains an interior entrance to the main living area of the existing or proposed single-family structure in addition to an exterior entrance that is separate from the main entrance to the primary dwelling.
 - de. It includes an efficiency kitchen, as defined in subsection (C)(5) above, of this section; and
 - ef. It includes a separate entrance from the main entrance to the structure.
7. “Living area” means the interior habitable area of a dwelling unit, including basements and attics, but does not include a garage or any accessory structure.
8. “Nonconforming zoning condition” means a physical improvement on a property that does not conform with current zoning standards.
9. “Passageway” means a pathway that is unobstructed clear to the sky and extends from a street to one entrance of the ADU or JADU.
10. “Primary residence” means a single-family dwelling or multifamily residential dwelling that either exists on or is proposed for a lot zoned for single-family or multifamily residential use.
11. “Proposed dwelling” means a dwelling that is the subject of a permit application and that meets the requirements for permitting.
12. “Public transit” means a location, including, but not limited to, a bus stop or train station, where the public may access buses, trains, subways, and other forms of transportation that charge set fares, run on fixed routes, and are available to the public.

13. “Tandem parking” means that two or more automobiles are parked on a driveway or in any other location on a lot, lined up behind one another.

D. Approvals. The following approvals apply to ADUs and JADUs under this section:

1. Generally. Except as described in subsection (D)(2) of this section, an ADU is allowed with only a building permit if it complies with each of the requirements in subsections E, F, and G of this section.

2. Partial Exemption for Certain ADUs and JADUs. An ADU or JADU in any of the four scenarios that are described in subsections (D)(2)(a) through (d) of this section is exempt from the design and development standards in subsection F of this section and is allowed with only a building permit if it complies with each of the requirements in subsections E and G of this section.

a. Converted on single-family lot: only one ADU or JADU on a lot with a proposed or existing single-family dwelling on it, where the ADU or JADU:

i. Is either: within the space of a proposed single-family dwelling; within the existing space of an existing single-family dwelling; or (in the case of an ADU only) within the existing space of an accessory structure, plus up to one hundred fifty (150) additional square feet if the expansion is limited to accommodating ingress and egress. For purposes of this subsection, “within the existing space” includes a structure that is constructed in the same location and to the same dimensions.

ii. Has exterior access that is independent of that for the single-family dwelling.

iii. Has side and rear setbacks sufficient for fire and safety, as dictated by applicable building and fire codes.

iv. The JADU complies with requirements of Government Code Section 65852.22.

b. Detached on single-family lot: one detached, new-construction ADU on a lot with a proposed or existing single-family dwelling (in addition to any JADU that might otherwise be established on the lot under subsection (D)(2)(a) of this section), if the detached ADU satisfies the following limitations:

i. The side- and rear-yard setbacks are at least four feet.

ii. The total floor area is eight hundred (800) square feet or smaller.

iii. The peak height above grade is sixteen (16) feet or less does not exceed the applicable height limit in subsection E.9. below.

c. Converted on multifamily lot: multiple ADUs within portions of existing multifamily dwelling structures that are not used as livable space, including but not limited to storage rooms, boiler rooms, passageways, attics, basements, or garages, if each converted ADU complies with state building standards for dwellings. At least one

converted ADU under this subsection is allowed within an existing multifamily dwelling, up to a quantity equal to twenty-five percent (25%) of the existing multifamily dwelling units.

d. Detached on multifamily lot: no more than two detached ADUs on a lot that has an existing or proposed multifamily dwelling if each detached ADU satisfies the following limitations:

i. The side and rear yard setbacks are at least four feet. If the existing multifamily dwelling has a rear or side yard setback of less than four feet, the city will not require any modification to the multifamily dwelling as a condition of approving the ADU.

ii. The peak height above grade is ~~sixteen (16) feet or less~~ does not exceed the applicable height limit in subsection E.9. below.

3. Process and Timing.

a. An application for an ADU or JADU is considered and approved ministerially, without discretionary review or a hearing.

b. The city must ~~act on~~ approve or deny an application to create an ADU or JADU within sixty (60) days from the date that the city receives a completed application. If the city has not approved or denied the completed application within sixty (60) days, the application is deemed approved; unless either:

i. The applicant requests a delay, in which case the sixty (60) day time period is tolled for the period of the requested delay; or

ii. In the case of a JADU, when the application to create a junior accessory dwelling unit is submitted with a permit application to create a new single-family or multifamily dwelling on the lot, the city may delay acting on the permit application for the JADU until the city acts on the permit application to create the new single-family or multifamily dwelling, but the application to create the JADU will still be considered ministerially without discretionary review or a hearing.

c. If the city denies an application to create an ADU or JADU, the city must provide the applicant with comments that include, among other things, a list of all the defective or deficient items and a description of how the application may be remedied by the applicant. Notice of the denial and corresponding comments must be provided to the applicant within the 60-day time period established by subsection D.3.b. above.

d. A demolition permit for a detached garage that is to be replaced with an ADU is reviewed with the application for the ADU and issued at the same time.

E. General ADU and JADU Requirements. The following requirements apply to all ADUs and JADUs:

1. Zoning. An ADU or JADU may be created on any lot that is zoned to allow single-family dwelling residential use or multifamily dwelling residential use (i.e., residential, mixed-use, and agriculturally zoned parcels).

2. Fire Sprinklers.

a. Fire sprinklers are required in an ADU if sprinklers are required in the primary residence.

b. The construction of an ADU does not trigger a requirement for fire sprinklers to be installed in the existing primary dwelling.

3. Rental Term. No ADU or JADU may be rented for a term that is shorter than thirty (30) days.

4. No Separate Conveyance. An ADU or JADU may be rented, but no ADU or JADU may be sold or otherwise conveyed separately from the primary residence.

5. Septic System. If the ADU or JADU will connect to an on-site water-treatment system, the owner must include with the application a percolation test completed within the last five years or, if the percolation test has been recertified, within the last ten (10) years.

6. Owner Occupancy.

~~a. All ADUs created before January 1, 2020, are subject to the owner-occupancy requirement that was in place when the ADU was created.~~

ba. An ADU that is created after ~~that date~~ January 1, 2020, but before January 1, 2025, is not subject to any owner-occupancy requirement.

eb. Unless applicable law requires otherwise, all ADUs that are created on or after January 1, 2025, are subject to an owner-occupancy requirement. A natural person with legal or equitable title to the property must reside on the property as the person's legal domicile and permanent residence.

dc. As required by state law, all JADUs are subject to an owner-occupancy requirement. A natural person with legal or equitable title to the property must reside on the property, in either the primary dwelling or JADU, as the person's legal domicile and permanent residence. However, the owner-occupancy requirement of this subsection does not apply if the property is entirely owned by another governmental agency, land trust, or housing organization.

7. Deed Restriction. Prior to issuance of a building permit for an ADU or JADU, a deed restriction must be recorded against the title of the property in the county recorder's office and a copy filed with the director. The deed restriction must run with the land and bind all future owners. The form of the deed restriction will be provided by the city and must provide that:

a. The ADU or JADU may not be sold separately from the primary dwelling.

b. The ADU or JADU is restricted to the approved size and to other attributes allowed by this section.

c. The deed restriction runs with the land and may be enforced against future property owners.

d. The deed restriction may be removed if the owner eliminates the ADU or JADU, as evidenced by, for example, removal of the kitchen facilities. To remove the deed restriction, an owner may make a written request of the director, providing evidence that the ADU or JADU has in fact been eliminated. The director may then determine whether the evidence supports the claim that the ADU or JADU has been eliminated. Appeal may be taken from the director's determination consistent with other provisions of this code. If the ADU or JADU is not entirely physically removed, but is only eliminated by virtue of having a necessary component of an ADU or JADU removed, the remaining structure and improvements must otherwise comply with applicable provisions of this code.

e. The deed restriction is enforceable by the director or his or her designee for the benefit of the city. Failure of the property owner to comply with the deed restriction may result in legal action against the property owner, and the city is authorized to obtain any remedy available to it at law or equity, including, but not limited to, obtaining an injunction enjoining the use of the ADU or JADU in violation of the recorded restrictions or abatement of the illegal unit.

8. Income Reporting. In order to facilitate the city's obligation to identify adequate sites for housing in accordance with Government Code Sections 65583.1 and 65852.2, the following requirements must be satisfied:

a. With the building-permit application, the applicant must provide the city with an estimate of the projected annualized rent that will be charged for the ADU or JADU.

b. Within ninety (90) days after each yearly anniversary of the issuance of the building permit, the owner must report the actual rent charged for the ADU or JADU during the prior year. If the city does not receive the report within the ninety (90) day period, the city may send the owner a notice of violation and allow the owner another thirty (30) days to submit the report. If the owner fails to submit the report within the thirty (30) day period, the city may enforce this provision in accordance with applicable law.

9. Height.

a. Except as otherwise provided by subsections E.9.b. and E.9.c. below, a detached ADU created on a lot with an existing or proposed single-family or multifamily dwelling unit may not exceed 16 feet in height.

b. A detached ADU may be up to 18 feet in height if it is created on a lot with an existing or proposed single family or multifamily dwelling unit that is located within one-half mile walking distance of a major transit stop or a high quality transit corridor, as those terms are defined in Section 21155 of the Public Resources Code, and the ADU may be up to two additional feet in height (for a maximum of 20 feet) if necessary to accommodate a roof pitch on the ADU that is aligned with the roof pitch of the primary dwelling unit.

c. A detached ADU created on a lot with an existing or proposed multifamily dwelling that has more than one story above grade may not exceed 18 feet in height.

d. An ADU that is attached to the primary dwelling may not exceed 25 feet in height or the height limitation imposed by the underlying zone that applies to the primary dwelling, whichever is lower. Notwithstanding the foregoing, ADUs subject to this subsection E.9.d. may not exceed two stories.

e. For purposes of this subsection E.9., height is measured above existing legal grade to the peak of the structure.

10. Building & Safety.

a. Must comply with Building Code: Subject to subsection E.10.b. below, all ADUs and JADUs must comply with all local Building Code requirements.

b. No change of occupancy: Construction of an ADU does not constitute a Group R occupancy change under the local building code, as described in Section 310 of the California Building Code, unless the building official makes a written finding based on substantial evidence in the record that the construction of the ADU could have a specific, adverse impact on public health and safety. Nothing in this subsection E.10.b. prevents the city from changing the occupancy code of a space that was uninhabitable space or that was only permitted for nonresidential use and was subsequently converted for residential use in accordance with this section.

F. Specific ADU Requirements. The following requirements apply only to ADUs that are approved under subsection (D)(1) of this section.

1. Maximum Size.

a. The maximum size of a detached or attached ADU subject to this subsection F is eight hundred fifty (850) square feet for a studio or one-bedroom unit and one thousand (1,000) square feet for a unit with two bedrooms. No more than two bedrooms are allowed.

b. An attached ADU that is created on a lot with an existing primary dwelling is further limited to fifty percent (50%) of the floor area of the existing primary dwelling.

c. Application of other development standards in this subsection F, such as F.A.R. or lot coverage, might further limit the size of the ADU, but no application of F.A.R., lot coverage, front setback, or open-space requirements may require the ADU to be less than eight hundred (800) square feet.

2. Floor Area Ratio (F.A.R.). No ADU may cause the total F.A.R. of the lot to exceed the maximums listed below, subject to subsection (F)(1)(c) of this section:

Low, LR-1A, medium, and high density districts:

Net Parcel Area (Square Feet)	Floor Area Ratio (F.A.R.)	Maximum Gross Floor Area (Square Feet)
4,999 and less	—	1,800
5,000	0.36	1,800

Net Parcel Area (Square Feet)	Floor Area Ratio (F.A.R.)	Maximum Gross Floor Area (Square Feet)
6,000	0.35	2,100
7,000	0.34	2,380
8,000	0.33	2,640
9,000	0.32	2,880
10,000	0.31	3,100
11,000	0.30	3,300
12,000	0.29	3,480
13,000	0.28	3,640
14,000	0.27	3,780
15,000	0.26	3,900
16,000	0.25	4,000
17,000	0.24	4,080
18,000	0.23	4,140
19,000	0.22	4,180
20,000	0.21	4,200
25,000	0.195	4,875
30,000	0.18	5,400
35,000	0.165	5,775
40,000	0.15	6,000
43,560	0.139	6,069

The F.A.R. shall be interpolated to the nearest two-tenths of one percent based upon each two hundred (200) square feet of parcel area. For example, a parcel that is ten thousand six hundred (10,600) square feet in size has an allowable F.A.R. of 0.304.

Woodlands and watershed district—maximum building and structural coverage: the lesser of ten percent (10%) of the lot area, or twenty thousand (20,000) square feet.

A-20 district—nonagricultural coverage: No more than one acre of any one parcel shall be removed from active agricultural use. “Active agricultural use” means animal husbandry, crop, tree farming, and viticulture. All structures, driveways (except for a sixteen (16) foot wide driveway no greater than two-thirds the length of the parcel), parking, patios, lawn or other nonagricultural uses shall be limited to the one acre maximum per parcel.

3. Lot Coverage. No ADU subject to this subsection F may cause the total lot coverage of the lot to exceed the maximums listed below, subject to subsection (F)(1)(c) of this section:

Low density and LR-1A districts: thirty-five percent (35%).

Medium and high density districts: forty-five percent (45%).

Woodlands and watershed district—maximum building and structural coverage: the lesser of ten percent (10%) of the lot area, or twenty thousand (20,000) square feet.

A-20 district—nonagricultural coverage: no more than one acre of any one parcel shall be removed from active agricultural use. “Active agricultural use” means animal husbandry, crop, tree farming, and viticulture. All structures, driveways (except for a sixteen (16) foot wide driveway no greater than two-thirds the length of the parcel), parking, patios, lawn or other nonagricultural uses shall be limited to the one acre maximum per parcel.

~~4. Height. No ADU may exceed sixteen (16) feet in height above grade, measured to the peak of the structure.~~

~~54.~~ Setbacks.

a. No part of any ADU may be located within twenty (20) feet of the front and corner lot property lines.

b. No part of any ADU may be located within four feet of a side yard or rear yard property line.

~~65.~~ Passageway. No passageway, as defined by subsection (C)(9) of this section, is required for an ADU.

~~76.~~ Parking.

a. Generally. One off-street parking space is required for each ADU. The parking space may be provided in setback areas or as tandem parking, as defined by subsection (C)(13) of this section.

b. Exceptions. No parking under subsection (F)(7)(a) of this section is required in the following situations:

i. The ADU is located within one-half mile walking distance of public transit, as defined in subsection (C)(12) of this section.

ii. The ADU is within an architecturally and historically significant historic district.

iii. The ADU is part of the proposed or existing primary residence or an accessory structure under subsection (D)(2)(a) of this section.

iv. When on-street parking permits are required but not offered to the occupant of the ADU.

v. When there is an established car share vehicle stop located within one block of the ADU.

c. No Replacement. When a garage, carport, or covered parking structure is demolished in conjunction with the construction of an

ADU or converted to an ADU, those off-street parking spaces are not required to be replaced.

~~8. Historical Protections. Exterior modifications to a listed historical property to accommodate construction of an ADU must comply with the Secretary of the Interior's Objective Standards for the Treatment of Historic Properties.~~

G. Fees.

1. Impact Fees.

- a. Impact fees shall not be imposed for an ADU that is less than seven hundred fifty (750) square feet in size.
- b. Any impact fee that is required for an ADU that is seven hundred fifty (750) square feet or larger in size must be charged proportionately in relation to the square footage of the primary dwelling unit (e.g., the floor area of the ADU, divided by the floor area of the primary dwelling, times the typical fee amount charged for a new dwelling). "Impact fee" here does not include any connection fee or capacity charge for water or sewer service.

2. Utility Fees.

- a. If an ADU or JADU is constructed with a new single-family home, a separate utility connection directly between the ADU or JADU and the utility and payment of the normal connection fee and capacity charge for a new dwelling are required.
- b. Except as described in subsection (G)(2)(a) of this section, converted ADUs and JADUs on a single-family lot that are created under subsection (D)(2)(a) of this section are not required to have a new or separate utility connection directly between the ADU or JADU and the utility. Nor is a connection fee or capacity charge required.
- c. Except as described in subsection (G)(2)(a) of this section, all ADUs and JADUs that are not covered by subsection (G)(2)(b) of this section require a new, separate utility connection directly between the ADU or JADU and the utility.
 - i. The connection is subject to a connection fee or capacity charge that is proportionate to the burden created by the ADU or JADU, based on either the floor area or the number of drainage-fixture units (DFU) values, as defined by the Uniform Plumbing Code, upon the water or sewer system.
 - ii. The portion of the fee or charge that is charged by the city may not exceed the reasonable cost of providing this service.

H. Nonconforming ADUs and Discretionary Approval. Any proposed ADU or JADU that does not conform to the objective standards set forth in subsections A through (G)(2) of this section may be allowed by the city with a conditional use permit, in accordance with the other provisions of this title. (Ord. 20-6 § 3 (Exh. A); Ord. 17-2 § 9; Ord. 03-4 § 23; prior code § 27.232)

I. Nonconforming Zoning Code Conditions, Building Code Violations, and Unpermitted Structures.

1. The city will not deny an ADU or JADU application due to a nonconforming zoning condition, building code violation, or unpermitted structure on the lot that does not present a threat to the public health and safety and that is not affected by the construction of the ADU or JADU.

2. Unpermitted ADUs constructed before 2018.

a. Permit to Legalize: As required by state law, the city may not deny a permit to legalize an existing but unpermitted ADU that was constructed before January 1, 2018, if denial is based on either of the following grounds:

i. The ADU violates applicable building standards, or

ii. The ADU does not comply with the state ADU law (Government Code Section 65852.2 or this Section 17.116.030.

b. Exceptions:

i. Notwithstanding subsection I.2.a. above, the city may deny a permit to legalize an existing but unpermitted ADU that was constructed before January 1, 2018, if the city makes a finding that correcting a violation is necessary to protect the health and safety of the public or occupants of the structure.

ii. Subsection I.2.a. above does not apply to a building that is deemed to be substandard in accordance with California Health and Safety Code Section 17920.3.



Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: NEW BUSINESS

Subject: Discussion and recommendation to the Napa County City Selection Committee as nominees to the:

1. Napa County Board of Supervisor Ryan Gregory or St. Helena City Council Member to represent the City of St. Helena on the MCE Clean Energy Board of Directors.
2. Interest to serve on the Metropolitan Transportation Commission (MTC)

CEQA Determination: Not a CEQA project

Prepared By: Cindy Tzafoopoulos, City Clerk

Reviewed By: April Mitts, Assistant City Manager

Approved By: Anil Comelo, City Manager

BACKGROUND

MCE Clean Energy is a not-for-profit public agency that has set the standard for clean energy in communities since 2010. They offer more renewable power at stable rates, significantly reducing energy-related greenhouse emissions and reinvesting millions of dollars in local energy programs. MCE Clean Energy provides electricity service and cutting-edge energy programs to more than one million residents and businesses in 37 member communities across four Bay Area counties: Contra Costa, Marin, Napa, and Solano.

At the June 7, 2016 Napa County City Selection Committee meeting a discussion was held and recommendation was made for Napa County Board of Supervisor (BOS) Brad Wagenknecht to represent the Napa County Cities and Town on the MCE Clean Energy Board of Directors. Supervisor Brad Wagenknecht is no longer a BOS and a new representative Ryan Gregory was chosen at the January 3, 2022 Napa County Board of Supervisor meeting.

The Metropolitan Transportation Commission (MTC) was created as a local area planning agency providing comprehensive regional transportation planning for the region comprised of the City and County of San Francisco and the Counties of Alameda, Contra Costa, Marin, Napa, San Mateo, Santa Clara, Solano, and Sonoma. The Commission develops regional transit service objectives, performance measures of efficiency and effectiveness, specifies uniform data requirements to assess public transit service benefits and costs, and establishes procedures for regional transportation priorities.

The Commission consists of 21 members; the County of Napa is allocated one member. Napa County jurisdictions are invited to submit names of individuals from their respective legislative bodies that may wish to be considered. Names are submitted to the Napa County City Selection Committee, which nominates three individuals from names submitted. Nominee names are then submitted to the Napa County Board of Supervisors for final consideration and appointment. The term of office for MTC Commissioners is four years. A Commissioner vacates his or her Commission seat upon ceasing to hold public office unless the appointing authority consents to completion of the MTC term of office.

The current term of Napa County's representative on Metropolitan Transportation Commission (MTC), BOS Alfredo Pedroza, is set to expire on February 9, 2023. The subsequent vacancy provides an opportunity for the City Council to consider recommending a Council Member to fill the vacancy to the City Selection Committee.

DISCUSSION

The City of St. Helena may select a Council Member to represent the City of St. Helena on the MCE Clean Energy Board of Directors or chose to allow the BOS representative Ryan Gregory to do so.

The City of St. Helena may select a Council Member to represent the City of St. Helena to the MTC. The Napa County City Selection Committee will hold a future meeting to nominate the names of three individuals to submit to the Napa County Board of Supervisors for final consideration and appointment to the MTC.

FISCAL IMPACT

None

RECOMMENDED ACTION

Identify name(s) of interested Council Member(s) to be considered by the Napa County City Selection Committee as nominees to the:

1. MCE Clean Energy Board of Directors
2. Metropolitan Transportation Commission (MTC)

ATTACHMENTS

[Attachment 1 - Clerk of the Board MCE Clean Energy Board of Directors Correspondence](#)

[Attachment 2 - 11-30-2022 MTC Expiration - Napa County Correspondence](#)

From: Morgan, Greg <Greg.Morgan@countyofnapa.org>
Sent: Monday, December 12, 2022 4:23 PM
To: Cindy Tzaopoulos <ctzaopoulos@cityofsthelena.org>
Cc: Hoskins, Neha <neha.hoskins@countyofnapa.org>
Subject: [External] Representative on MCE Clean Energy

Hi Cindy!

We will be selecting a new MCE Clean Energy rep on 1/3/2022 due to Brad Wagenknecht's retirement. In the past, he represented the County, as well as all of the Cities and Town on MCE. However, MCE's Assistant Board Clerk Jesica Brooks has reached out to all of the Cities and Town to see if they would like to appoint their own rep. So far, Napa is going to appoint their own rep and Yountville would like to continue having the County represent them.

Could you please advise if St. Helena will be appointing their own rep or if they'd like to continue to be represented by the County. If it is the latter, there will be more steps involved that I will go over.

Thank you!

GREG MORGAN | Deputy Clerk of the Board
Napa County Executive Office | 1195 Third Street, Suite 310 | Napa, CA 94559
Tel. (707) 299-1515 | greg.morgan@countyofnapa.org

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**METROPOLITAN
TRANSPORTATION
COMMISSION**

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Alfredo Pedroza, Chair
Napa County and Cities

Nick Josefowitz, Vice Chair
San Francisco Mayor's Appointee

Margaret Abe-Koga
Cities of Santa Clara County

Eddie Abu
San Francisco Bay Conservation and
Development Commission

David Canepa
San Mateo County

Cindy Chavez
Santa Clara County

Damon Connolly
Marin County and Cities

Carol Dutra-Vernaci
Cities of Alameda County

Dina El-Tawansy
California State Transportation Agency

Victoria Fleming
Sonoma County and Cities

Dorene M. Giacomini
U.S. Department of Transportation

Federal D. Glover
Contra Costa County

Sam Liccardo
San Jose Mayor's Appointee

Nate Miley
Alameda County

Gina Papan
Cities of San Mateo County

David Rabbitt
Association of Bay Area Governments

Hillary Ronen
City and County of San Francisco

Libby Schaaf
Oakland Mayor's Appointee

James P. Sperring
Solano County and Cities

Amy R. Worth
Cities of Contra Costa County

Vacant
U.S. Department of Housing and Urban
Development

Therese W. McMillan
Executive Director

Alix Bockelman
Deputy Executive Director, Policy

Andrew B. Fremier
Deputy Executive Director, Operations

Brad Paul
Deputy Executive Director, Local
Government Services

November 30, 2022

Via electronic mail to neha.hoskins@countyofnapa.org and U.S. mail

Neha Hoskins
Clerk of the Board
Napa County Board of Supervisors
1195 Third Street, Room 310
Napa, CA 94559

RE: Napa County's Representative on the Metropolitan Transportation Commission

Dear Ms. Hoskins:

I write to remind you that pursuant to the Metropolitan Transportation Commission's (MTC) enabling legislation at California Government Code Sec. 66500 *et seq.*, all MTC Commissioners are appointed to concurrent four-year terms. The current term of Napa County's representative on MTC, the Honorable Alfredo Pedroza, is set to expire on February 9, 2023.

Therefore, I have been requested by the Commission to ask you to remind the Napa County Board of Supervisors to instruct the City Selection Committee for the County of Napa to begin consideration of whether to nominate Mr. Pedroza for reappointment, and to furnish the Board with the names of three (3) nominees from which the Board shall appoint a representative to represent Napa County and serve a four-year term that will commence on February 10, 2023.

MTC Commission members may be elected or appointed officials, or members of the general public. Pursuant to Government Code Section 66504: "Commissioners shall be selected for their special familiarity with the problems and issues in the field of transportation."

MTC Commissioners should expect to serve on one or more of the Commission's standing, special or advisory committees. Usually, the Commission and each committee meet one or two times a month in San Francisco. From time to time, the Commission may conduct public hearings in the MTC region, which MTC Commissioners may be requested to attend. A \$100 per diem (up to a maximum of \$500 per month), plus Commission-authorized travel expenses, are paid to members for attendance at meetings of their committees, the Commission, and public hearings held by the Commission.

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Ms. Neha Hoskins
November 30, 2022
Page 2

Should you wish additional information concerning the Commission or the responsibilities of its members, please feel free to contact me. The Commission would appreciate being notified of the reappointment of Mr. Pedroza, or the appointment of a new representative as soon as possible.

Sincerely,

DocuSigned by:

Handwritten signature of Kimberly Ward in blue ink.

B34A6461955440D...

Kimberly Ward

Secretary to the Commission

cc: The Hon. Ryan Gregory, Chair, Napa County Board of Supervisors
Greg Morgan, Deputy Clerk of the Board, Napa County Board of Supervisors
Commissioner Alfredo Pedroza



Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: **NEW BUSINESS**

Subject: **2023 City Council Meeting Calendar**

CEQA **Not a CEQA project**
Determination:

Prepared By: Cindy Tzaopoulos, City Clerk

Reviewed By: April Mitts, Assistant City Manager

Approved By: Anil Comelo, City Manager

BACKGROUND

The City Council annually reviews the proposed meeting calendar. The City Council has traditionally cancelled the first meeting in July and its second meeting in December.

FISCAL IMPACT

None

RECOMMENDED ACTION

Review the 2023 calendar and provide direction on Council meeting dates.

ATTACHMENTS

[Attachment 1](#)

CITY OF ST. HELENA
PLANNING/COUNCIL/HOLIDAY
CALENDAR

2023

		Planning Commission
		PH Notices due to City Clerk
1st	2nd	Council Mtg
		Council Reports Due
		City Council Agenda Published
		Holiday

JANUARY

Sun	Mon	Tue	Wed	Thur	Fri	Sat
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30					

FEBRUARY

Sun	Mon	Tue	Wed	Thur	Fri	Sat
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

MARCH

Sun	Mon	Tue	Wed	Thur	Fri	Sat
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

APRIL

Sun	Mon	Tue	Wed	Thur	Fri	Sat
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

MAY

Sun	Mon	Tue	Wed	Thur	Fri	Sat
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

JUNE

Sun	Mon	Tue	Wed	Thur	Fri	Sat
						1
						2
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

JULY

Sun	Mon	Tue	Wed	Thur	Fri	Sat
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

AUGUST

Sun	Mon	Tue	Wed	Thur	Fri	Sat
27	28	29	30	31	1	2
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

SEPTEMBER

Sun	Mon	Tue	Wed	Thur	Fri	Sat
2	3	4	5	6	7	8
						1
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

OCTOBER

Sun	Mon	Tue	Wed	Thur	Fri	Sat
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

NOVEMBER

Sun	Mon	Tue	Wed	Thur	Fri	Sat
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

DECEMBER

Sun	Mon	Tue	Wed	Thur	Fri	Sat
						1
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

Meeting Date	Staff Reports Due	Agenda Published
01/10/23	12/23/22	12/30/22
01/24/23	01/06/23	01/13/23
02/14/23	01/27/23	02/03/23
02/28/23	02/10/23	02/17/23
03/14/23	02/24/23	03/03/23
03/28/23	03/10/23	03/17/23
04/11/23	03/24/23	03/31/23
04/25/23	04/07/23	04/14/23
05/09/23	04/21/23	04/28/23
05/23/23	05/05/23	05/12/23
06/13/23	05/26/23	06/02/23
06/27/23	06/09/23	06/16/23
07/11/23	06/23/23	06/30/23
07/25/23	07/07/23	07/14/23
08/08/23	07/21/23	07/28/23
08/22/23	08/04/23	08/11/23
09/12/23	08/25/23	09/01/23
09/26/23	09/08/23	09/15/23
10/10/23	09/22/23	09/29/23
10/24/23	10/06/23	10/13/23
11/14/23	10/27/23	11/03/23
11/28/23	11/10/23	11/17/23
12/12/23	11/24/23	12/01/23
12/26/23	12/08/23	12/15/23



Report to the City Council
Regular City Council - 10 Jan 2023

Agenda Section: **NEW BUSINESS**

Subject: 2023 City Council assignments to various City and Napa County Committees, Boards, and Commissions

CEQA Not a CEQA project
Determination:

Prepared By: Cindy Tzaopoulos, City Clerk

Reviewed By: April Mitts, Assistant City Manager

Approved By: Anil Comelo, City Manager

BACKGROUND

The City Council assigns Council liaisons to the Active Transportation/Sustainability Committee, Board of Library Trustees, Parks and Recreation Commission, and internal ad hoc committees. The City Council also sits on various City/County collaborative agency committees.

Some City/County collaborative agency committees specify in by-laws and/or policy who sits on the board. If the position is not specified, the City Council appoints or recommends the appointment.

DISCUSSION

It is appropriate for the City Council to annually review and update City and Napa County Committees, Boards, and Commissions assignments.

FISCAL IMPACT

No fiscal impact.

RECOMMENDED ACTION

Attachment 1 provides a list of current intergovernmental appointments and vacancies (vacancies are highlighted in yellow). Attachment 2 provides a list of Ad Hoc

appointments (vacancies are highlighted in yellow). Staff recommends City Council review and provide affirmation or recommended changes to appointments.

ATTACHMENTS

[Attachment 1](#)

[Attachment 2](#)

2022 St. HELENA INTERGOVERNMENTAL CITY COUNCIL ASSIGNMENTS

MAYOR/COUNCIL COMMITTEE ASSIGNMENTS:		Date/Time & Location	Contact	Primary	Alternate	700 Form Filers
City/SHUSD/Chamber/NVC (Monrovia) • Meet to discuss interests in common • No Compensation		Meets: Qtrly	(707) 967-2701 Erica Madrigal	Mayor Dohring Vacant Staff: City Manager Finance Director	Vacant	Not Required
St. Helena Sewer District No. 1 • Meets only as needed • 11-08-1964 Resolution 1964-597 Establishing Sewer District No. 1 and 1964-598 Description				All		
Association of Bay Area Governments (ABAG) - Executive Board • Appointed by the City Selection Committee • To enhance the quality of life in the San Francisco Bay Area by leading the region in advocacy, collaboration, and excellence in planning, research and member services • Agency membership dues based on population • Compensation - \$150.00 per Meeting		101 Eighth St. Oakland CA 94607 <i>Meets: 7:00 p.m., 3rd Thursday of every other month</i>	(415) 820-7913 Fred Castro		Council Member Choteau Term of office 7/1/22 - 6/30/24	Not Required
Association of Bay Area Governments (ABAG) - General Assembly • St. Helena City Council appoints member and alternate, no term limit • To enhance the quality of life in the San Francisco Bay Area by leading the region in advocacy, collaboration, and excellence in planning, research and member services • Agency membership dues based on population		101 Eighth St. Oakland CA 94607 <i>Meets: Annually</i>	(510) 464-7900	Mayor Dohring	Council Member Choteau	Not Required
Napa Valley Tourism Corporation (Umbrella for Napa County) St. Helena Tourism Improvement District (SHTID) • Elected official appointed by the St. Helena City Council • 7 members from St. Helena (4-members of lodging, 1-Chamber of Commerce, 1-Elected Official and 1-City Manager) Membership includes: Kevin Dimond, Harvest Inn Mark Hoffmeister, Wydown Hotel Mark Prestwich, City Manager Chair - Marcelle Adderley, Inn at Southbridge - General Manager Chamber Rep - Executive Director Pirrette Therene, El Bonita Hotel - GM St. Helena City Council Representative • No Compensation		<i>Meets: Qtrly</i> Southbridge	Catherine Heywood 707-260-0112	Council Member Hall Staff: City Manager	Vacant	Not Required

2022 St. HELENA INTERGOVERNMENTAL CITY COUNCIL ASSIGNMENTS

MAYOR/COUNCIL COMMITTEE ASSIGNMENTS:					
	Date/Time & Location	Contact	Primary	Alternate	700 Form Filers
League of California Cities – North Bay Division - To maintain a central office of information and research for matters pertaining to City government and to influence legislation that affects cities - Agency membership dues required - No Compensation	P.O. Box 458, Mill Valley, CA 94941 <i>Meets:</i> Quarterly	(415) 302-2032 Nancy Hall Bennett	All		Not Required
Napa County City Selection Committee - In counties where 2 or more cities are incorporated, this Committee appoints city representatives to certain boards, commissions and agencies as prescribed by law (Section 50270, CA Gov't Code) - Representative must be Mayor (per above Gov't. Code) - No Compensation	1195 Third Street, Suite 310, Napa 94558 <i>Meets:</i> 1:00pm, 3rd Tuesday of the month, Quarterly	(707) 253-4423 Karita Whitney	Mayor Dohring (Delegate)	Vacant	Not Required
Napa County Flood Control and Water Conservation District - Mission is the conservation and management of flood and storm waters to protect life and property; the maintenance of the County watershed using the highest level of environmentally sound practices; and to provide coordinated planning for water supply needs for the community. - Representative must be Mayor - Bylaws - No Compensation	1195 Third Street, Room 305, Napa 94558 <i>Meets:</i> 1:30 a.m., 1st and 3rd Tuesday of the Month *Flood Control is located at 804 1st Street, Napa	(707) 259-8600 Krista Reif krista.reif@countyofnapa.org (707) 253-4423 Karita Whitney	Mayor Dohring	Vacant	Required Forward forms to: Napa County Flood Control and Water Conservation District 804 First Street Napa, CA 94559-2623
Youth Opportunities Commission (Formerly Napa County Gang & Youth Violence Commission) - Prevention, intervention & suppression of gang violence - City Council makes appointee recommendation to the Napa County Board of Supervisors - No Compensation	Location Changes <i>Meets:</i> 4:30 p.m., on 3rd Wednesdays, As needed/no less than quarterly	(707) 253-4211 District Attorney's Office	Mayor Dohring		Not Required
Napa County League of Governments (NCLOG) - No Compensation - Bylaws - Mayors of the City and County rotate the Chair position	Location rotates <i>Meets:</i> 6:00 p.m., 2nd Thursday of the month, Quarterly	(707) 253-4423 Karita Whitney	All		Not Required
Napa County Local Agency Formation Commission (LAFCO) - City Selection Committee makes appointment - Four-Year Term Gov Code; Informal Policy Two-Year Rotation \$125 per meeting	1195 Third Street, Napa 94558 <i>Meets:</i> 4:00p.m., 1st Thursday of the month *LAFCO is located at 1030 Seminary, Napa	(707) 259-8645 Kathy Mabry			Required Mail to: Kathy Mabry 1030 Seminary St, Suite B Napa CA 94558

2022 St. HELENA INTERGOVERNMENTAL CITY COUNCIL ASSIGNMENTS

MAYOR/COUNCIL COMMITTEE ASSIGNMENTS:		Date/Time & Location	Contact	Primary	Alternate	700 Form Filers
Napa Valley Transportation Authority (NVTA) • 2 Members and 2 alternates(1-Mayor with City Council appointing the other City Council Member/Alternate) • Bylaws	625 Burnell Street, Napa 94559 <i>Meets:</i> 1:30p.m., 3rd Wednesday of the month	Laura Sanderlin (707) 259-8633 or Kate Miller	Mayor Dohring	Vacant	Council Member Chouteau	Required Mail to: Board Secretary 625 Burnell Street Napa CA 94559
			Staff: City Manager Public Works Director			
Napa County Watershed Information Center & Conservancy (WICC) • City Council makes appointment recommendation to the Board of Supervisors • No Compensation • BOS Resolution 02-202	1125 Third Street, 2nd Floor Conference Room, Napa 94558 <i>Meets:</i> 4:00p.m., 4th Thursday of the month	(707) 259-5936 Jeff Sharp, Liaison Gladys or Nadine	Vacant		Council Member Hardy	Not Required
Upper Valley Waste Management Agency • City Council makes appointment recommendation to the Board of Supervisors	Yountville Town Council Chambers <i>Meets:</i> 1:30p.m., 3rd Monday of the month	(707) 259-6716 Alice Ramirez, Board Clerk Napa County Public Works 1195 Third Street, Suite 101 Napa, CA 94559	Council Member Chouteau		Council Member Hardy	Required send to
Napa County Regional Climate Action Committee • City Council makes two appointments to the Committee	Board of Supervisoers Chambers <i>Meets:</i> No schedule has been determined	Louie Valdez Administrative Manager/Clerk of the Board County of Napa, CA 1195 3rd St., 3rd Floor Napa, CA 94559 707-253-4196	Vacant			Not Required
			Council Member Chouteau			

2023 St. HELENA INTERNAL AD HOC CITY COUNCIL ASSIGNMENTS

MAYOR/COUNCIL ASSIGNMENTS:		Mayor Dohring	Vice Mayor Hall	Council Member Chouteau	Council Member Summers	Council Member Hardy
1	Active Transportation & Sustainability Committee (ATSC)	X				
2	Library Board			X		
3	Parks & Rec Commission		X			
4	Consider and synthesize stakeholder housing recommendations and recommend short and long-term housing initiatives to the City Council, including advancing the use of one or more of city-owned parcels (including Adams Street) for affordable housing.		X			X
5	Prepare/present citywide design guidelines to the Planning Commission for adoption.	X				
6	Prepare and implement COVID Business Recovery Plan & Continuity Strategy for Phase 1 Downtown Streetscape Project.		X	X		
7	Develop marketing collateral for prospective tenants and prioritize targeted business types.		X	X		
8	The Council will designate two to three Youth Representatives to speak once every two months at City Council meetings. These individuals would a) provide an update on youth related issues in the community and b) act as a liaison to youth when feedback is requested on City Council matters.	X		X		
9	Housing Element Focus Group Ad Hoc Committee	X				
10	Zoning Code Update Ad Hoc Committee		X			X
11	Water Ad Hoc Committee					X
12	Development of Will Serve Policy Ad Hoc Committee	X				
13	Non-Profit Grant Review Ad Hoc Committee	X				
14	Agenda Review Committee	X	X			
15	Napa Valley Blue Zones Steering and Leadership Committee	X				